

# DALE | BAILEY

Jackson • Biloxi

AN ASSOCIATION

Mississippi

## ESSER



- A: Morgantown Elementary
- B: McLaurin Elementary
- C: Susie B. West Elementary



### Natchez-Adams School District ESSER 3

10 Homochitto St. Natchez, MS 39120

DBA PN: 21052  
Construction Documents  
11/11/2022

Superintendent Fred T. Butcher

**Board of Trustees**

President	Amos James, Jr.
Vice President	Phillip West
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As. Secretary	Dr. Brenda Robinson
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Attorney	Bruse Kuehne, Jr.

**Team Members**

Owner	Natchez Adams School District
Architect	Dale   Bailey, an Association
Mechanical	GSK Mechanical, Inc.
Electrical	The Power Source PLLC

Project Directory

**Project Information**  
 Name: Natchez Adams School District ESSER  
 Project #: 21052  
 Address: 10 Homochitto St. Natchez, MS 39120

**Client**  
 Natchez Adams School District ESSER  
 10 Homochitto St.  
 Natchez, MS 39120  
 (601) 445-2800  
 Contact: Fred T. Butcher,  
 Superintendent of Education

**Architect**  
 Dale | Bailey, an Association  
 One Jackson Place / Suite 250  
 188 East Capitol Street  
 Jackson, MS 39201-2100  
 (601) 352-5411  
 Contact: Russ Blount  
 (russblount@dalepartners.com)

**Fire Protection, Plumbing, & Mechanical**

GSK Mechanical, Inc.  
 201 Park Ct, Ridgeland, MS 39157  
 (601) 605-2930  
 Contact: Jason Kackley  
 (jkackley@gskmech.com)

**Electrical**

The Power Source, PLLC.  
 945 Madison Ave, Madison, MS 39110  
 Contact: Freddie Borganelli  
 (fborganelli@thepowersource.us)

General Project Notes

**Project Locations**

- Morgantown Elementary  
Cottage Home Drive, Natchez, MS 39120
- McLaurin Elementary  
170 Sgt Prentiss Dr., Natchez, MS 39120
- Susie B. West Elementary  
161 Lewis Dr, Natchez, MS 39120

**Project Alternates**

- ADD Alternate - Toilet Room Additional Finish Work
- DED Alternate - Remove CMU work and replace with Toilet Partitions
- DED Alternate - Reduce height of new Carrier Walls to partial heights as indicated

**Project Phasing Requirements**

- N/A

**Energy Code Requirements**

- IBC 2021 Energy Code is the mandatory energy code standard for this project.
- All mechanical and electrical building system installed should meet all requirements of the energy code.

**Thermal Envelope Requirements**

- Roofs = R-20 ci (insulation entirely above deck)
- Walls = R-7.6ci (mass walls)
- Walls = R-13 + R-7.5ci (metal framed walls)
- Below Grade Walls = no requirement
- Slab on Grade = no requirement

**Fenestration Requirements (U-factor)**

- Fixed = U-Factor 0.46
- Operable = U-Factor 0.60
- Entrances = U-Factor 0.77
- SHGC = U-Factor 0.25

**General Information**

- Do not scale drawings. If dimensions are in question, the contractor shall be responsible for obtaining clarification from the architect before continuing with the construction
- Contractors shall verify, on the site, all dimensions and equipment locations, and notify architect promptly in writing of any discrepancies
- Contractors shall be responsible to determine the on site conditions and perform all necessary work to complete the project
- Contractors shall maintain safe methods of egress for occupied buildings and in site area during construction
- All casework dimensions shall be field verified before unit fabrication or installation
- Dimensions, notes, finishes, and fixtures shown on typical floor plans shall apply to similar, symmetrical, or opposite hand plans, sections, or details
- Typical, or typ., shall mean that condition is representative for similar conditions throughout, U.N.O. Details are usually keyed and noted "Typ." only one time when they first occur
- Partitions are dimensioned from finish face U.N.O. Dimensions to masonry are to actual finish face U.N.O.
- Owner to have right of refusal for all materials, furniture, fixtures and good within the limits of the construction contract.

Drawing Index

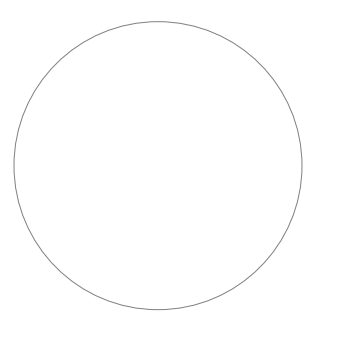
Sheet No	Sheet Name	Building Name
G-001	Cover Sheet	General
G-002	Index & General Project Information	General
G-000a	General Sheet	A: Morgantown Elementary
A-101a	Morgantown Elementary	A: Morgantown Elementary
A-401a	Enlarged Bathroom Plans	A: Morgantown Elementary
A-402a	Enlarged Bathroom Plans	A: Morgantown Elementary
G-000b	General Sheet	B: McLaurin Elementary
A-101b	McLaurin Elementary School Composite Floor Plan	B: McLaurin Elementary
G-000c	General Sheet	C: Susie B. West Elementary
A-101c	Susie B. West Elementary	C: Susie B. West Elementary
A-401c	Enlarged Bathroom Plans	C: Susie B. West Elementary
A-402c	Enlarged Bathroom Plans	C: Susie B. West Elementary
M-000	General Mechanical Information	General
M-001a	Overall New HVAC Work	A: Morgantown Elementary
M-101a	Partial New HVAC Work	A: Morgantown Elementary
M-102a	Partial New HVAC Work	A: Morgantown Elementary
M-103a	Partial New HVAC Work	A: Morgantown Elementary
M-104a	Partial New HVAC Work	A: Morgantown Elementary
M-105a	Partial New HVAC Work	A: Morgantown Elementary
M-201a	Enlarged Toilet Plans	A: Morgantown Elementary
M-202a	Enlarged Toilet Plans	A: Morgantown Elementary
M-203a	Enlarged Toilet Plans	A: Morgantown Elementary
MD001a	Overall Mechanical Demolition Plan	A: Morgantown Elementary
M-001b	Overall New HVAC Work - Level 1	B: McLaurin Elementary
M-002b	Overall New HVAC Work - Level 2	B: McLaurin Elementary
M-101b	Partial New HVAC Work	B: McLaurin Elementary
M-102b	Partial New HVAC Work	B: McLaurin Elementary
M-103b	Partial New HVAC Work	B: McLaurin Elementary
M-104b	Partial New HVAC Work	B: McLaurin Elementary
M-105b	Partial New HVAC Work	B: McLaurin Elementary
MD001b	Overall Mechanical Demolition Plan	B: McLaurin Elementary
MD002b	Overall Mechanical Demolition Plan	B: McLaurin Elementary
E-XXX	Electrical Sheets	Electrical Sheets

Graphic Symbols

	Elevation No. 2		Sheet No. A-201	<b>Building Elevation</b>		<b>Wall Type</b>
	Elevation No. 1		Sheet No. A-201	<b>Building Section</b>		<b>Concrete</b>
	Elevation No. 1		Sheet No. A-201	<b>Wall Section</b>		<b>Plywood</b>
	Elevation No. 1		Sheet No. A-411	<b>Interior Elevation</b>		<b>Rigid Insulation</b>
	Detail No. 1		Sheet No. A-201	<b>Detail</b>		<b>Finished Wood</b>
				<b>Column Grid</b>		<b>Existing Wall to be Demolished</b>
				<b>Door Mark</b>		<b>Metal Stud Partition</b>
				<b>Door Mark</b>		<b>1 Hr Rated Wall Partition (See Floor Plan)</b>
				<b>Door Mark</b>		<b>2 Hr Rated Wall Partition (See Floor Plan)</b>
				<b>Door Mark</b>		<b>3 Hr Rated Wall Partition (See Floor Plan)</b>
				<b>Center Line</b>		<b>Sheet Keynote</b>
				<b>North Arrow</b>		<b>Center Line</b>
				<b>Spot Elevation</b>		
	Room name 1001			<b>Room Name and Number</b>		
	View On Sheet View Name 1-1/2" = 1'-0" Scale			<b>Drawing Title with Drawing Scale</b>		

