

Architect's Field Report

201 Park Court, Suite B
Ridgeland, MS 39157
P 601.790.9432
F 888.281.0547

22 October 2021

18053-Vicksburg Junior High School / Report Number 039

One Jackson Place, Suite 250
188 East Capitol Street
Jackson, MS 39201-2100
P 601.352.5411
F 601.352.5362

Contract Paul Jackson & Son
Date / Time 22 October 2021 / 12:00 PM
Weather / Temp Partly cloudy / 80 ° F
Est % Complete 99%
Sched Conformance + 90 days
Work in Progress None

161 Lameuse Street, Suite 201
Biloxi, MS 39530
P 228.374.1409
F 228.374.1414

Present at Site Paul Purser, DBA

Observations I arrived on site to review punch list progress. There are several items that have been addressed but still some outstanding items. I've included details in the included images for your review.

Handrails throughout have major issues. They do not conform to the construction documents in several areas and need to be replaced. Note written general notes on page A-701 as well as drawings for your reference.

There is still a good deal of clean up to be done where work is still incomplete.

Items to Verify None

Action Required None

Report By:

Paul Purser, AIA, LEED AP
Dale | Bailey, an Association

cc: Austin Stults / Jeff Porter / Kipp Ready (PJS)
Chad Shealy / Shaquita Burke / Christi Kilroy (VWSD)
Gary Bailey / Jason Stewart / Mark Pipper (BPM)
Russ Blount / Candy Failor (DBA)
Brandon McKay / Austin Newell (WGK)
Jason Kackley / Al Guynes (GSK)
Chris Green / Larry Scott (TPS)
Tom Schaeffer / Tad Hoffpaur (SDG)



Figure 1 – Entrance Progress



Figure 2 – Roof tar still present from new construction



Figure 3 – Caulk still present at demoed awning; anchor mega phone



Figure 4 – Upper jamb still showing steaking



Figure 5 – Cut This line straight



Figure 6 – Fill in gaps between concrete porch and slab at storefront install at entrance



Figure 7 – Construction marks still present at New Doors; fill mis-drilled hole



Figure 8 – Construction marks still present at New Doors



Figure 9 – Construction marks still present at New Doors



Figure 10 – Fill in gaps between concrete porch and slab at storefront install at entrance



