

Architect's Field Report

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In memory of
Michael A. Barranco, AIA
1962-2011

12 December 2021

15094 Community Bank Headquarters / Report Number 032

Contract Fountain Construction Company, Inc.
Date / Time 10 December 2021 / 9:00 AM
Weather / Temp Partly cloudy / 55 ° F
Present at Site Robert Clay, FCC
Stan Green, FCC
Paul Purser, Dale Partners Architects

Observations On site, work was being performed inside and out. Men were on a lift at the front façade installing aluminum cladding. Curbs have been poured and are being poured throughout the site and parking areas.

Inside, there is a lot of moisture at the first level. This will bleed to the upper floors and needs to be corrected to reduce moisture at the upper levels. The most likely culprit appears to be the sealant, still to be installed at the curtain walls.

At the upper floors, tile is being installed throughout. FCC employees are also working on odds and ends.

I've included with the report the observations made since the last report and entered into the procore software (18 pages), attached to this document.

Items to Verify None.

Action Required None.

Report By: Paul Purser, AIA, Architect, Dale Partners Architects, P.A.



DALE PARTNERS ARCHITECTS, P.A.

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CC:

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Brad Fountain, Fountain Construction
Robert Clay, Fountain Construction



Figure 1 – West Façade; curb installed



Figure 2 – Aluminum Cladding is ongoing



Figure 3 – High moisture levels at the 1st floor; awaiting elastomeric sealant



Figure 4 – Drywall is ongoing throughout



Figure 5 – Tile is ongoing throughout



Figure 6 – Tile is ongoing throughout



Figure 7 – Bottom edge of new concrete requires straightening at 4th floor balconies



Figure 8 – No Caulking present in some locations below curtain walls assemblies at balconies on 4th



Figure 9 – Caulking below curtain walls assemblies at balconies on 4th



Figure 10 – Poorly caulked flashing will have water intrusion

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5655 Hwy 18 West
Jackson, Mississippi 39209
United States
(601) 373-4162

Job #: 219048 Community Bank Headquarters
167 East Metro Parkway
Flowood Mississippi. 39232
6015738033

Observations For 219048 - Community Bank

#198: Seal gaps at store front outside corners at all balconies

Type: **Work to Complete > Work to Complete**
Location: **Exterior>Building>Curtain Walls**
Trade: **Initiated**
Date Notified: **High**
Due Date: **2021-12-17**
Spec Section:
Assignee:
Description: **Each corner at building ends needs more attention for air and water Tightness**
Created By: **Paul Purser**



#197: Poorly sealed condition

Type: **Quality > Corrective Action**
Location: **Interior>Level 4>4113 Exec. Office**
Trade: **Initiated**
Date Notified: **Urgent**
Due Date: **2021-12-17**
Spec Section:
Assignee:
Description: **Continue mastic at vertical gap between framing and precast to prevent water intrusion ; Outside at corner**
Created By: **Paul Purser**



#196: Counter flashing

Type: **Quality > Corrective Action**
Location: **Interior>Level 4>4113 Exec.**

Office

Trade: Status:
Initiated

Date Notified: Priority:

Due Date: Spec Section:
2021-12-17



Assignee: Description:
This is actually outside on the balcony; flashing has been very poorly caulked And Seal is not continuous

Created By:
Paul Purser

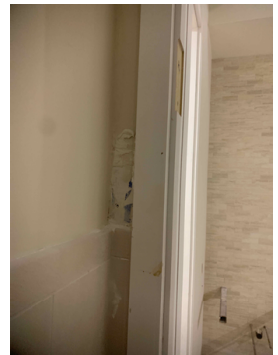
#195: Finish mud smooth at back side of all door jambs in toilets (typical)

Type: Location:
Work to Complete > Work to Complete Interior>Level 4>4004 Men

Trade: Status:
Initiated

Date Notified: Priority:

Due Date: Spec Section:
2021-12-17



Assignee: Description:
This issue is at most every location

Created By:
Paul Purser

#194: Lights not on plans

Type: Location:
Quality > Corrective Action Interior>Level 4>4002 Bank Office Area

Trade: Status:
Initiated

Date Notified: Priority:

Due Date: Spec Section:
2021-12-17



Assignee: Description:
These lights do not appear to be on our floor plan

Created By:
Paul

#193: Bracing for pendant fixture

Type: **Work to Complete > Work to Complete**
Location: **Interior>Level 4>4143 Small Conf.**
Trade:
Status: **Initiated**
Date Notified:
Priority:
Due Date: **2021-12-17**
Spec Section:
Assignee:
Description:
Created By: **Paul Purser**
Description: **Ensure that pendant light will be properly braced**



#192: Cavity will need insulation

Type: **Work to Complete > Work to Complete**
Location: **Interior>Level 4>4151 CIO Office**
Trade:
Status: **Initiated**
Date Notified:
Priority:
Due Date: **2021-12-17**
Spec Section:
Assignee:
Description:
Created By: **Paul Purser**
Description: **Will this cavity receive foam?**



#191: Secure piping

Type: **Work to Complete > Work to Complete**
Location: **Interior>Level 4>4207 Storage**
Trade:
Status: **Initiated**
Date Notified:
Priority:
Due Date: **2021-12-17**
Spec Section:
Assignee:
Description:
Created By: **Paul**
Description: **Secure all copper piping With strapping**



#185: Elevator indicator above ceiling

Type: **Quality > Deficiency** Location: **Interior>Level 3>3007 Support**

Trade: Status: **Closed**

Date Notified: Priority:

Due Date: **2021-12-15** Spec Section:

Assignee: Description:

Created By: **Relocate indicator Same as Observation 184.**
Paul Purser



#184: Elevator indicator conflict, Indicator above ceiling.

Type: **Quality > Deficiency** Location: **Interior>Level 3>3007 Support**

Trade: Status: **Initiated**

Date Notified: Priority:

Due Date: **2021-12-14** Spec Section:

Assignee: Description:

Created By: **Indicator above ceiling**
Paul Purser

#183: Missing light

Type: **Work to Complete > Work to Complete** Location: **Interior>Level 3>3007 Support**

Trade: Status: **Initiated**

Date Notified: Priority:

Due Date: **2021-12-14** Spec Section:

Assignee: Description:

Created By: **Install light per plans**
Paul



#182: Room is too large

Type: **Quality > Corrective Action**
Location: **Interior>Level 3>3402 Marketing**
Trade:
Status: **Ready For Review**
Date Notified:
Priority: **High**
Due Date: **2021-12-14**
Spec Section:
Assignee:
Description:
Created By: **Paul Purser**
This room is 2 feet wider than it should be



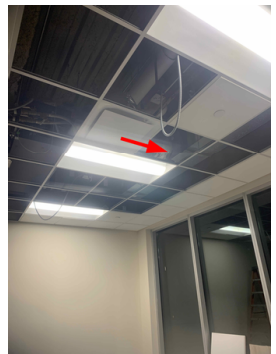
#181: This room is too small

Type: **Quality > Corrective Action**
Location: **Interior>Level 3>3404 Marketing**
Trade:
Status: **Ready For Review**
Date Notified:
Priority: **High**
Due Date: **2021-12-14**
Spec Section:
Assignee:
Description:
Created By: **Paul Purser**
This room is 2 feet shorter than it should be



#180: Move supply register closer to the window

Type: **Work to Complete > Misc Issues**
Location: **Interior>Level 3>3412 Marketing Dir.**
Trade:
Status: **Initiated**
Date Notified:
Priority:
Due Date: **2021-12-14**
Spec Section:
Assignee:
Description:
Created By: **Paul**



#179: Drywall is severely bowed where store front connects

Type: **Quality > Corrective Action** Location: **Interior>Level 3>3106 Accounting Director**