General Abbreviations

AC AIR CONDITIONING	EA EACH	HGT HEIGHT	MT METAL THRESHOLD	REFR REFRIDGERATOR	TBR TO BE REMOVED
ABV ABOVE	EDF ELECTRIC DRINKING FOUNTAIN	HM HOLLOW METAL	MTL METAL	REINF REINFORCED	TEL TELEPHONE
ACT ACOUSTICAL CEILING TILE	EHD ELECTRIC HAND DRYER	HOW HORIZONTAL	MWK MILLWORK	REQ REQUIRED	TEMP TEMPORARY
ADJ ADJUSTABLE	EIFS EXTERIOR INSULATING FINISH SYSTEM	HR HAND RAIL	N NORTH	REV REVISED	TH THRESHOLD
AFF ABOVE FINISH FLOOR	EJ EXPANSION JOINT	HTG HEATING	NAT NATURAL	RH RIGHT HAND	THK THICK/THICKNESS
ALT ALTERNATE	ELEC ELECTRICAL	HVAC HEATING, VENTILATION/AIR CONDITIONING	NIC NOT IN CONTRACT	RM ROOM	TLT TOILET
ALM ALUMINUM	ELEV ELEVATION	HYD HYDRANT	NO NUMBER	RND ROUND	TME TO MATCH EXISTING
AND ANODIZED	ELVR ELEVATOR	ID INSIDE DIAMETER	NOM NOMINAL	RO ROUGH OPENING	TOC TOP OF CURB
APRX APPROXIMATE	EQ EQUAL	INSUL INSULATION	NRC NOISE REDUCTION COEFFICIENT	ROW RIGHT OF WAY	TOS TOP OF STEEL
AV AUDIO VISUAL	EW EACH WAY	INT INTERIOR	NTE NOT TO EXCEED	RPS ROOF PAVER SYSTEM	TPD TOILET PAPER DISPENSER
AVD AUDIO VISUAL DISPLAY	EFW ENGINEERED WOOD FLOORING	INV INVERT	NTS NOT TO SCALE	RR RETURN REGISTER	TPH TOILET PAPER HOLDER
BD BOARD	EXH EXHAUST	JAN JANITOR	O OXYGEN	S SOUTH	TR TRANSOM
BLDG BUILDING	EXIST EXISTING	JC JANITORS CLOSET	OA OUTSIDE AIR	SC SOLID CORE	TV TELEVISION
BLKG BLOCKING	EXP EXPANSION	JST JOIST	OC ON CENTER	SCD SEAT COVER DISPENSER	TYP TYPICAL
BOC BOTTOM OF CURB	EXT EXTERIOR	JT JOINT	OCEW ON CENTER EACH WAY	SCF STAINED/SEALED CONCRETE FLOOR	UC UNDERCOUNTER
BOS BOTTOM OF STEEL	FCF FINISHED CONCRETE FLOOR	KD KNOCK DOWN	OD OUTSIDE DIAMETER	SCH SCHEDULE	UNO UNLESS NOTED OTHERWISE
BW BOTH WAYS	FCO FLOOR CLEAN OUT	KIT KITCHEN	OFCI OWNER FURNISHED / CONTRACTOR INSTALLED	SD SOAP DISPENSER	VB VAPOR BARRIER
CB CABINET	FD FLOOR DRAIN	KO KNOCK OUT	OPNG OPENING	SECT SECTION	VD VISUAL DISPLAY
CB CATCH BASIN	FE FIRE EXTINGUISHER	KPL KICKPLATE	OPP OPPOSITE	SHT SHEET	VCB VISUAL COMMUNICATION BOARD
CC CENTER TO CENTER	FEC FIRE EXTINGUISHER CABINET	L LENGTH	P PAINT/PAINTED	SHTH SHEATHING	VCT VINYL COMPOSITE TILE
CCT CONCRETE COUNTER TOP	FFE FINISH FLOOR ELEVATION	LAB LABORATORY	PAR PARALLEL	SIM SIMILAR	VIF VERIFY IN FIELD
CG CORNER GUARD	FIN FINISH	LAD LADDER	PBD PARTICLE BOARD	SJ SCORE JOINT	VT VINYL TILE
CH COAT/CLOTHES HOOK	FLG FLOORING	LAM LAMINATE	PCF PRESSED/PATTERNED CONCRETE FLOOR	SLW SEAMLESS LIQUID WALL COVERING	VTR VENT THROUGH ROOF
CHM CHAMFER	FLOR FLOURESCENT	LAV LAVATORY	PCT PLASTIC COUNTER TOP	SND SANITARY NAPKIN DISPENSER	VWC VINYL WALL COVERING
CJ CONTROL JOINT	FLR FLOOR	LAWP LIQUID APPLIED WATER PROOFING	PERF PERFORATED	SNDU SANITARY NAPKIN DISPOSAL UNIT	W WEST
CLG CEILING	FND FEMININE NAPKIN DISPENSER	LBL LABEL	PL PLATE	SND SANITARY NAPKIN / TAMPON DISPENSER	W/ WITH
CLO CLOSET	FOF FACE OF FINISH	LF LINEAR FEET	PLAM PLASTIC LAMINATE	SP SOUNDPROOF	WB WOOD BASE
CMU CONCRETE MASONRY UNIT	FOM FACE OF MASONRY	LH LEFT HAND	PLST PLASTER	SPCR SPACER	WC WATER CLOSET
CO CLEAN OUT	FOS FACE OF STUD	LIN LINOLEUM	PLWD PLYWOOD	SPEC SPECIFICATIONS	WCT WOOD COUNTER TOP
COL COLUMN	FP FIRE PROOF	LL LIVE LOAD	PMR PREFORMED METAL ROOFING	SPTC SPECIMEN PASS THRU CABINET	WD WOOD BASE
CONC CONCRETE	FRP FIBERGLASS REINFORCED PANEL	LPP LAVATORY PIPING PROTECTION	PMS PREFORMED METAL SIDING	SQ SQUARE	WDT WIDTH
CONT CONTINUOUS	FRT FIRE RETARDENT	LT LIGHT	PR PAIR	SS SANITARY SEWER	WOW WINDOW
CORR CORRIDOR	FT FOOT/FEET	LTG LIGHTING	PRT PORCELAIN CERAMIC TILE	SSD SHOWER SOAP DISPENSER	WS WALL GUARD
CPT CARPET	FTG FOOTING	LVT LUXURY VINYL TILE	PSF POUNDS PER SQUARE FOOT	SSTL STAINLESS STEEL	WH WATER HEATER
CR CRASH RAIL	FVC FABRIC WALLCOVERING	LWC LIGHTWEIGHT CONCRETE	PSI POUNDS PER SQUARE INCH	STC SOUND TRANSMISSION COEFFICIENT	WP WATERPROOFING
CT CERAMIC TILE	G GAS	MAS MASONRY	PT PRESSURE TREATED	STD STANDARD	WR WATER RESISTANT
CTR CENTERED	GA GAUGE	MAX MAXIMUM	PTD PAPER TOWEL DISPENSER	STL STEEL	WSCOT WAINSCOT
CYP CYPRESS	GB GRAB BAR	MB MARKER BOARD	PTN PARTITION	STOR STORAGE	
DBH DISPOSAL BAG HOLDER	GC GENERAL CONTRACTOR	MC MEDICINE CABINET	PTR PAPER TOWEL RECPTACLE	SUPP SUPPLEMENTAL	
DBL DOUBLE	GCT GRANITE COUNTER TOP	MCT MARBLE COUNTER TOP	QRF QUARTZ RESINOUS FLOORING	SV SHEET VINYL	
DET DETAIL	GL GLASS/GLAZING	MECH MECHANICAL	QT QUARRY TILE	SVSK SERVICE SINK	
DF DRINKING FOUNTAIN	GT GRANITE TILE	MFG MANUFACTURER/MANUFACTURED	QTR QUARTER	SWR SHOWER	
DIA DIAMETER	GWB GYPSUM DRYWALL	MG MEDICAL GAS	R RISER	SWRC SHOWER CURTAIN	
DIAG DIAGONAL	GYP GYPSUM	MIN MINIMUM	RA RADIUS	SY SOUTHERN YELLOW PINE	
DIM DIMENSION	HB HOSE BIB	MIR MIRROR	RB RUBBER BASE	T TREAD	
DISP DISPENSER	HC HOLLOW CORE	MISC MISCELLANEOUS	RBR RUBBER	T&B TOP & BOTTOM	
DN DOWN	HD HEAVY DUTY	MDLG MOULDING	RCP REINFORCED CONCRETE PIPE	T&G TONGUE & GROOVE	
DRW DECAY RESISTANT WOOD	HDR HEADER	MO MASONRY OPENING	RD ROOF DRAIN	TB TOWEL BAR	
E EAST	HDW HARDWARE	MR MOP RACK	REF REFERENCE	TBD TO BE DETERMINED	



All School's Specific Notes

- 08 43 00 001 Install new storefront frame and glazing
- 08 43 00 005 No Vertical Mullions at Exterior Storefront (typical)
- 08 43 00 006 Required egress window in storefront
- 09 24 23 001 New stucco over metal lathe; provide drainage plane membrane behind lathe; paint stucco
- 09 24 23 002 Stucco reveal; reveals straight; edges shall not be rounded over but make crisp corners
- 09 24 23 003 Maintain same stucco detail between beams above window
- 22 42 00 002 New fixtures in this toilet room; coordinate with mechanical
- 22 42 00 003 New touchless faucet at sink/cabinet; coordinate with mechanical
- 22 42 00 010 New fixtures cafeteria toilet room; also new touchless fixture on hand wash sink; coordinate with mechanical
- 22 47 13 002 Install single drinking fountain here with bottle filler attachment; coordinate with mechanical & electrical drawings

General Project Notes

1. Wherever fixture indicated to be replaced, include new finish plumbing and standard accessories including pipe insulation, faucets, flush valves, sealant, etc.
2. Notify Architect in writing of any rough in plumbing that is not draining properly or supplying water as needed.
3. Accessories to be replaced only as noted on floor plans.