Figure 11 – Leaks still present at A-212

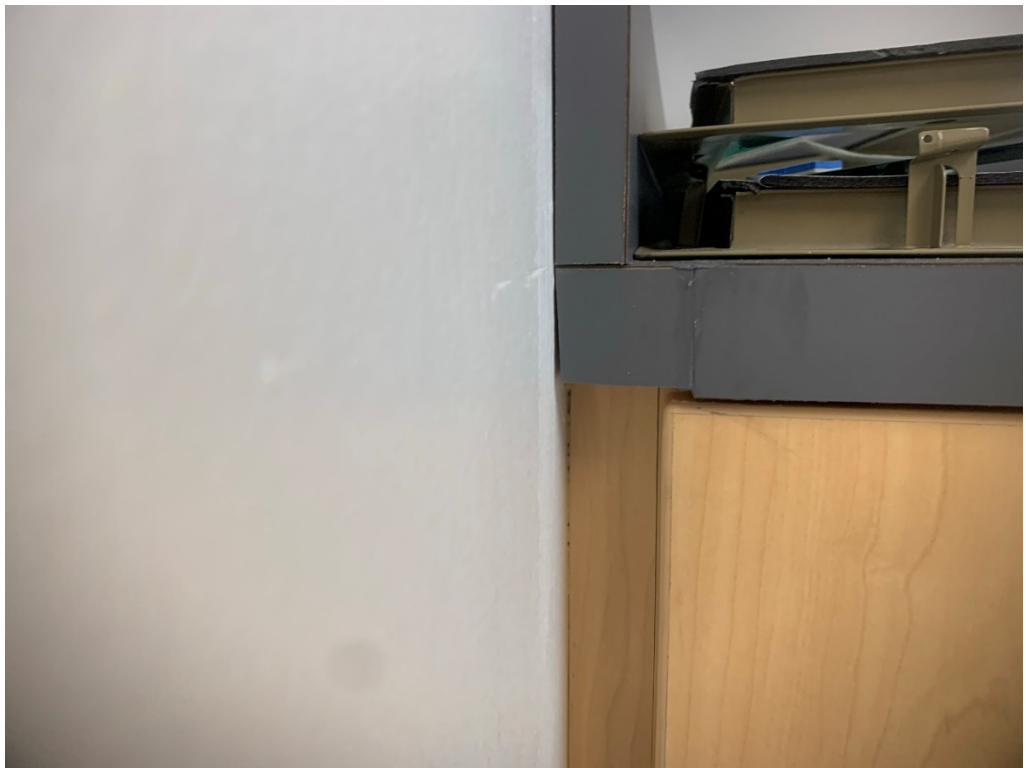


Figure 12 – Laminate counter at A-205 still has non flush laminate piece



Figure 13 – Conference A-206 Tile Sliding



Figure 14 – Clean up edges where foam is tattered at glass installation



Figure 15 – Clean up edges where foam is tattered at glass installation



Figure 16 – Clean Plate at A-212



Figure 17 – Door 215 needs to be adjusted (crooked in frame)



