

25 September 2023

21081 Sunflower Consolidated SD Phase II, Report Number 013

Contract Trash Commercial Contractors, Inc.

Date, Time 10 October 2023, 8:00 AM

Weather, Temp Partly cloudy, 60 ° F

201 Park Court, Suite B
Ridgeland, MS 39157

Est % Complete 56 %

P 601.790.9432

Sched Conformance [(+,-) 00] days

F 888.281.0547

Work in Progress Brick Masonry, Roofing, and Ceiling Installation at Gentry; Ceiling, Flooring, Millwork and Plumbing Installation at TEHS; Flooring, Painting and Stucco installation at Vestibule Schools.

One Jackson Place, Suite 250
188 East Capitol Street

Present at Site Collin Chandler, TCC; Electricians, Roofers Ceiling Installers, Brick Masons

Jackson, MS 39201-2100

P 601.352.5411

Observations GHS: on site, workers were busy installing ceiling grid. Masons were at roof installing brick around rotunda. I met Collin Chandler on the roof and ask him to make sure rigid foam board was installed correctly behind masonry wall. Product has been loose laid in the space and gaps exist at the end of the wall cavity of which I had viewership. He said that he would review and ensure cavities were filled vertically without gaps with rigid foam board.

F 601.352.5362

Also, at the upper masonry wall, flexible flashing membrane has been installed in lieu of the rigid flashing detailed. This membrane needs to be pulled/installed so that water does not pool up in wells of loose flashing. Fully document installation prior to installing storefront and provide us with photos for review.

161 Lameuse Street, Suite 201
Biloxi, MS 39530

P 228.374.1409

Mr. Chandler and I also discussed roof progress. There is a water spicket on the roof that requires insulation. I asked him to confirm it would be insulated. He tried to reach out to the plumber but did not get a response while we were at the site.

F 228.374.1414

I walked the new roofing which seems to be in good order and is ongoing. I could tell from the roof top that the NW exterior courtyard appeared complete.

At the interior of the building, overhead work is ongoing. Ceiling grid installers were on site hanging grid. What grid that was installed appeared in good condition.

TEHS: on site, workers were installing glazing at storefront assemblies. New VCT has been installed throughout and is ongoing. At the roof, it appears that some flashing and sealants are still awaiting installation. I have several comments for the roof in the photos attached. Please pay attention to them.

TEHS: missing cove tile at bottom of tile walls as specified in Spec section 093013 2.3 A

Items to Verify None

Action Required At Merrit Middle, provide cost to add 2 columns aligned with 2 new column lines from new storefront entry with mounting flanges at bottom and bolted directly to existing concrete and fastened to upper structure in compression. Remove existing column in center of new sidewalk.

 At TEHS, propose replacement or credit for missed cove tile in toilet rooms

Report By:

Paul Purser, AIA
Dale | Bailey, an Association

cc: Trey Jacobs, Collin Chandler, David Arendale, Miskia Davis, Lillie Robey, Marvin Hawkins, Errick Lakes, Edmond Williams, Gary Bailey, Jason Stewart, Mark Pipper, Russ Blount, Darryl Dilmore, Paul Purser, Wanda Elliott, Tom Schaeffer, Will Grigg, William Knight, Jason Kackley, Al Guynes, Chris Green, Larry Scott, Lake Baird, Wesley Jacobs, Jennifer Baughn, Barry White



Figure 1 – GHS: new brick installation



Figure 2 – GHS: contractor reminded to clean all asphalt from face of brick



Figure 3 – GHS: subdrainage work at parking



Figure 4 – GHS: progress at cafeteria roof



Figure 5 – GHS: this pipe does not appear to meet 12 MIN clearance requirements



Figure 6 – GHS: contractor is reminded to clean up and the end of each; hazards like the type shown could cause damage to property or injury to person if left on the roof, unsecured over night



Figure 7 – GHS: diagonal hall roof progress



Figure 8 – GHS: roof progress to NE campus corner



Figure 9 – GHS: firewall detail above existing.