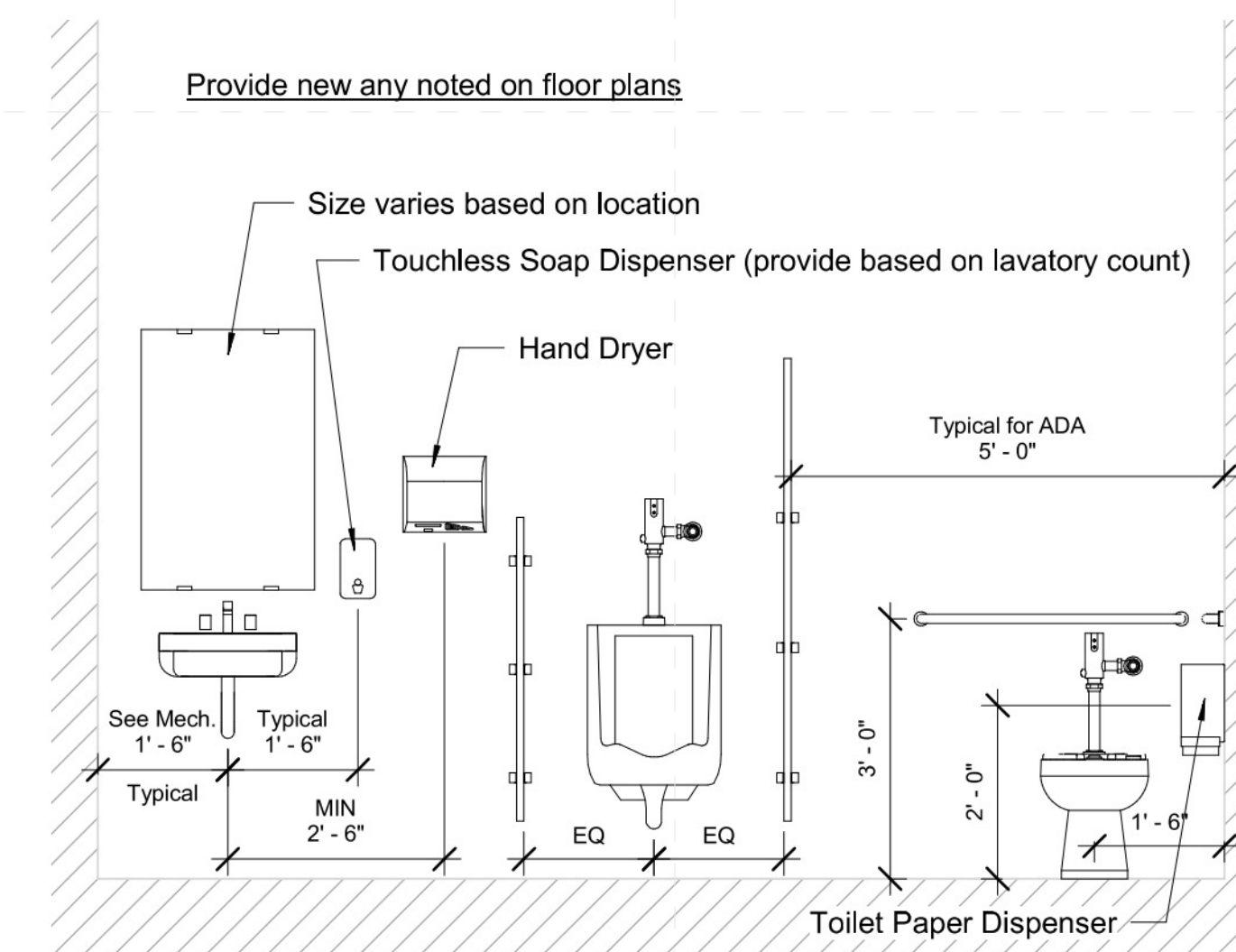
Front of School



Typical Toilet Rm Flr



Typical Toilet Lav Wall



1 Typical Toilet Room Wall  
1/2" = 1'-0"



Other Cabinet Lavs



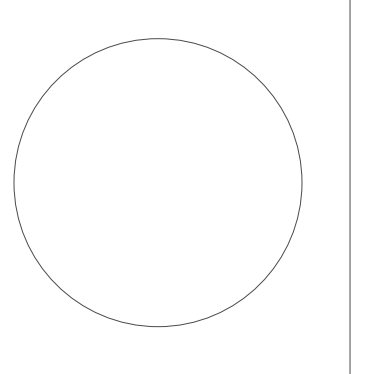
Typical Urinal Style



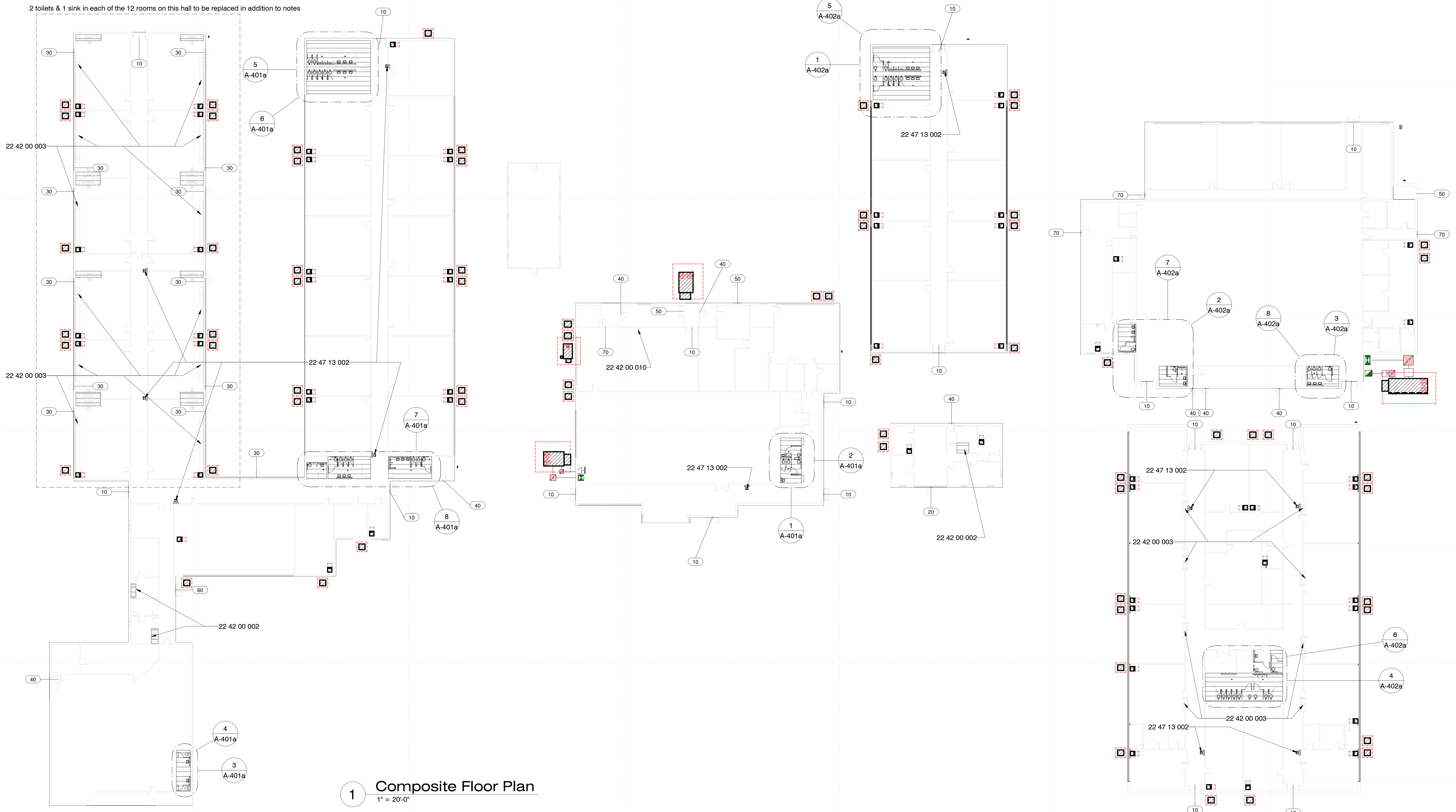
Typical Toilet Style



Typical Class Sink



Project No	21052
Date	Nov. 11, 2022
Drawn	PPU
Checked	RBI
Revision #	Date
SD 1	7/14/22
DD 2	9/15/22
CD 3	11/11/22



**1 Composite Floor Plan**  
1" = 20'-0"

**Specific Notes**

- 22 42 00 002 New fixtures in this toilet room; coordinate with mechanical
- 22 42 00 003 New touchless faucet at sink/cabinet; coordinate with mechanical
- 22 42 00 010 New fixtures cafeteria toilet room; also new touchless fixture on hand wash sink; coordinate with mechanical
- 22 47 13 002 Install single drinking fountain here with bottle filler attachment; coordinate with mechanical & electrical drawings

**Door Schedule - Counts**

Unverified Width	Matl	Type	Jamb Material	Glz	Lockset Type	Hinge Type	MISC Hardware Type	Notes	Count	Function
6'-0"	Steel (Painted)	10	Steel	Full Narrow Lite (8"x60")	A	A	A	Verify All Dimensions	18	Exterior
3'-0"	Aluminum	20	Aluminum	Full Lite	B	A	A	Verify All Dimensions	1	Exterior
3'-0"	Steel (Painted)	30	Aluminum	None	C	A	B	Verify All Dimensions	13	Exterior
3'-0"	Steel (Painted)	40	Steel	None	D	A	A	Verify All Dimensions	8	Exterior
5'-0"	Steel (Painted)	50	Steel	None	D	A	B	Verify All Dimensions	3	Exterior
6'-0"	Steel (Painted)	60	Steel	Full Narrow Lite (8"x60")	A	A	A	Verify All Dimensions	1	Exterior
3'-0"	Steel (Painted)	70	Steel	Full Narrow Lite (8"x60")	A	A	B	Verify All Dimensions	4	Exterior
Grand total: 48										

\*\*\*All glazing shall insulated\*\*\*  
\*\*\*Repair all steel jambs with exterior rated putty compound\*\*\*

**Lockset Types (all locksets to be mortised style if applicable)**

- A. Panic Hardware with Lever Exterior
- B. Double Keyed Lock with Pull & Push Hardware
- C. Panic Hardware with no Exterior Hardware
- D. Storage Function Lever w Deabolt

**Hinge Types**

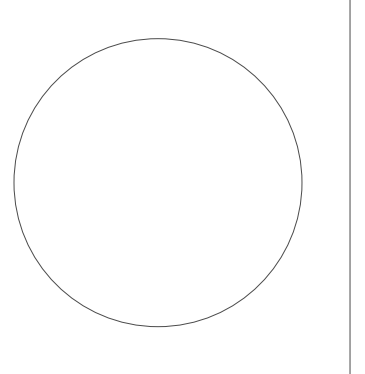
- A. Full Height Tamper Proof Geared Hinge

**MISC Hardware Types**

- A. Doors without Exposure
  - a. New Threshold (embed in sealant)
  - b. Brush Door Sweep
  - c. Jamb and Head Gasketing
  - d. Door Closer
  - e. Door Stop (wall or floor depending on location)
- B. Doors with Exposure
  - a. New Threshold (embed in sealant)
  - b. Brush Door Sweep
  - c. Jamb and Head Gasketing
  - d. Door Closer
  - e. Kick Down Holder
  - f. Door Stop (wall or floor depending on location)
  - g. Aluminum Drip at Door Head

**Scope Summary**

- New Mechanical Units as noted in Mechanical drawings
- Repair Exterior doors for weather tightness
  - 1. Replace Door Panels with new
  - 2. Install new hardware including locksets & Continuous hinges as well as all weatherstripping
  - 3. Install new drip at head of all doors exposed to weather
  - 4. Paint all jambs
- Renovate toilet rooms as shown in architectural plans and mechanical plans
  - 1. Change out all fixtures
  - 2. Install new touchless flush valves
  - 3. Install new touchless faucets
  - 4. Install new toilet partitions
  - 5. Replace Water Fountains with New Bottle Filling Stations
    - A. Provide new 6" Metal Stud Wall with 5/8" concrete backer board & tile behind all water fountains measuring 3' wide and 7' tall



**General Notes**

- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- Burying or Burning of materials will not be permitted on site.
- Repair any damage caused to building construction identified to remain.
- Refer to other discipline drawings for additional demolition information as noted.
- Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- Where new wall hung fixtures are installed, install new carriers for fixtures as well as a new 6" metal stud wall with tile at all exposed faces for 18" from center of fixture to edge of wall or into perpendicular abutting wall at either side OR as indicated on drawing.
- Where fixtures are indicated to be replaced, include new finish plumbing and standard accessories including pipe insulation, faucets, flush valves, sealant, etc.
- Where new existing pipe is abandoned; cap pipe and paint to matching adjacement color.
- Install new grab bars at all ADA & AMB toilets
- Install moisture resistant back board at all new tile.
- Clean and reseat grout at floor tile.

**Specific Notes**

**Add Alternate #1**

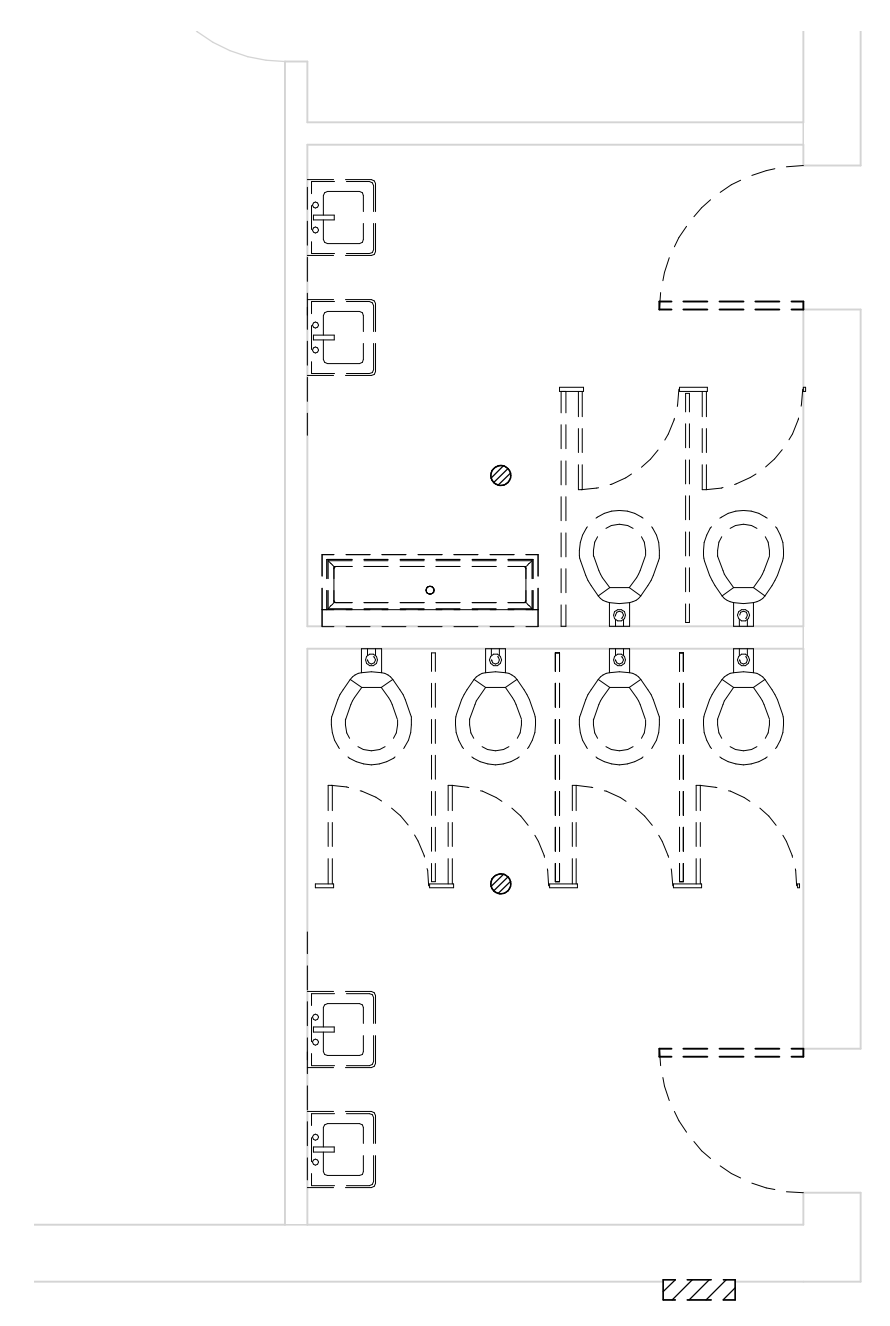
- Paint Toilet Room Interiors (previously painted surfaces, walls and Ceilings).
- Refinish Toilet Room Doors (all faces).
- Install new hardware at toilet room doors.