Figure 18 – Floors need cleaning



Figure 19 – Floors need cleaning



Figure 20 – Floors need cleaning



Figure 21 – Handrails missing supports



Figure 22 – Handrails missing supports



Figure 23 – Handrail is rough in some areas and needs to be sanded and repainted

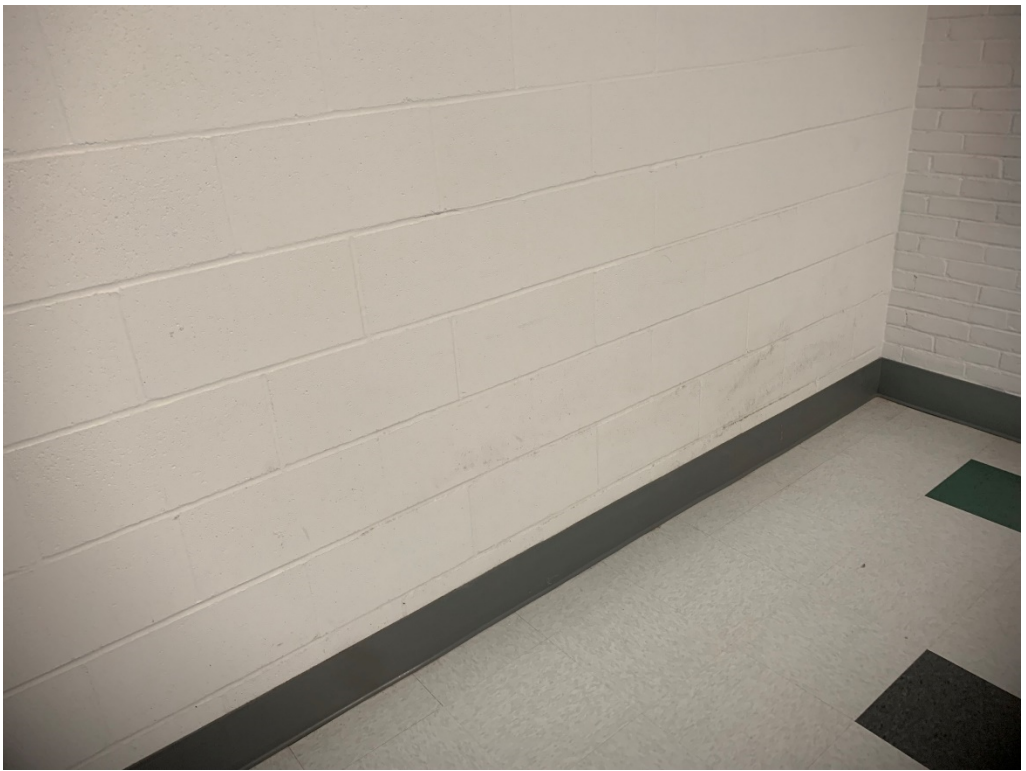


Figure 24 – Clean dirt at wall in E-200 near concessions



Figure 25 – Unpainted Doors



Figure 26 – Remove construction materials

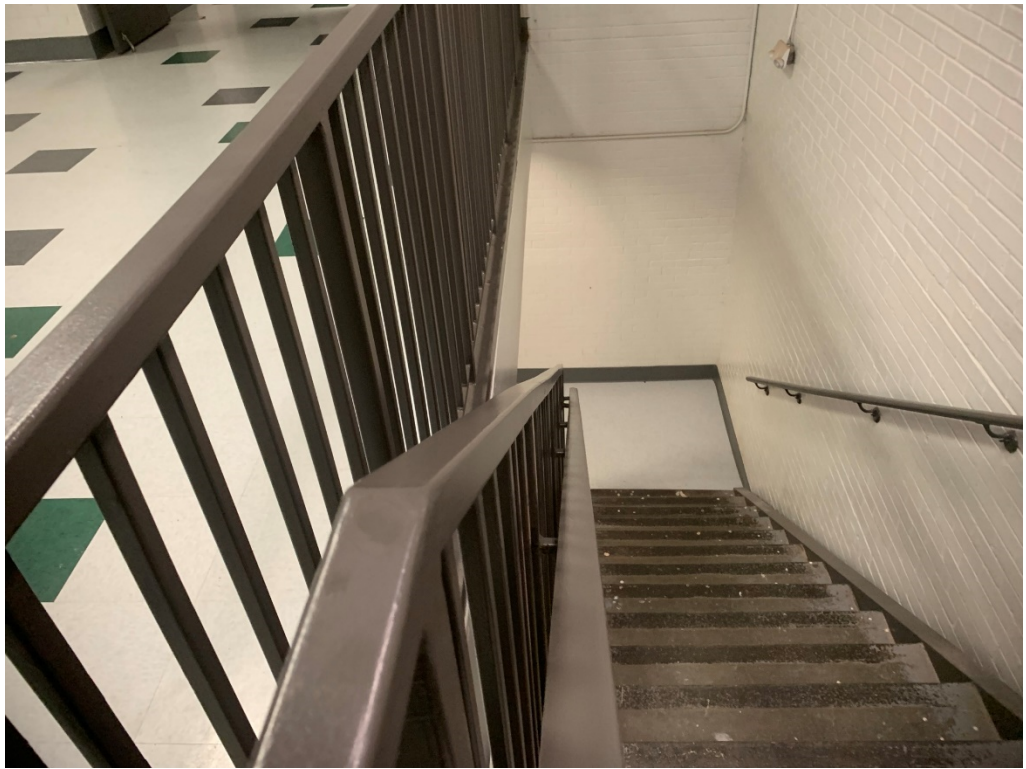


Figure 27 – Guardrail is not straight

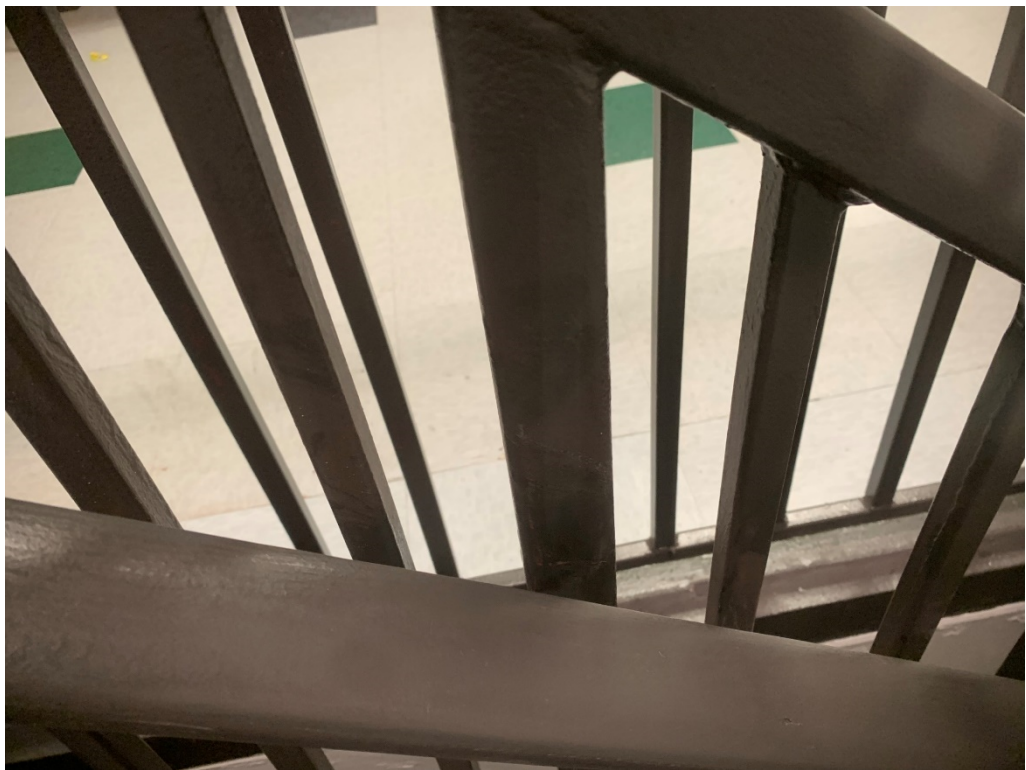


Figure 28 – Clean Guardrails free of construction dust



Figure 29 – Guardrails need repair for smooth appearance



Figure 30 – Guardrails need repair for smooth appearance



