

Architect's Field Report

201 Park Court, Suite B Ridgeland, MS 39157 P 601.790.9432 F 888.281.0547	21 December 2020	
	18059-AOI Academy of Innovation / Report Number 051	
	Contract	Century Construction
	Date / Time	16 December 2020 / 12:30 PM
	Weather / Temp	Overcast / 38 ° F
	Est % Complete	85%
	Sched Conformance	+ 68 days
	Work in Progress	Paint Work Stucco Work Finish Electrical Finish Plumbing Mechanical Curtain Wall Testing
One Jackson Place, Suite 250 188 East Capitol Street Jackson, MS 39201-2100 P 601.352.5411 F 601.352.5362	Present at Site	Joey Moore, CC Paul Purser, DBA
161 Lameuse Street, Suite 201 Biloxi, MS 39530 P 228.374.1409 F 228.374.1414	Observations	<p>I arrived on site around lunch in time for a water test on our curtain wall and storefront systems. An issue arose through testing and was brought to the installer's attention. Some rework of walls is required.</p> <p>At the roof, there are several issues that could lead to water intrusion in the near future that need to be addressed. Concerning the curtain wall system, one jamb at the south side installed with a solid back towards the wall which created a cavity for water and other intruders; this jamb needs to be replaced or filled to prevent water intrusion. Concerning metal panel system, there is bare substrate showing in many places that should have a continuous metal barrier. These panels need to be removed and full flashing should be installed so that a continuous weather barrier exists at the underside of the upper wall system. I noted this at the upper roof here, but the contractor should review installation at the entire perimeter for any bare substrate and ensure that it is properly flashed as this will be required for final close out.</p> <p>I also noted bare wood and missing flashing at the south section of roof between the gutter and the TPO. This should follow the same manner of thought as above and be flashed with a continuous weather barrier. No substrate or bare wood should be visible for correct installation.</p> <p>On the interior, I noted work performed on handrails in several locations. This is looking better, but there are still several places that need to be reworked and/or finished smooth. I've noted many below in the attached images but not an exhaustive list.</p> <p>There are several areas of damaged ceiling grid that I do understand that the contractor will repair by the end of work, but I wanted to make an</p>

additional note here that they are many and, in most cases, require the grid to be replaced in their entirety.

Painting is ongoing throughout but nearing completion.

Items to Verify None

Action Required Curtain/Storefront Corrections as Noted.

Tile Corrections at Base (will be on punch list)

Metal Panel Flashing Corrections

Report By:

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Dale | Bailey, an Association

cc: Wilson Little / Joey Moore / Allison Wood (CC)
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Gary Bailey / Jason Stewart / Mark Pipper (BPM)
Russ Blount / Will Commarato / Candy Failor (DBA)
Brandon McKay / Austin Newell (WGK)
Jason Kackley / Al Guynes (GSK)
Chris Green / Larry Scott (TPS)
Jerry Montgomery (SM)



Figure 1 – East Façade at North Central Section of Building



Figure 2 – East Façade



Figure 3 – North Façade at East Section of Building



Figure 4 – Stucco work ongoing



Figure 5 – Stucco work ongoing



Figure 6 – North Central Façade



Figure 7 – North Central Façade



Figure 8 – North Façade at West Section of Building



Figure 9 – West Façade of North Central Section of Building



Figure 10 – Concrete work at Sidewalk correction



Figure 11 – Paint Work is Ongoing



Figure 12 – Paint Work is Ongoing



Figure 13 – Storefront at Main Entry



Figure 14 – Storefront at Main Entry



Figure 15 – Storefront at Main Entry



Figure 16 – Curtain wall and doors installed



Figure 17 – Paint work at Lobby is ongoing



Figure 18 – Partitions installed fully in some bathrooms



Figure 19 – Corner Tiles at base in several locations need correction (grout missing between base and upper tiles)



Figure 20 – Corner Tiles at base in several locations need correction (cut back wall tiles so that end tile does not create a larger shelf than is typical)



Figure 21 – Corner Tiles at base in several locations need correction (reinstall so they are square to each other)