**Deduct Alternate #2**

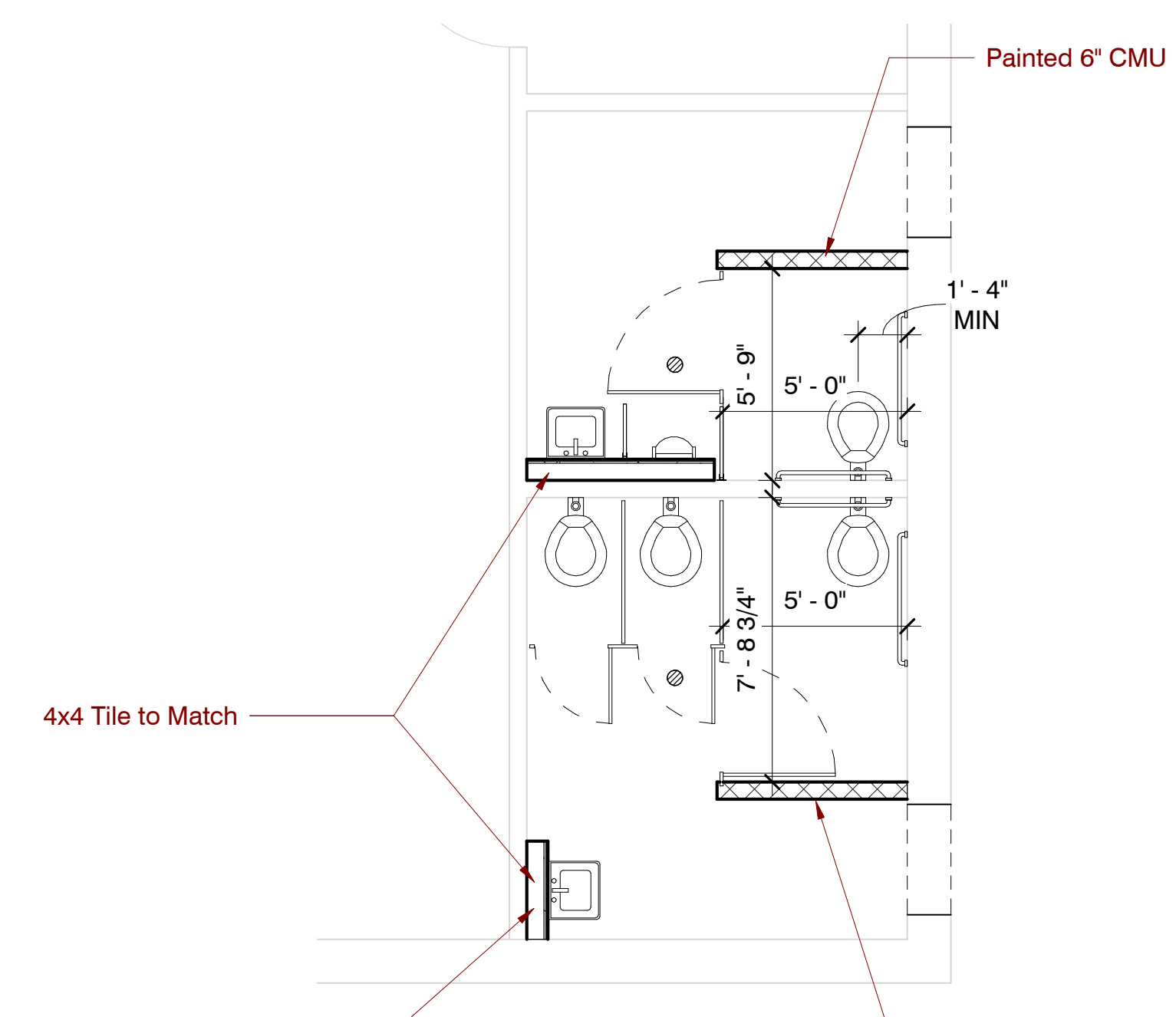
- Replace all new CMU Block walls with Plastic Toilet partitions.

**Deduct Alternate #3**

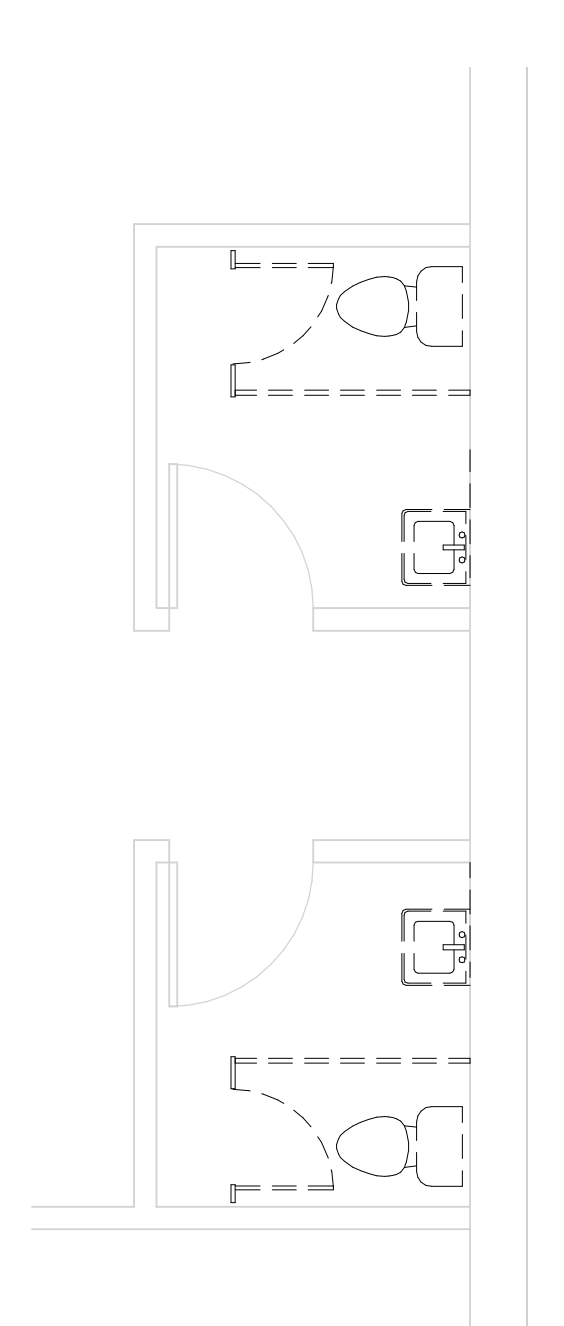
- Make all new Metal Stud walls intended to conceal carriers partial height:
  - A. 3'-6" at Lavatories
  - B. 4'-6" at Urinals
  - C. Cap All partial height walls with cast concrete toppers measuring 1-1/4" in thickness for full length of walls in section measuring a MIN of 4'-0" in length. Grout joints and seal to wall with mastic.



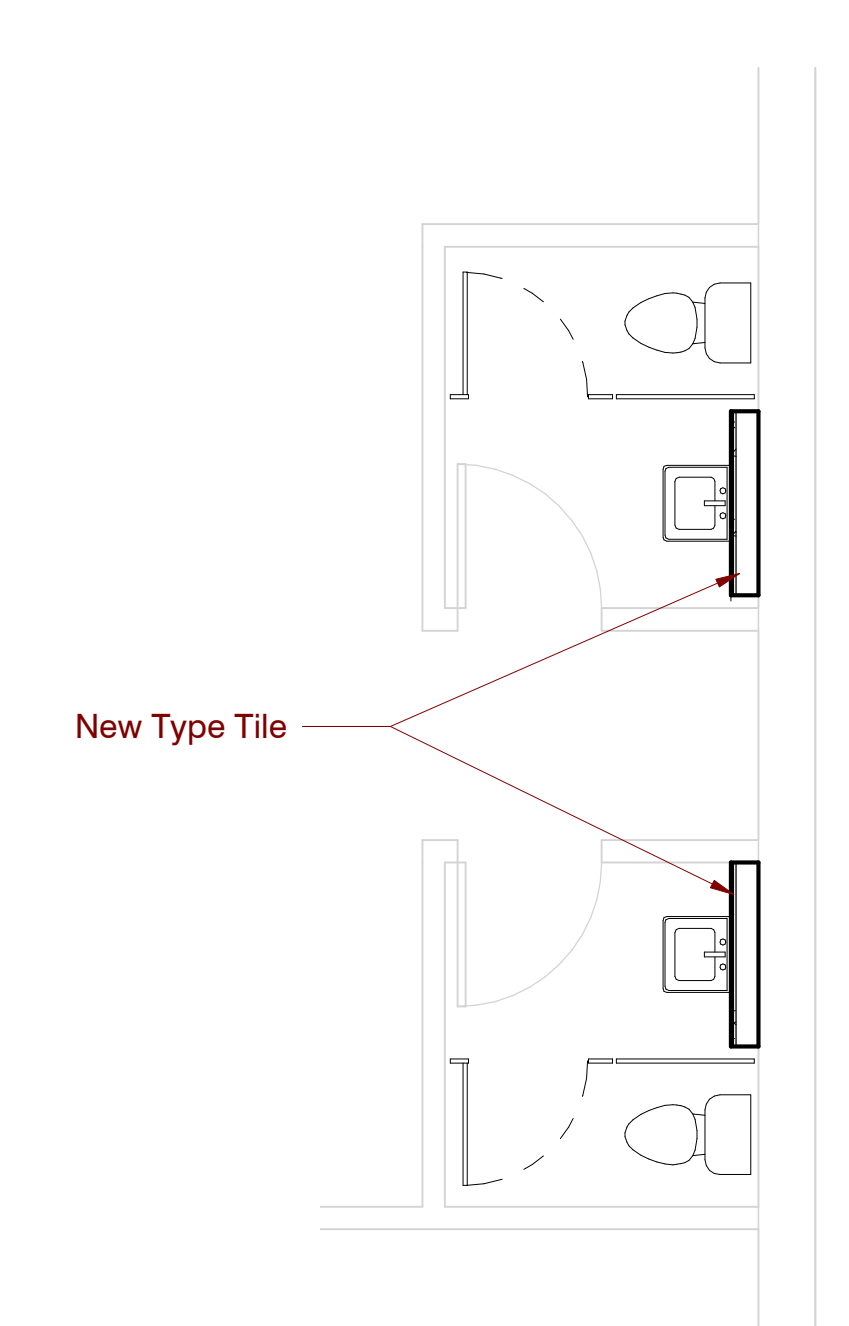
**1 Toilets - Cafeteria Existing**  
1/4" = 1'-0"



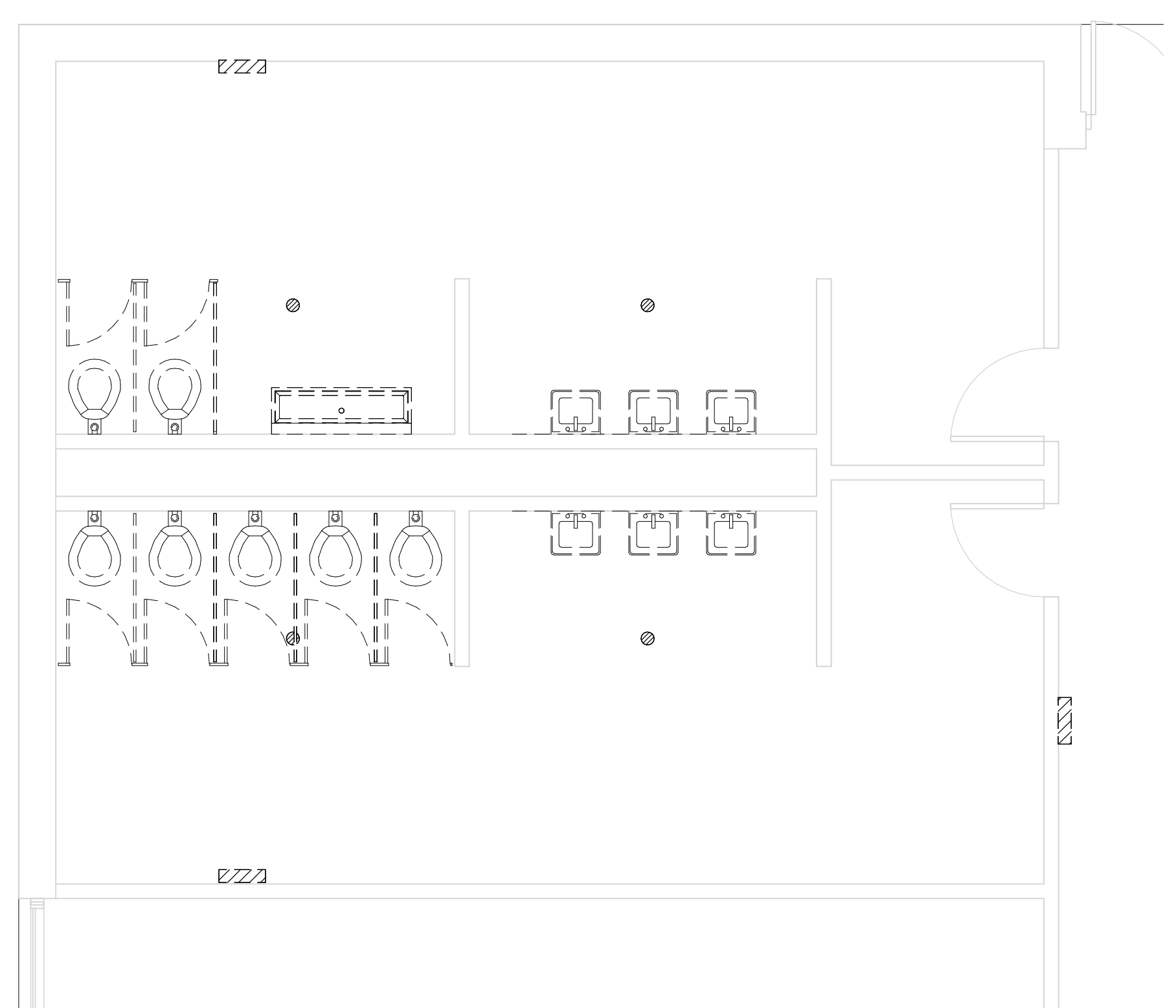
**2 Toilets - Cafeteria New**  
1/4" = 1'-0"



