## **DALE** PARTNERS

## Architect's Field Report

15094 Community Bank Headquarters

1 June 2021

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> In memory of Michael A. Barranco, AIA 1962-2011

<u>,</u>	
Contract	Fountain Construction Company, Inc.
Date / Time	27 May 2021 / 2:30 PM
Weather / Temp	Sunny / 90 ° F
Present at Site	Stan Green, FCC Masons, Mechanical Installers, Drywall Finishers, Electricians Paul Purser, Dale Partners Architects
Observations	Arriving on site, I walked the exterior. At the north side, a lift was resting and it appeared that some work has been done installing sealants.
	At the first floor, framers were at work installing the new layout for the bank area. At the 3 <sup>rd</sup> floor, drywallers were installing and finishing drywall. On the top floor, mechanical installers were meeting.
	There are some areas where fire insulation has not been repaired that drywallers are close to installing their rock. Pay attention to these areas before closing in walls.
Items to Verify	None.
Action Required	None.
Report By:	Paul Purser, AIA, Architect Dale Partners Architects, P.A.

CC:

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Figure 1 – Continued work on North elevation

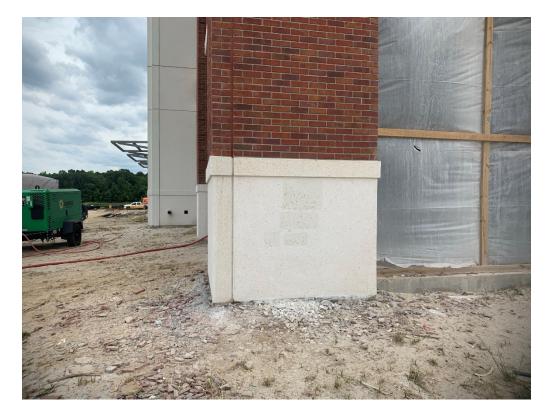


Figure 2 – Repair at Column after 5 days of cure time still not blending



Figure 3 – Repair at Column after 5 days of cure time still not blending



Figure 4 – Recessed edge on right has been colored and is different than the other faces



Figure 5 – Masonry is Ongoing



Figure 6 – Panel Install at Drive Thru

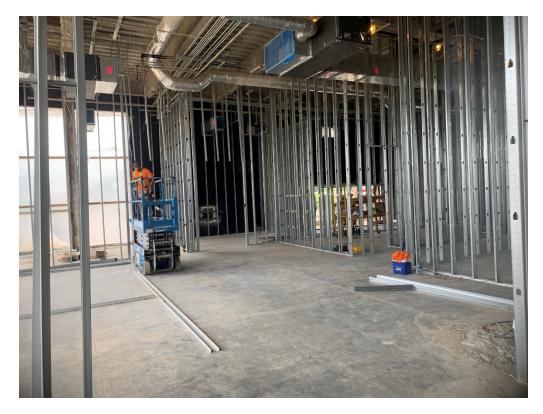


Figure 7 – Framing at 1<sup>st</sup> Floor



Figure 8 – Storefront Frames Stored on 2<sup>nd</sup> Floor



Figure 9 – Women's 3005



Figure 10 – Typical Recess of Finished Framing (pending storefront installation)

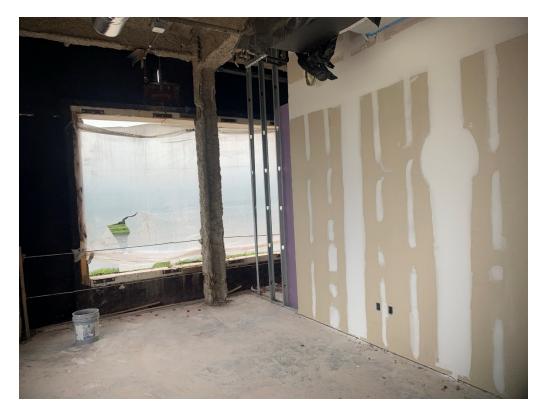


Figure 11 – Typical Recess of Finished Framing (pending storefront installation)



Figure 12 – 3<sup>rd</sup> Floor Ceiling Framing @ Conference

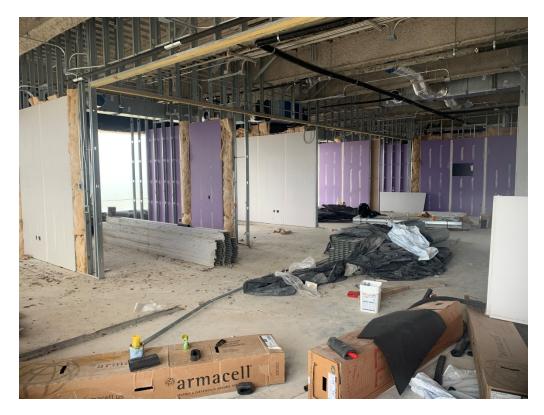


Figure 13 – 4<sup>th</sup> Floor Marketing

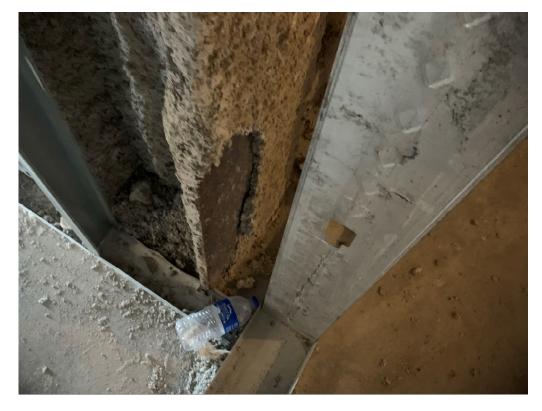


Figure 14 – Fire Insulation Needs Repair



Figure 15 – Fire Insulation Needs Repair



Figure 16 – Fire Insulation Needs Repair



Figure 17 – 4<sup>th</sup> Floor Banquet Progress



Figure 18 – 4<sup>th</sup> Floor Private Dining