Figure 22 – Partition installation is ongoing



Figure 23 – Lobby Paint is ongoing



Figure 24 – Lobby Paint Work



Figure 25 – Foldable partitions are installed throughout



Figure 26 – Lab Fixtures installed



Figure 27 – Ceiling grid throughout has been damaged and will need replacing



Figure 28 – SE Stair on going



Figure 29 – SE Stair on going



Figure 30 – East Wing nearly complete



Figure 31 – Foldable Door Frames In Place Throughout



Figure 32 – Partition Wall Installation is Ongoing



Figure 33 – Handrail that still need correction (dip in rail needs correction)



Figure 34 – Handrail that still need correction (built up weld need further grinding)



Figure 35 – Handrail that still need correction (mottling at weld)



Figure 36 – Handrail that still need correction (dip in rail)



Figure 37 – Handrail that still need correction (cut section should be further cut back so that it looks like it was never there)



Figure 38 – Example of repair at handrail that should finish out well



Figure 39 – Storefront Tester BLI&T



Figure 40 – Product test by BLI&T



Figure 41 – Rooftop storefront Wall



Figure 42 – Fold in TPO creates well for water to collect and drain into wall cavity; this work needs correction



Figure 43 – Curtain Wall at South Central Roof; this junction is not properly flashed and just over the edge of roof, bare wood is showing which needs metal flashing as covering



Figure 44 – Solid Storefront Jamb required for proper flashing at this section of roof; use of this style jamb creates refuge for water and/or insects

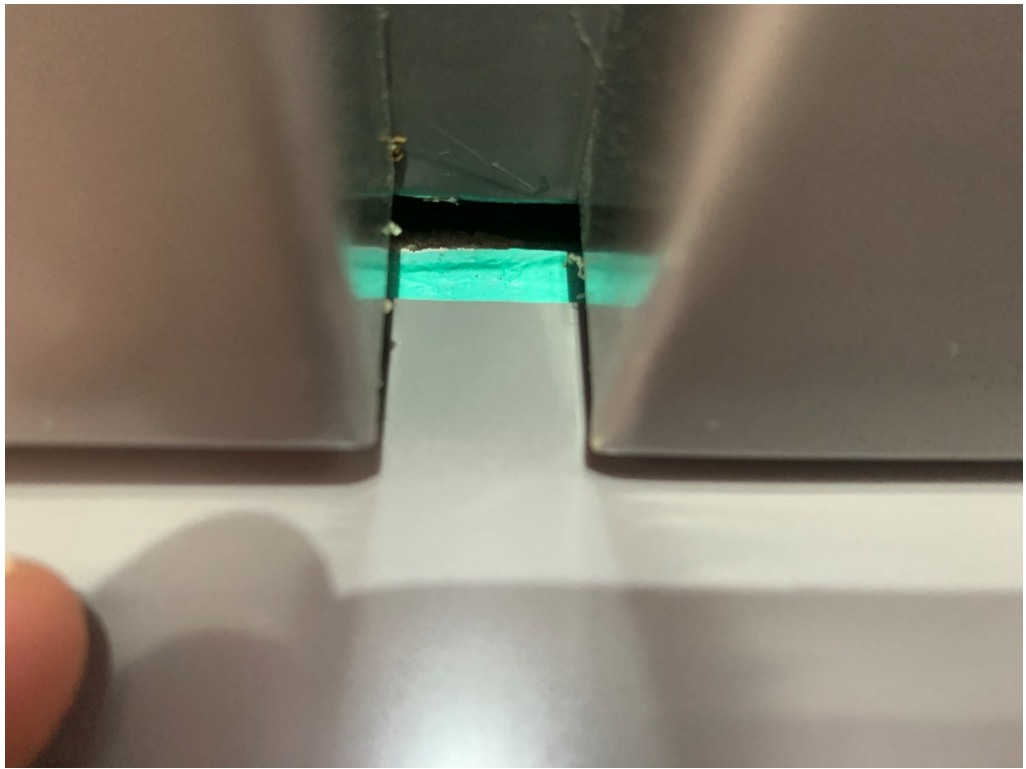


Figure 45 – Metal roof Flashing does not entirely cover substrate and needs correction



Figure 46 – Central Building Top of Storefront