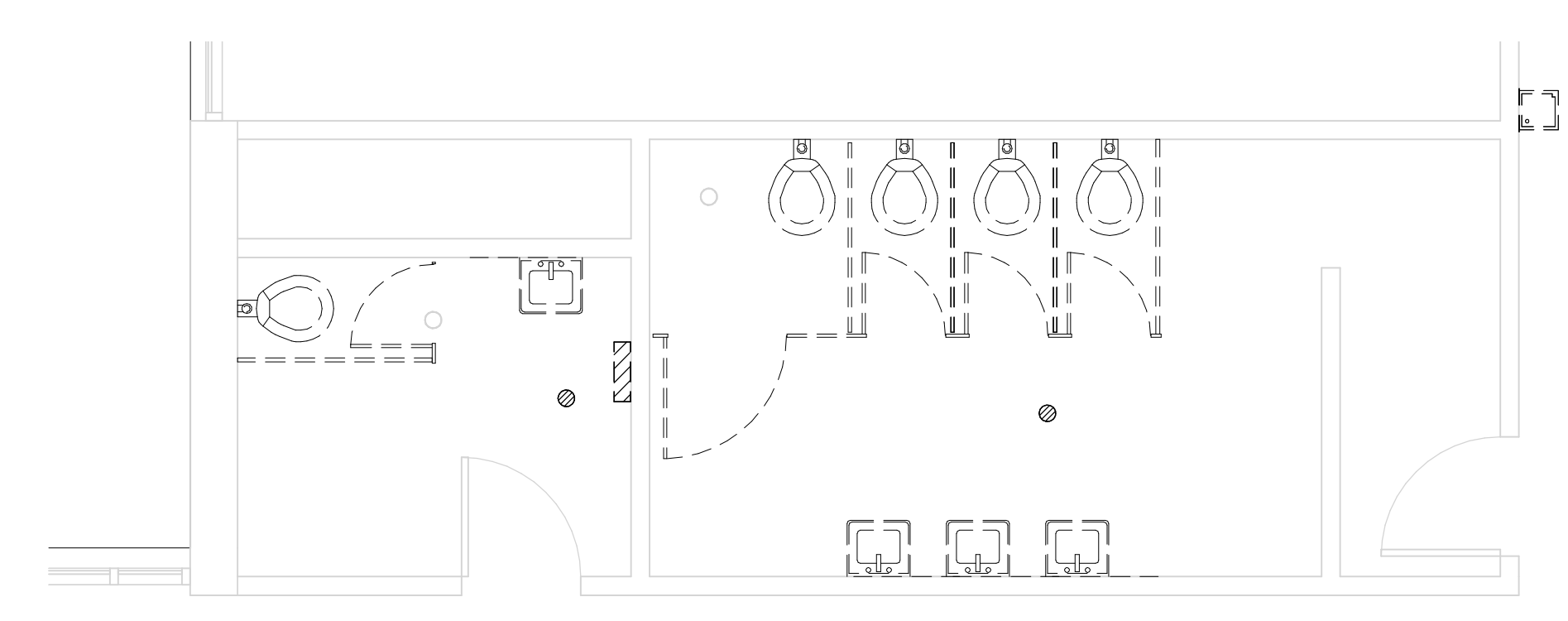
**3 Toilets - Library Existing**  
1/4" = 1'-0"



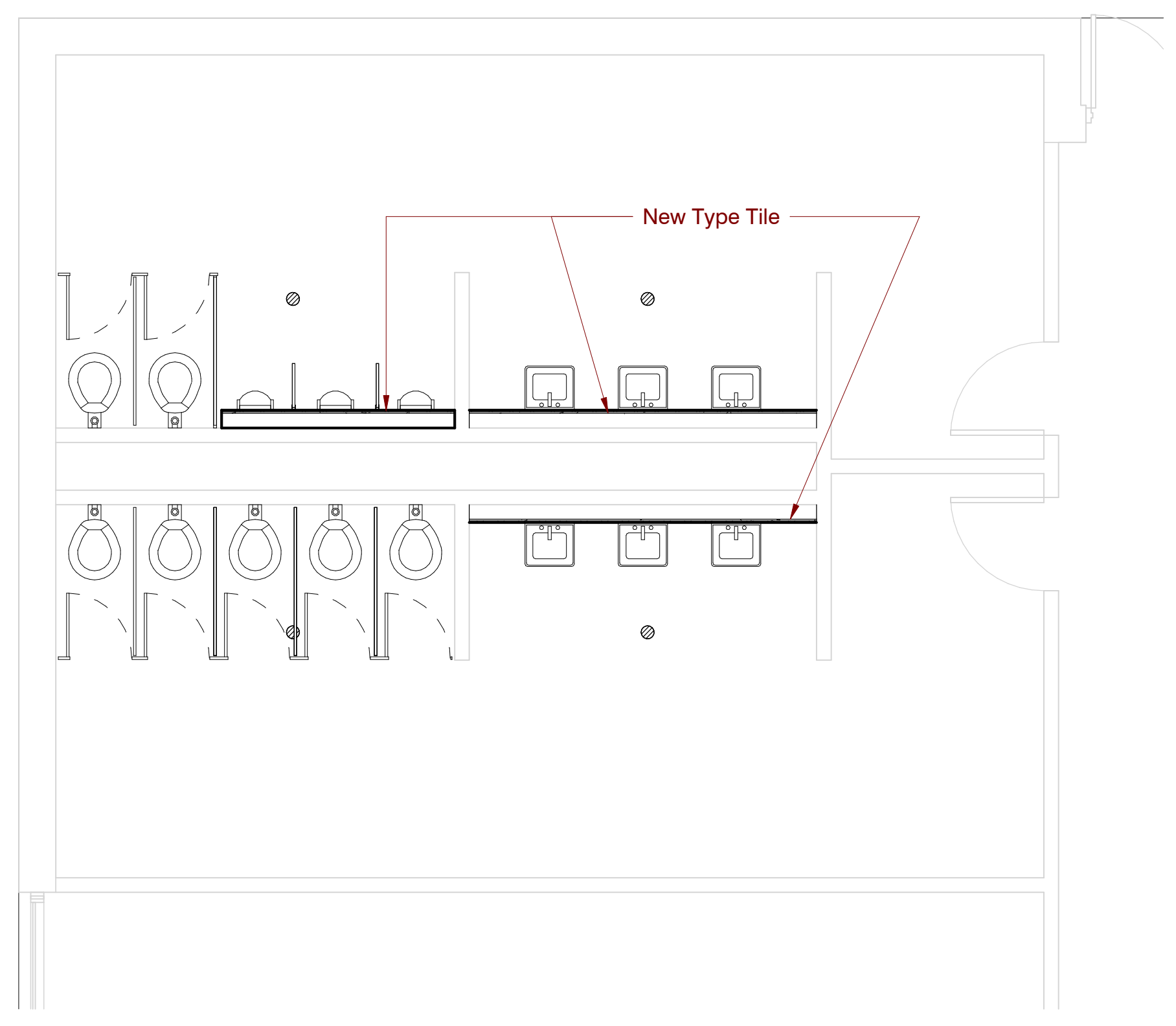
**4 Toilets - Library New**  
1/4" = 1'-0"



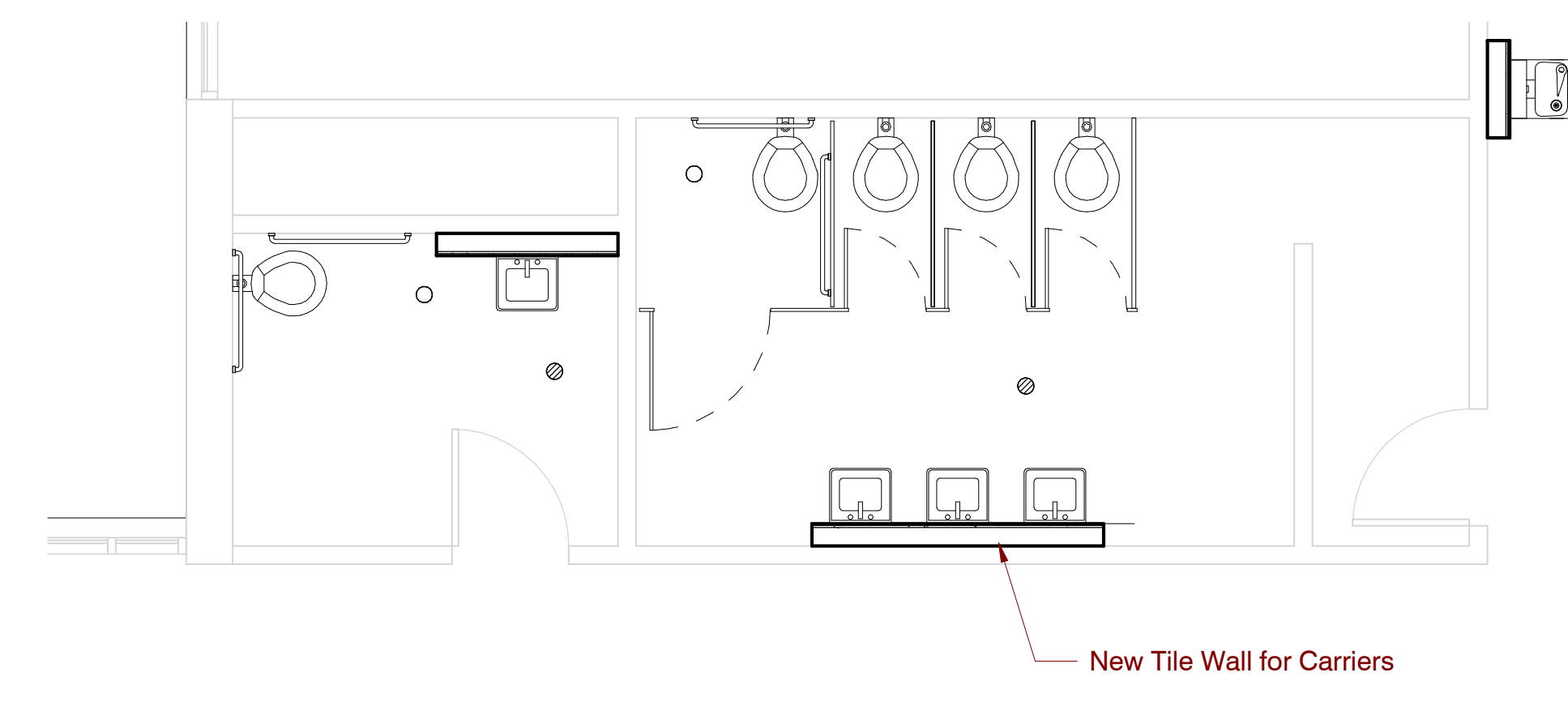
**5 Toilets - S Building N Wing W Existing**  
1/4" = 1'-0"