Trade: Status: **Initiated**

Date Notified: Priority: **Medium**

Due Date: **2021-12-14** Spec Section:

Assignee: Description: **Who all needs to be Removed and reinstalled so that it is straight up against storefront jamb**

Created By: **Paul Purser**



#178: Missing lights

Type: **Work to Complete > Work to Complete** Location: **Interior>Level 3>3025 Conference**

Trade: Status: **Initiated**

Date Notified: Priority: **Medium**

Due Date: **2021-12-14** Spec Section:

Assignee: Description: **There are two missing lights in this furr down**

Created By: **Paul Purser**



#177: Leak at façade

Type: **Work to Complete > Misc Issues** Location: **Interior>Level 3>3202 Credit Director**

Trade: Status: **Initiated**

Date Notified: Priority: **Urgent**

Due Date: **2021-12-14** Spec Section:

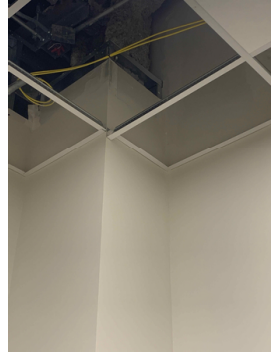
Assignee:



Created By: **Water is entering façade**
Paul Purser

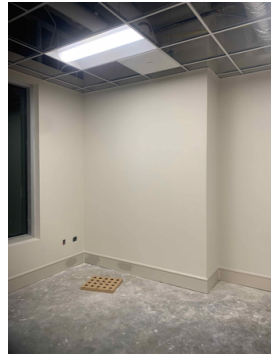
#176: Missing corner and unfinished grid

Type: **Work to Complete > Work to Complete** Location: **Interior>Level 3>3202 Credit Director**
Trade: Status: **Initiated**
Date Notified: Priority:
Due Date: **2021-12-14** Spec Section:
Assignee: Description:
Created By: **Paul Purser**



#175: Where is our nook?

Type: **Quality > Corrective Action** Location: **Interior>Level 3>3204 Credit Director**
Trade: Status: **Closed**
Date Notified: Priority:
Due Date: **2021-12-09** Spec Section:
Assignee: Description: **Plans indicate a nook here**
Created By: **Paul Purser**



#174: Scratches on prefinished jambs

Type: **Quality > Non-Conformance** Location: **Interior>Level 3>3201 Storage**
Trade: Status: **Initiated**
Date Notified: Priority:
Due Date: Spec

2021-12-14

Assignee:

Description:

Created By:
Paul Purser

This frame will need to be replaced



#173: Are these flat panel lights correct?

Type:
Work to Complete > Misc Issues

Location:
Interior>Level 3>3201 Storage

Trade:

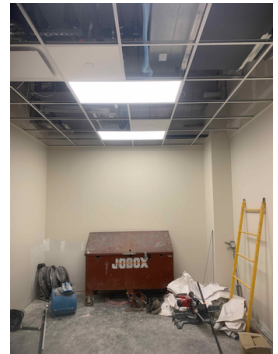
Status:
Closed

Date Notified:
Due Date:
2021-12-14

Priority:
Spec Section:

Assignee:
Created By:
Paul Purser

Description:
Are these the correct lights?



#172: Missing door?

Type:
Work to Complete > Work to Complete

Location:
Interior>Level 3>3241 Corridor

Trade:

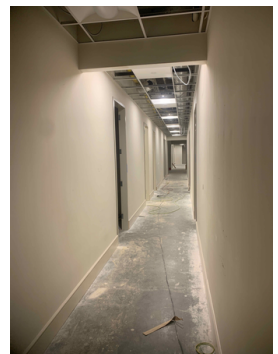
Status:
Initiated

Date Notified:
Due Date:
2021-12-14

Priority:
Spec Section:

Assignee:
Created By:
Paul Purser

Description:
Are we missing a door here?