Figure 10 – GHS: roof progress at NE campus corner



Figure 11 – GHS: NW exterior courtyard progress



Figure 12 – GHS: Brick work at roof top



Figure 13 – GHS: cafeteria from above



Figure 14 – GHS: brick lintel in place



Figure 15 – GHS: roof top progress

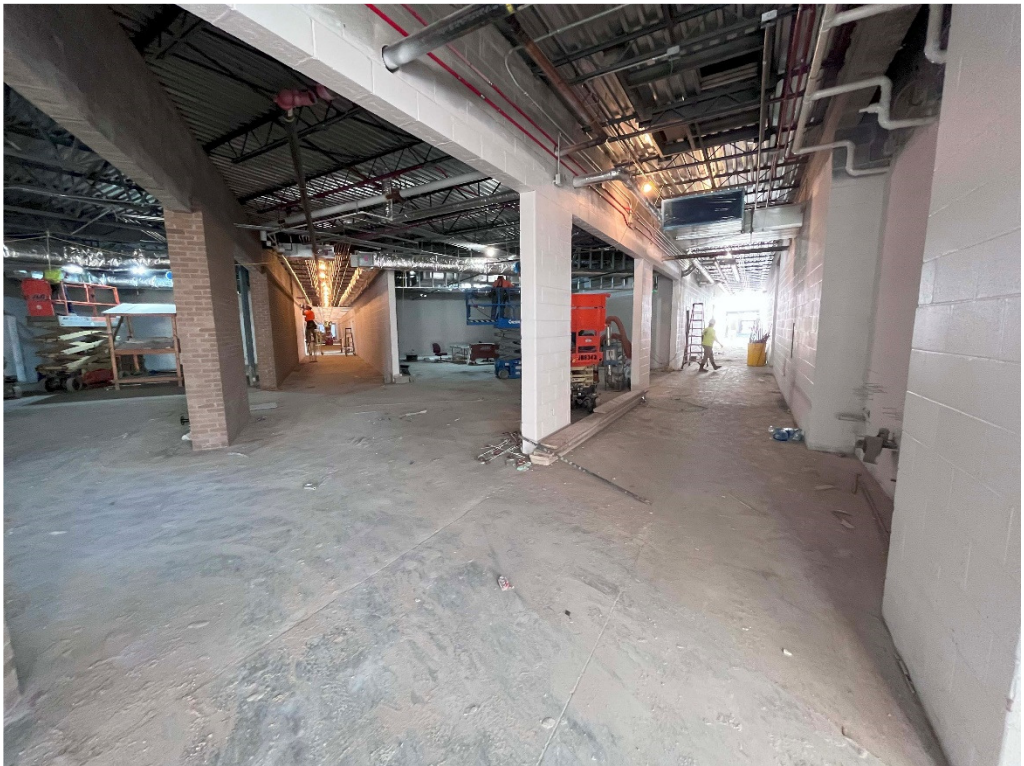


Figure 16 – GHS: 5 points hall



Figure 17 – GHS: front lobby, where discussed lowered ceiling may be required



Figure 18 – GHS: typical classroom at diagonal hall progress



Figure 19 – GHS: NE end of diagonal hall



Figure 20 – GHS: Typical north classroom progress



Figure 21 – GHS: progress at window restoration at north hall



Figure 22 – GHS: debris noted beneath paint at existing seal shall be removed prior to paint



Figure 23 – GHS: full coverage at all new window restorations is required



Figure 24 – GHS: drips and runs in paint shall be sanded, removed, and repainted



Figure 25 – Merrit Middle: provide pricing to restructure existing awning as described above



Figure 26 – Merrit Middle: progress at Merrit Middle Entry



Figure 27 – TEHS: progress at front entry; glass install in progress



Figure 28 – TEHS: stucco installed



Figure 29 – TEHS: Joints Awaiting Sealant Installation



Figure 30 – TEHS: cut back exposed flashing to flush with concrete and storefront



Figure 31 – TEHS: Joints Awaiting Sealant Installation



Figure 32 – TEHS: secure vestibule progress



Figure 33 – TEHS: millwork installed



Figure 34 – TEHS: fire alarm equipment installed



Figure 35 – TEHS: contractor is reminded to that all new ceiling installation shall be new and without deformation or discoloring



Figure 36 – TEHS: contractor is reminded to install all electrical plates flush with wall surface



Figure 37 – TEHS: progress at toilets rooms noted



Figure 38 – TEHS: cove tile missing from toilet rooms; a credit in lieu of replacement could be considered; make proposal



Figure 39 – TEHS: Media library progress



Figure 40 – TEHS: VCT progress noted at corridors



Figure 41 – TEHS: progress noted at toilet rooms; NOTE cove tile missing here also



Figure 42 – TEHS: minimum dampproofing required over liquid vapor barrier



Figure 43 – TEHS: minimum dampproofing required over liquid vapor barrier



Figure 44 – TEHS: provide flashing and sealants over open wall cavity



Figure 45 – TEHS: roof progress noted



Figure 46 – TEHS: NE Roof Connection at Lobby: foam in gap; cover with metal flashing



Figure 47 – TEHS: SE Roof Connection to Lobby: remove deadwood; foam in gap and install metal flashing in place



Figure 48 – TEHS: Joints Awaiting Sealant Installation