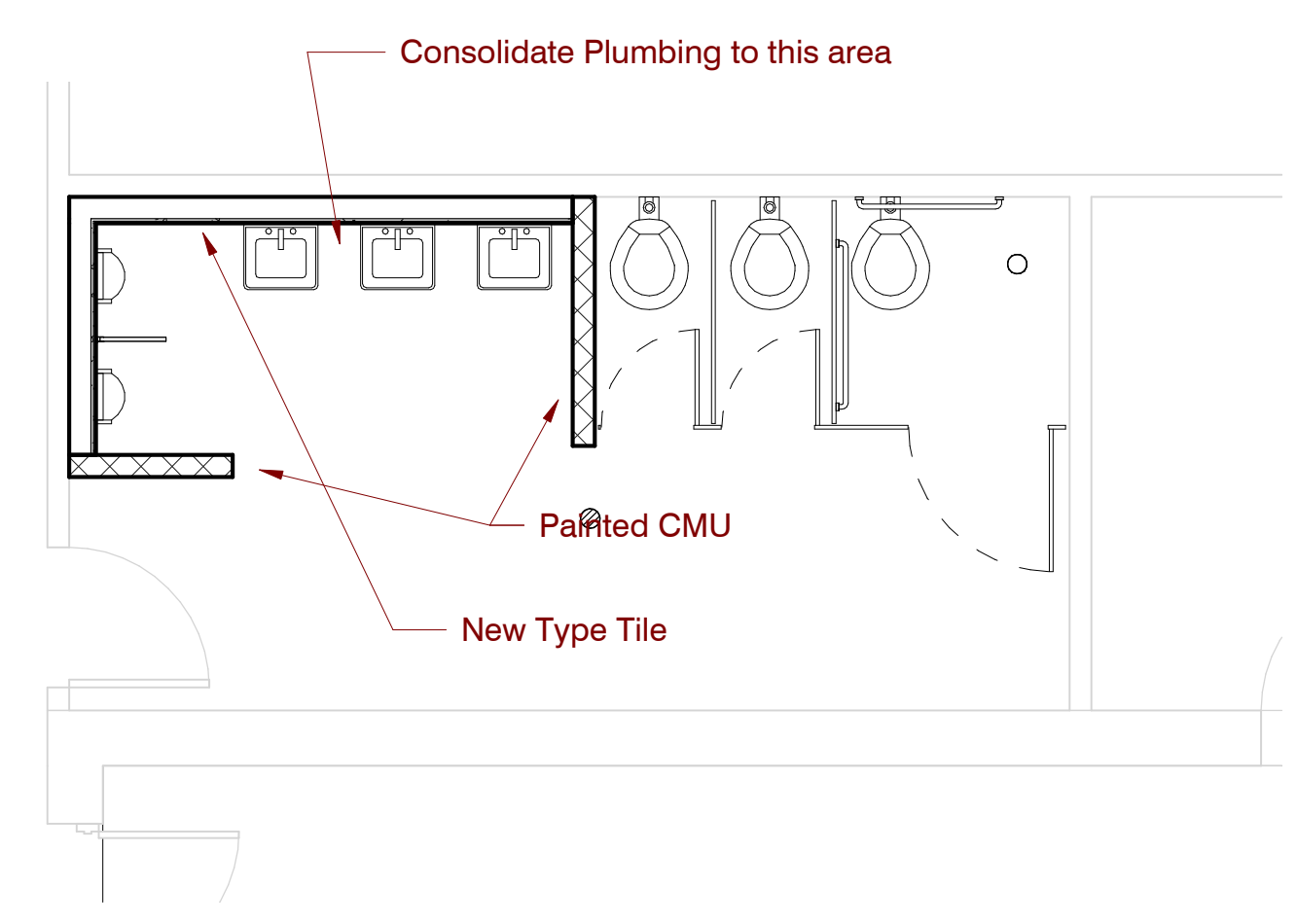
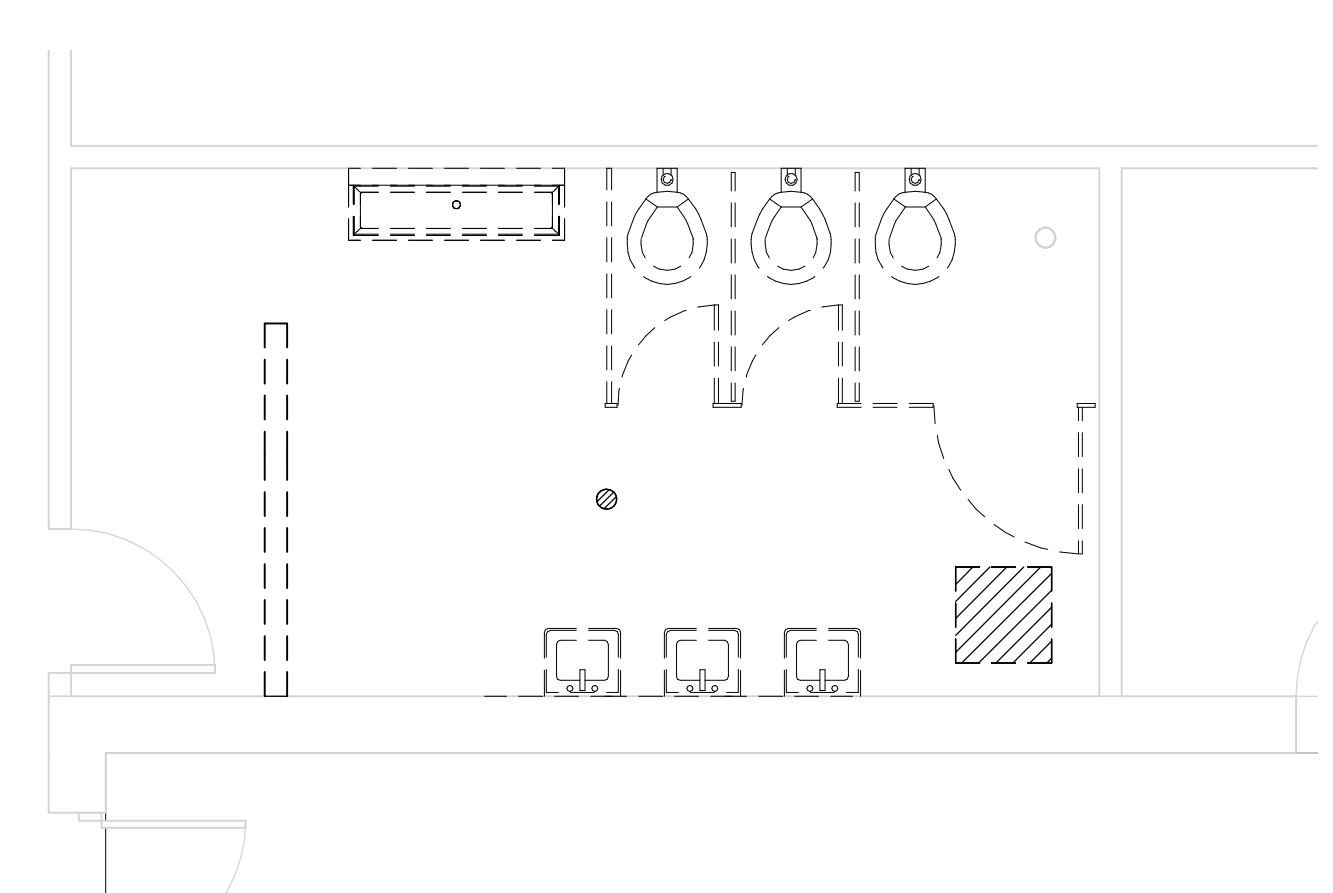
**7 Toilets - S Building N Wing E Existing**  
1/4" = 1'-0"

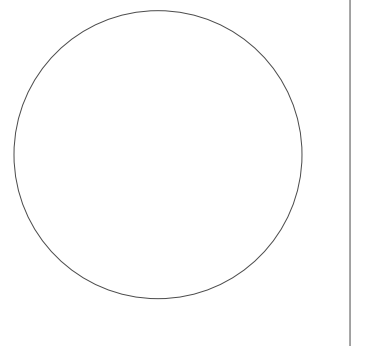


**6 Toilets - S Building N Wing W New**  
1/4" = 1'-0"



**8 Toilets - S Building N Wing E New**  
1/4" = 1'-0"





Project No	21052
Date	Nov. 11, 2022
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Checked	Checker
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SD 1	7/14/22
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6. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
7. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
8. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
9. Where new wall hung fixtures are installed, install new carriers for fixtures as well as a new 6" metal stud wall with tile at all exposed faces for 18" from center of fixture to edge of wall or into perpendicular abutting wall at either side OR as indicated on drawing.
10. Where fixtures are indicated to be replaced, include new finish plumbing and standard accessories including pipe insulation, faucets, flush valves, sealant, etc.
11. Where new existing pipe is abandoned; cap pipe and paint to matching adjacement color.
12. Install new grab bars at all ADA & AMB toilets
13. Install moisture resistant back board at all new tile.
14. Clean and reseal grout at floor tile.

**Specific Notes**

**Add Alternate #1**

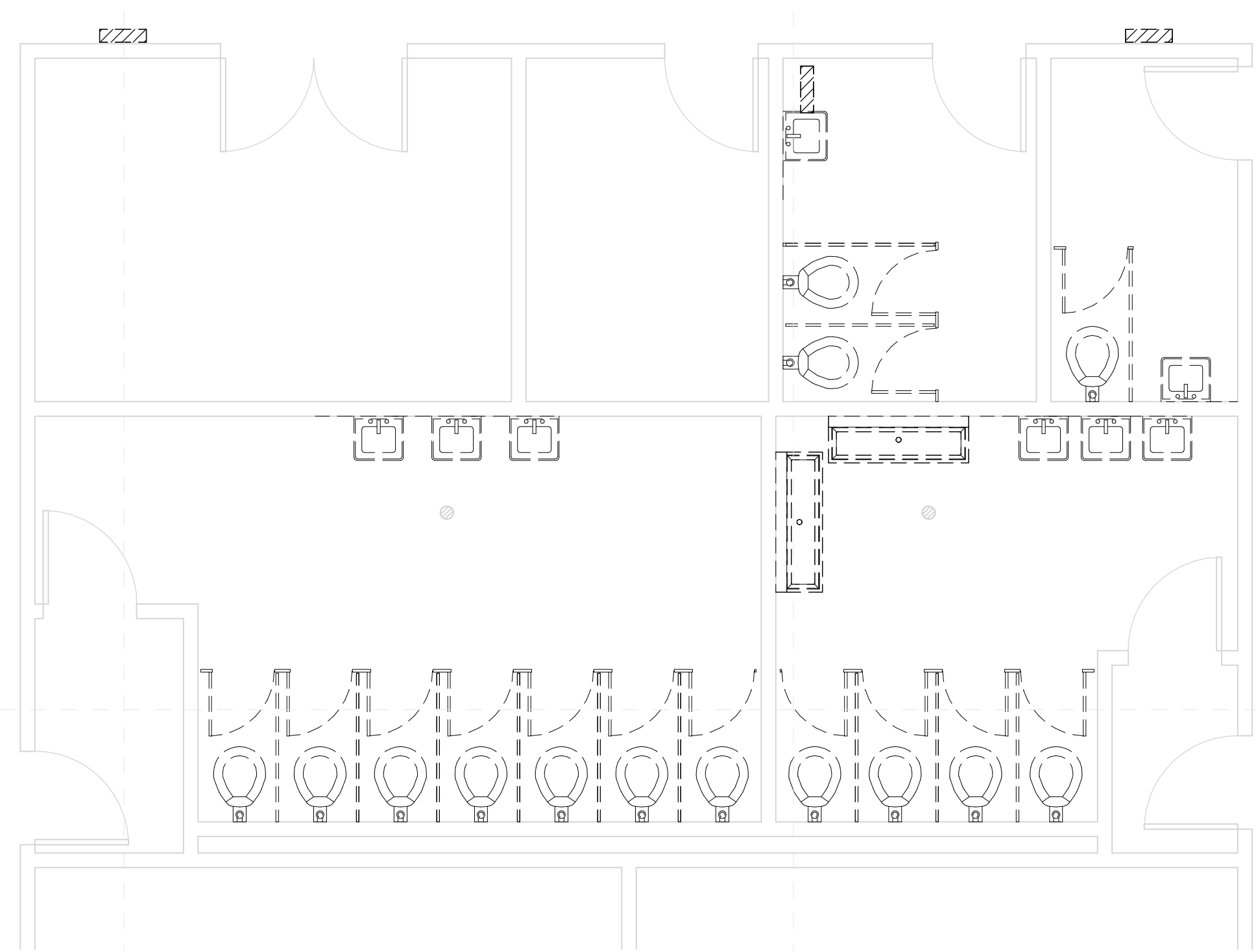
1. Paint Toilet Room Interiors (previously painted surfaces, walls and Ceilings).
2. Refinish Toilet Room Doors (all faces).
3. Install new hardware at toilet room doors.