#171: Move register closer to window

Type:
Quality > Corrective Action

Location:
Interior>Level 3>3122 Office

Trade:

Initiated

Date Notified:

Priority:

Due Date:

Spec Section:

2021-12-14

Assignee:

Description:

Created By:

Move register as indicated

Paul Purser



#170: Move supply register closer to window

Type:

Location:

Quality > Corrective Action

Interior>Level 3>3118 Office

Trade:

Status:

Initiated

Date Notified:

Priority:

Due Date:

Spec Section:

2021-12-14

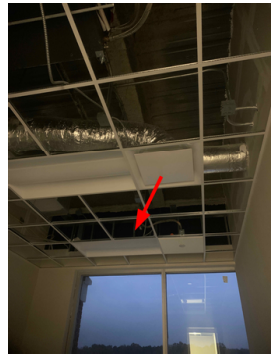
Assignee:

Description:

Created By:

Move register as indicated

Paul Purser



#169: Missing corner grid

Type:

Location:

Work to Complete > Work to Complete

Interior>Level 3>3110 Director

Trade:

Status:

Initiated

Date Notified:

Priority:

Due Date:

Spec Section:

2021-12-14

Assignee:

Description:

Created By:

Missing corner grid piece

Paul Purser



#168: Leak at 3202

Type:

Location:

Work to Complete > Misc Issues

Interior>Level 3>3202 Credit Director

Trade:

Initiated

Date Notified:

Priority:

Urgent

Due Date:

2021-12-14

Spec Section:

Assignee:

Description:

Water is entering building for facade at exterior wall; removal of base trim and sheet rock may be required

Created By:

Paul Purser

#167: Exposed pipe in south stairwell at landing between level 1 & 2

Type:

Work to Complete > Work to Complete

Location:

Interior>Level 1>S1.1 Stair 1

Trade:

Status:

Initiated

Date Notified:

Priority:

Due Date:

2021-12-14

Spec Section:

Assignee:

Description:

Clean and paint pipe

Created By:

Paul Purser



#166: Misaligned storefront

Type:

Quality > Corrective Action

Location:

Interior>Level 1>1201 Building Commons

Trade:

Status:

Initiated

Date Notified:

Priority:

Due Date:

2021-12-14

Spec Section:

Assignee:

Description:

Horizontal member out of square

Created By:

Paul Purser



#165: Missing Acoustical Sealant

Type:

Quality > Deficiency

Location:

Trade: Status:
Initiated

Date Notified: Priority:
2021-12-09 High

Due Date: Spec Section:
2021-12-14

Assignee: Description:

Robert Clay (Fountain Construction Co., Inc.)

Created By:

Paul Purser

There does not appear to be any acoustical sealant applied at wall partition bottoms as shown in A601/3. This needs to be installed; the owner is willing to consider a credit if that may be an option. Also, confirm sealant installation at all electrical outlets per same detail.

#164: Bank Teller Window Flashing

Type: Location:
Quality > Corrective Action Exterior > Building

Trade: Status:
Initiated

Date Notified: Priority:
High

Due Date: Spec Section:
2021-12-13

Assignee: Description:

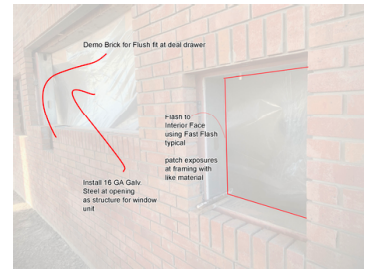
Created By:

Per our on site meeting last week, details for flashing the teller window are as follows:

Materials: Prosoco R-Guard FastFlash, Prosoco R-Guard Liquid Membrane

Paul

Fast flash will be employed to flash each opening to the interior wall plane and unit shall be sealed with mastic at that location. Flashing shall be applied at all jambs, sills, headers, and corners throughout. Openings in metal framing shall be covered with like material.



