

Architect's Field Report

T. Doug Dale, AIA

Jeffrey R. Barnes, AIA

Leigh G. Jaunsen, AIA, LEED AP

Russ S. Blount, AIA, LEED AP

Jason M. Agostinelli, AIA

In memory of
Michael A. Barranco, AIA
1962-2011

1 June 2021

15094 Community Bank Headquarters

Contract Fountain Construction Company, Inc.

Date / Time 27 May 2021 / 2:30 PM

Weather / Temp Sunny / 90 ° F

Present at Site Stan Green, FCC
Masons, Mechanical Installers, Drywall Finishers, Electricians
Paul Purser, Dale Partners Architects

Observations Arriving on site, I walked the exterior. At the north side, a lift was resting and it appeared that some work has been done installing sealants.

At the first floor, framers were at work installing the new layout for the bank area. At the 3rd floor, drywallers were installing and finishing drywall. On the top floor, mechanical installers were meeting.

There are some areas where fire insulation has not been repaired that drywallers are close to installing their rock. Pay attention to these areas before closing in walls.

Items to Verify None.

Action Required None.

Report By: Paul Purser, AIA, Architect
Dale Partners Architects, P.A.

cc: Jim White, Community Bank
Ryan Puckett, Community Bank
Russ Blount, AIA, Dale Partners Architects
Brad Fountain, Fountain Construction
Robert Clay, Fountain Construction



Figure 1 – Continued work on North elevation



Figure 2 – Repair at Column after 5 days of cure time still not blending



Figure 3 – Repair at Column after 5 days of cure time still not blending



Figure 4 – Recessed edge on right has been colored and is different than the other faces



Figure 5 – Masonry is Ongoing



Figure 6 – Panel Install at Drive Thru



Figure 7 – Framing at 1st Floor



Figure 8 – Storefront Frames Stored on 2nd Floor



Figure 9 – Women's 3005



Figure 10 – Typical Recess of Finished Framing (pending storefront installation)



Figure 11 – Typical Recess of Finished Framing (pending storefront installation)



Figure 12 – 3rd Floor Ceiling Framing @ Conference



Figure 13 – 4th Floor Marketing



Figure 14 – Fire Insulation Needs Repair



Figure 15 – Fire Insulation Needs Repair



Figure 16 – Fire Insulation Needs Repair



Figure 17 – 4th Floor Banquet Progress



Figure 18 – 4th Floor Private Dining