**Deduct Alternate #2**

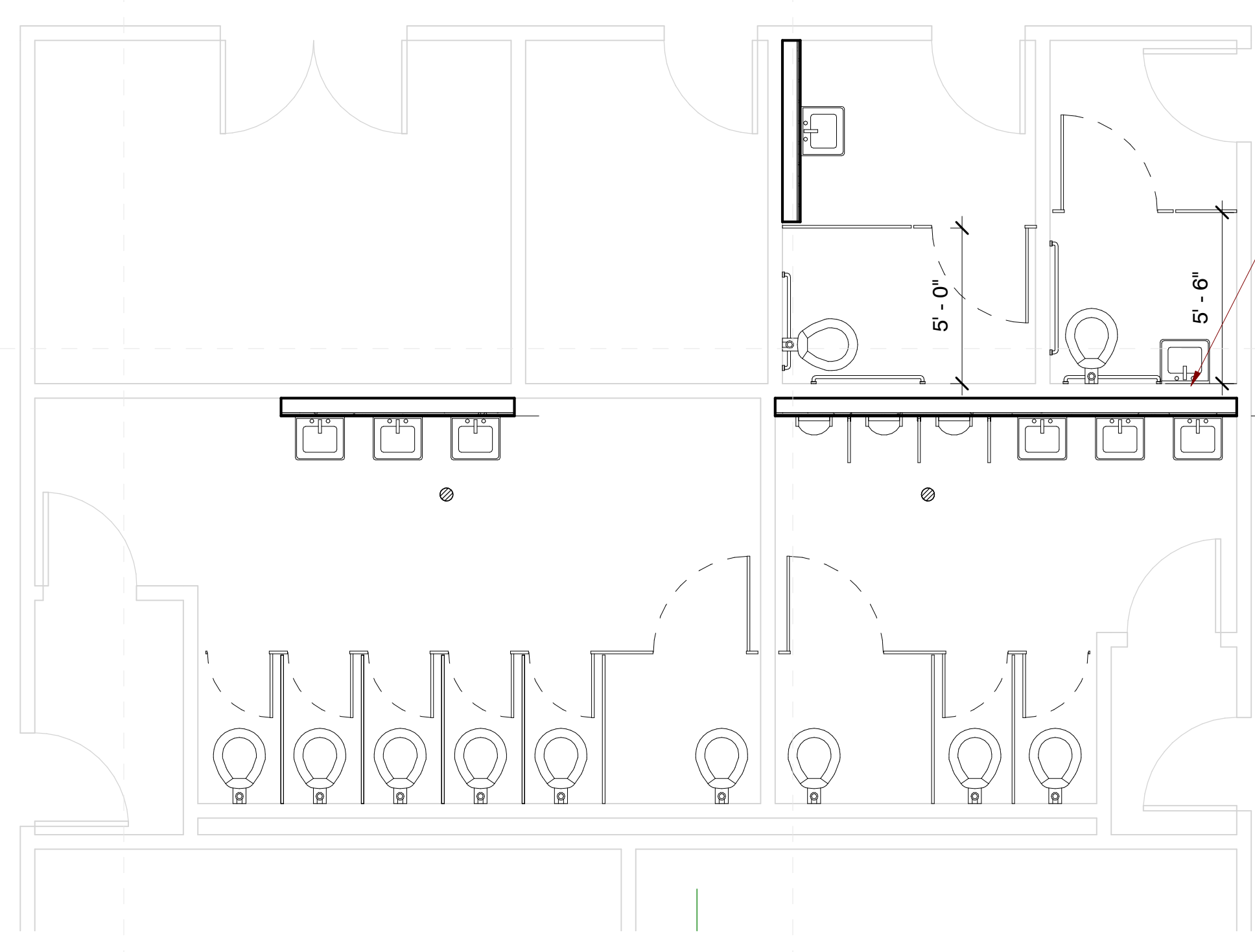
1. Replace all new CMU Block walls with Plastic Toilet partitions.

**Deduct Alternate #3**

1. Make all new Metal Stud walls intended to conceal carriers partial height:
  - A. 3'-6" at Lavatories
  - B. 4'-6" at Urinals
  - C. Cap All partial height walls with cast concrete toppers measuring 1-1/4" in thickness for full length of walls in section measuring a MIN of 4'-0" in length. Grout joints and seal to wall with mastic.