At the shelf created by the new metal stud wall below the precast panel, fast flash shall be applied to brick surface, horizontal shelf, & down face of gypsum substrate.

At the main window, galvanized steel shall be employed continuously around opening so that window unit can be brought out flush with brick face. Where this unit meets the deal drawer, the steel may be notched as needed to fit drawer. The deal drawer shall be flush with both the window unit as well as the brick face.

See attachments for additional flashing details.

#162: Missing Returns

Type:	Location:
Work to Complete > Work to Complete	Interior>Level 3
Trade:	Status:
MECHANICAL	Initiated
Date Notified:	Priority:
2021-12-03	High
Due Date:	Spec Section:
2021-12-10	
Assignee:	Description:
Rowdy Neely (Metro Mechanical Inc.)	The attached document notes missing return that still require cutting through drywall and installing sleeves. This document concerns areas throughout the 3rd Floor.
Created By:	
Paul Purser	

#161: Lobby furr down heights

Type:	Location:
Work to Complete > Misc Issues	Interior>Level 4>4001 Elev.

Trade:
Date Notified:
2021-12-09
Due Date:
2021-12-10

Status:
Initiated
Priority:
Spec Section:

Assignee:
Robert Clay (Fountain Construction Co., Inc.)
Created By:
Paul Purser

Description:
Due to the change in height of door 4001a, The furr down opposite this door in the elevator lobby should match in height; Issues concerning tile joints shall also be considered so that they line up with this new furr down height.



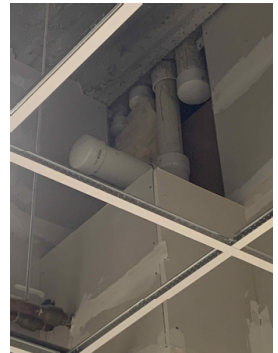
#157: PVC in plenum

Type:
Quality > Corrective Action
Trade:
Date Notified:
2021-12-03
Due Date:
2021-12-09

Location:
Status:
Ready For Review
Priority:
Spec Section:

Assignee:
PARK MURRAY (Acoustics, Inc.)
Created By:
Paul Purser

Description:
Finish drywall to floor deck so that PVC is not exposed in Plenum



#156: Ceiling grid not centered

Type:
Quality > Corrective Action
Trade:
Date Notified:
2021-12-03
Due Date:
2021-12-09

Location:
Interior>Level 3
Status:
Ready For Review
Priority:
Spec Section:

Assignee:



PARK MURRAY (Acoustics, Inc.)

Ceiling grid is not centered in the room; adjust to center in 3401 open office

Created By:
Paul Purser

#155: Missing tape at diffusers

Type:
Quality > Corrective Action

Location:

Trade:
DRYWALL

Status:
Ready For Review

Date Notified:
2021-12-03

Priority:

Due Date:
2021-12-09

Spec Section:

Assignee:
Lavon Grace (Metro Painting, Inc.)

Description:
**Mud cracking at diffusers;
probably missing paper tape**

Created By:
Paul Purser



#154: Missing or incomplete bolt install at aluminum frames

Type:
Quality > Corrective Action

Location:
Interior > Level 4

Trade:
GLAZING

Status:
Ready For Review

Date Notified:
2021-12-03

Priority:

Due Date:
2021-12-09

Spec Section:

Assignee:
Rex Robinson (American Glass Company, Inc.)

Description:
Missing screws or screws not fully set

Created By:
Paul







#153: HVAC maintenance issue for filter

Type:
Quality > Corrective Action

Location:
Interior>Level 4

Trade:
MECHANICAL

Status:
Ready For Review

Date Notified:
2021-12-03

Priority:

Due Date:

Spec Section:



Assignee:
**Justin Duncan (Fountain
Construction Co., Inc.)**

Created By:
Paul Purser

Description:
**Unable to change filter without
damaging new due to drain
placement**



