

Architect's Field Report

T. Doug Dale, AIA

Jeffrey R. Barnes, AIA

Leigh G. Jaunsen, AIA, LEED AP

Russ S. Blount, AIA, LEED AP

Jason M. Agostinelli, AIA

In memory of
Michael A. Barranco, AIA
1962-2011

12 July 2021

15094 Community Bank Headquarters / Report Number 016

Contract Fountain Construction Company, Inc.

Date / Time 12 July 2021 / 10:30 AM

Weather / Temp Partly cloudy / 86 ° F

Present at Site Framers, Electricians, Stone Artisans
Paul Purser, Dale Partners Architects

Observations On a very rainy day, as seems typical as of late, I walked the site in Flowood. The plastic barrier at our openings has deteriorated to the point that it needs to be replaced as it is not doing much for protection any longer. It doesn't appear that any progress has been made at the North end, however, I understand that rain has been a daily occurrence as of late.

At the interior, framers were working at the 3rd and 4th floors. Electricians were installing lighting at the board room ceilings. Workers were cleaning at the 4th floor as well. A stone worker was augmenting panels at 4th floor balconies.

Items to Verify None.

Action Required None.

Report By: Paul Purser, AIA, Architect
Dale Partners Architects, P.A.

cc: Jim White, Community Bank
Ryan Puckett, Community Bank
Russ Blount, AIA, Dale Partners Architects
Brad Fountain, Fountain Construction
Robert Clay, Fountain Construction

DALE PARTNERS ARCHITECTS, P.A.

Architecture • Interiors • Planning

One Jackson Place, Suite 250
188 East Capitol Street
Jackson, MS 39201-2100

P 601.352.5411 • f 601.352.5362

161 Lameuse Street, Suite 201
Biloxi, MS 39530

P 228.374.1409 • f 228.374.1414

dalepartners.com



Figure 1 – Front Façade Progress



Figure 2 – Glazing Progress at North Facade



Figure 3 – East Façade



Figure 4 – 1st Floor Staging Area



Figure 5 – 1st Floor Staging Area



Figure 6 – Broken Glass at 2nd Floor North Windows



Figure 7 – Broken Glass at 2nd Floor North Windows



Figure 8 – Electrical Work at 2nd Floor Elevators



Figure 9 – Water Damaged Drywall Should be Replaced (noted primarily at 3rd floor SE)



Figure 10 – Water Damaged Drywall Should be Replaced (noted primarily at 3rd floor SE)



Figure 11 – Water Damaged Drywall Should be Replaced (noted primarily at 3rd floor SE)



Figure 12 – Framing at 3rd Floor North Section



Figure 13 – Framing at Banquet Room



Figure 14 – Wet Insulation should be Discarded and Replaced



Figure 15 – Wet Insulation should be Discarded and Replaced



Figure 16 – Framing & Electrical at the Board Room



Figure 17 – Ceiling Lighting at Board Room

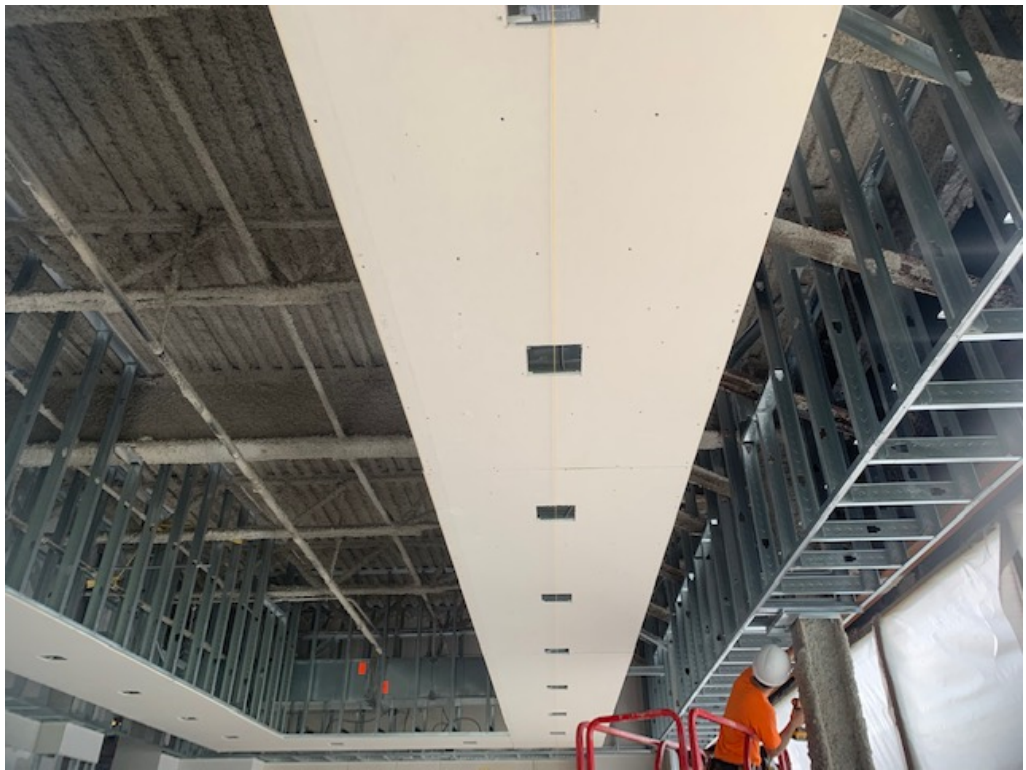


Figure 18 – Ceiling Lighting at Board Room



Figure 19 – Stone Worker Repairing Panel In place



Figure 20 – Stone Worker Repairing Panel In place