Figure 31 – Guardrails need repair for smooth appearance

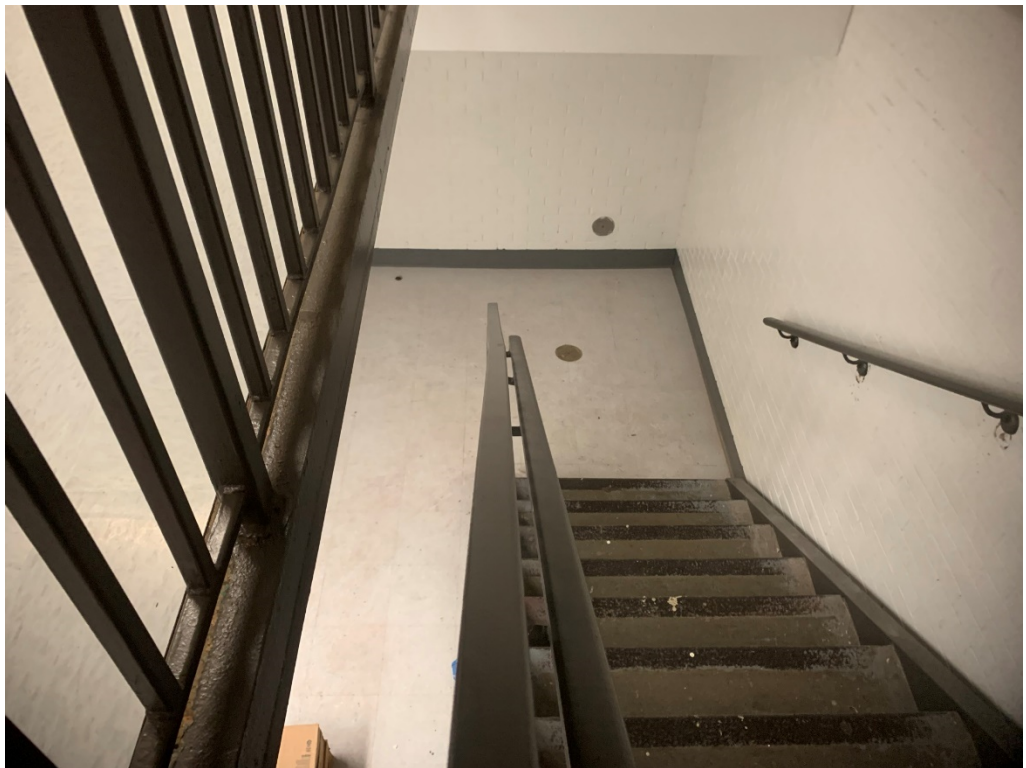


Figure 32 – Guardrail is not straight

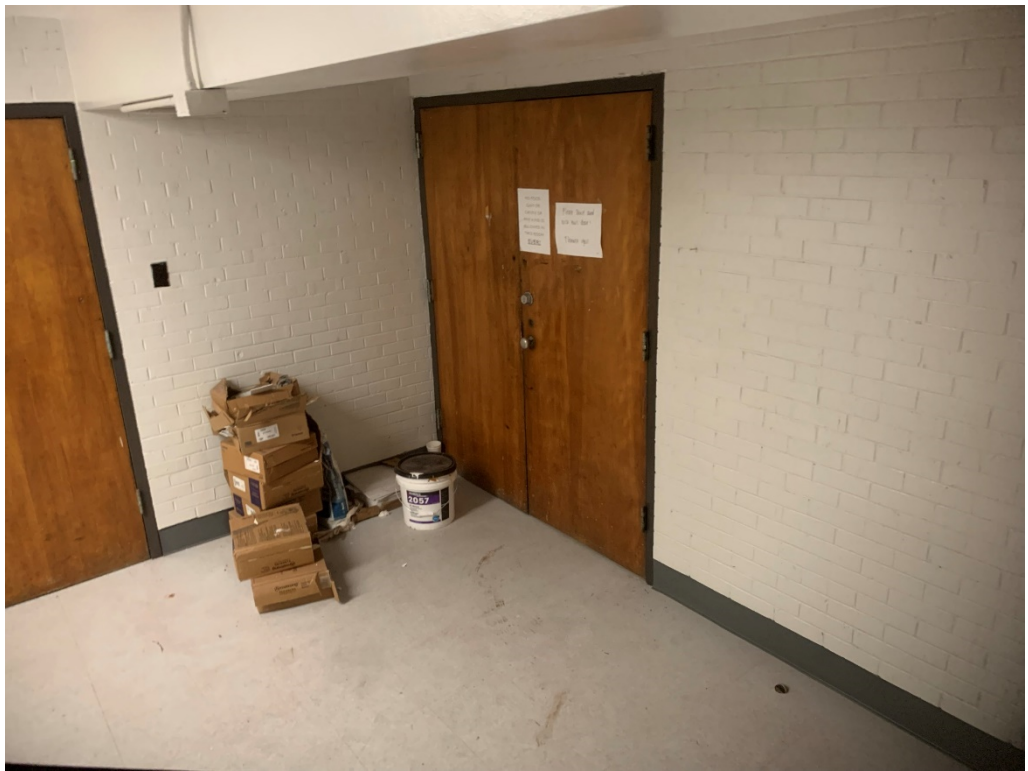


Figure 33 – Clean out flooring materials



Figure 34 – Clean out flooring materials



Figure 35 – Paint peeling at walls in cooridor



Figure 36 – Guardrails need repair for smooth appearance



Figure 37 – Guardrails need repair for smooth appearance



Figure 38 – Guardrails need repair for smooth appearance



Figure 39 – Guardrails need repair for smooth appearance



Figure 40 – Clean/replace ceiling tile @ E-111



Figure 41 – Handrail does not extend 12" past last step



Figure 42 – Handrails do neither return to wall or are continuous per drawings



Figure 43 – Floor tile at E-216 near E-212 transmitting through poorly prepped subfloor; replace and prep correctly



Figure 44 – Treads Installed



Figure 45 – Handrail does not extend 12" past last step

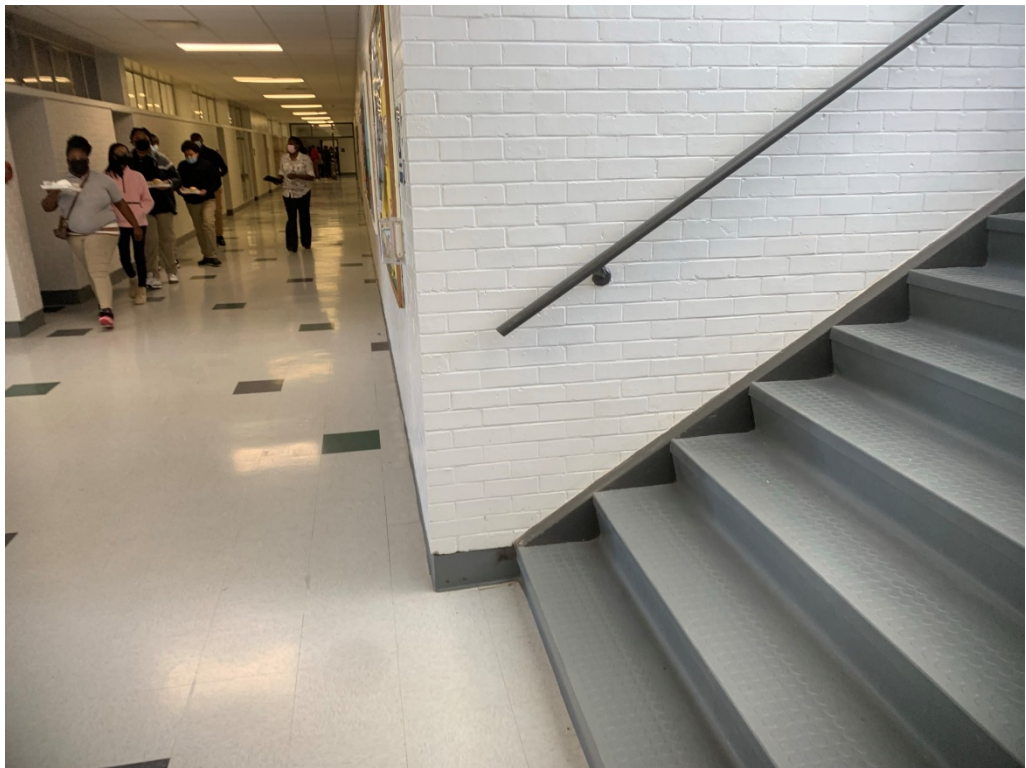


Figure 46 – Handrail does not extend 12" past last step



Figure 47 – Wall Missing Paint



Figure 48 – Floor tile raised in admin area



Figure 49 – Blinds still to be installed



Figure 50 – Patch needed at E-308



Figure 51 – Finish Awning Install



Figure 52 – Clean new fence and paint where scuffed



Figure 53 – Adjust Latch so Gate cannot be pulled open



Figure 54 – Finish Painting Door Panel & Jamb