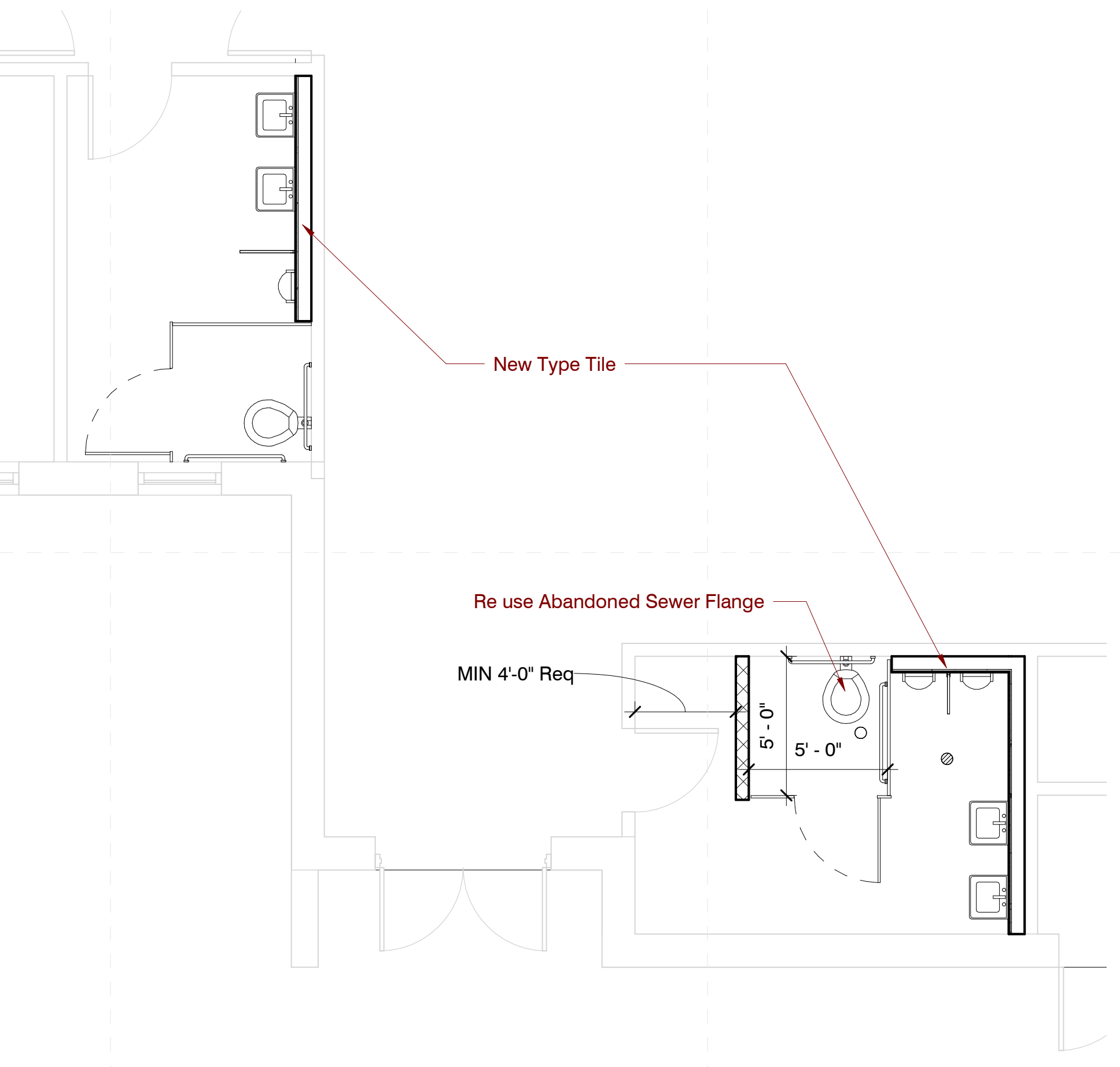


**4 Toilets - NE Building Existing**  
1/4" = 1'-0"

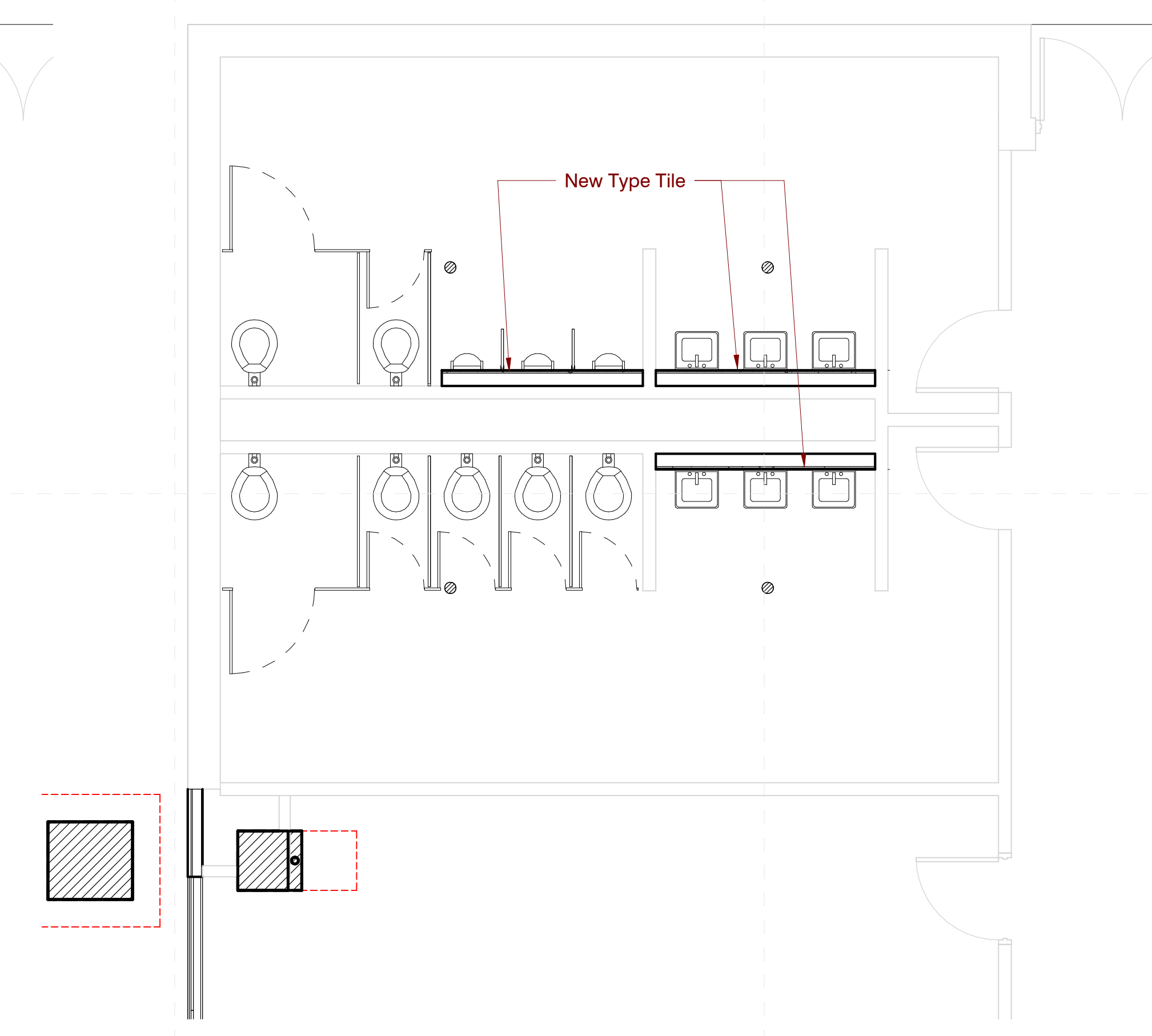


**6 Toilets - NE Building New**  
1/4" = 1'-0"

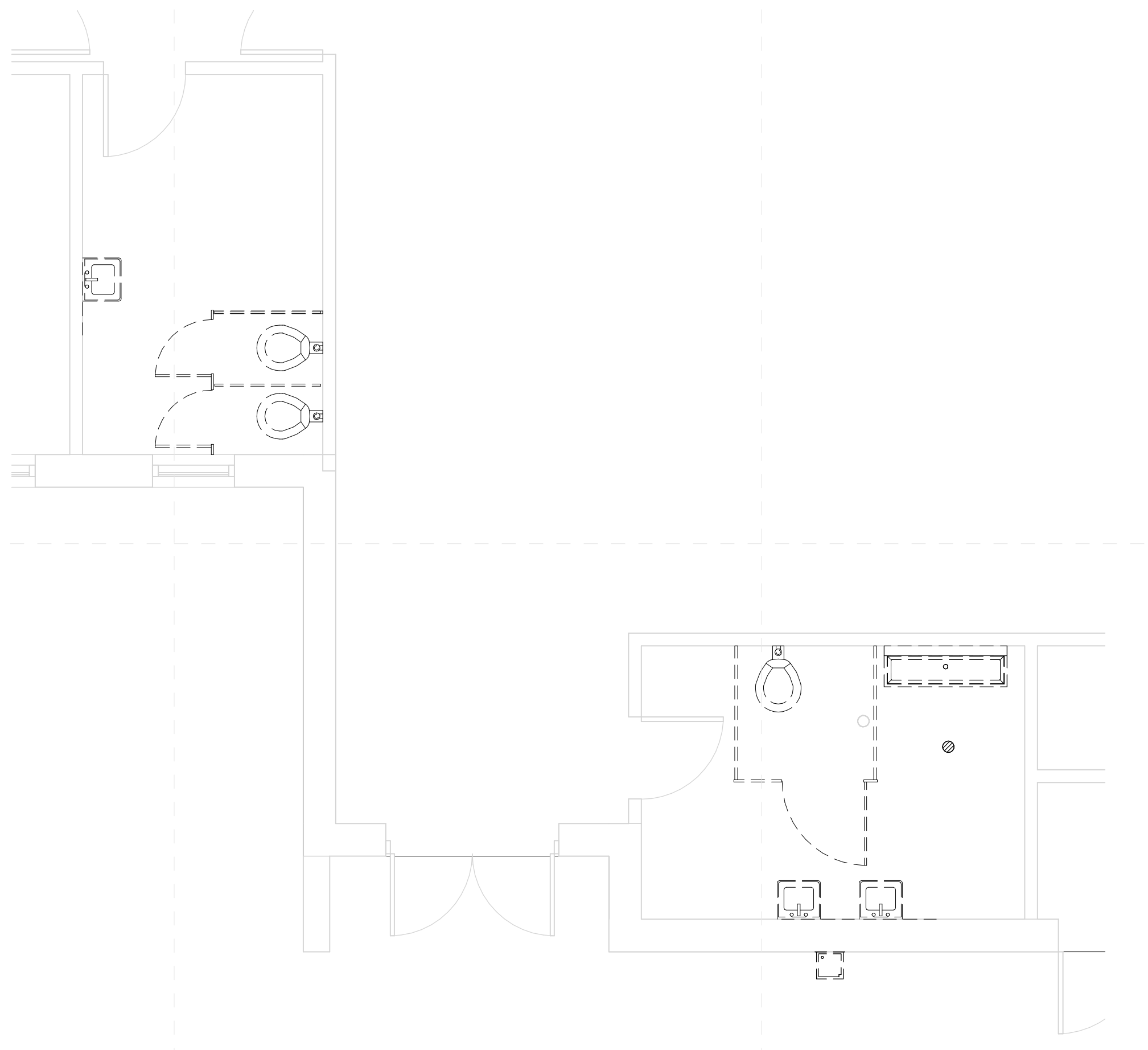
Extend Wall Carrier Thru CMU from other side of Wall



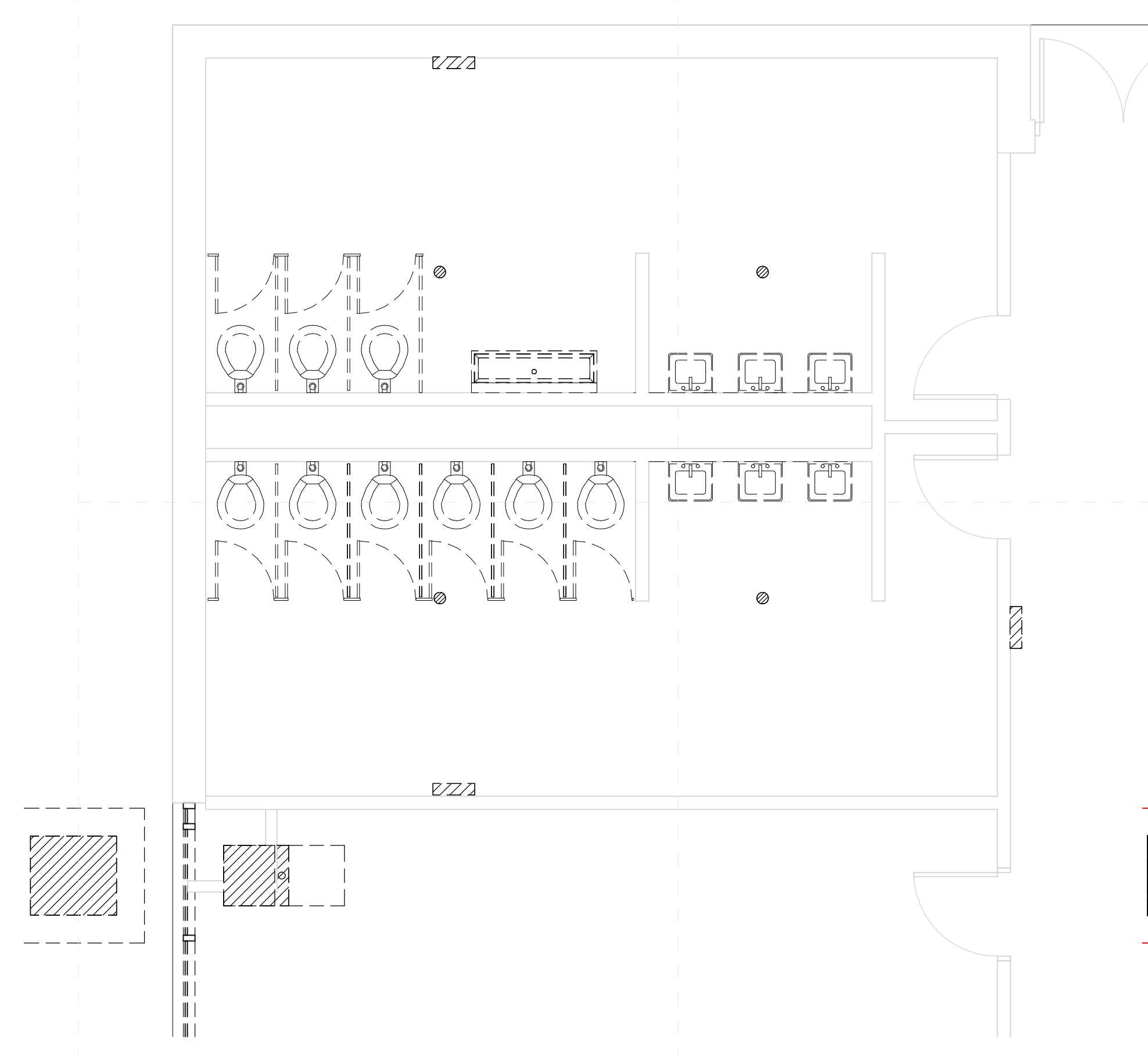
**2 Toilets - Gym S New**  
1/4" = 1'-0"



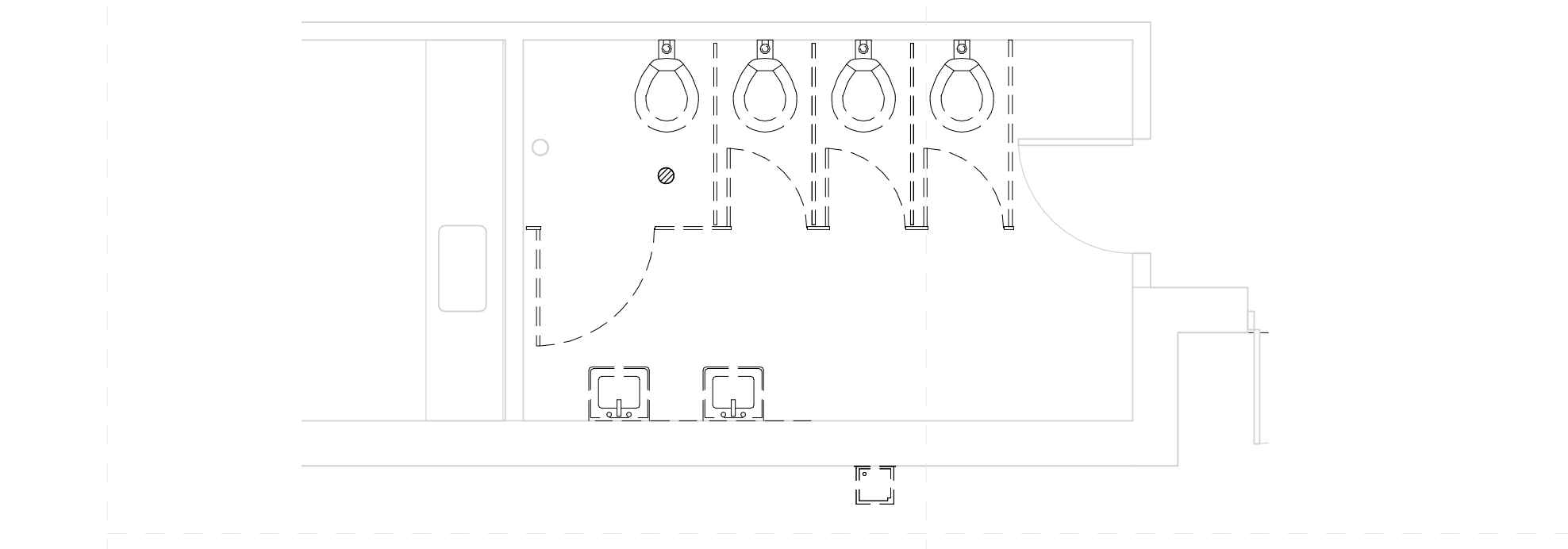
**5 Toilets - West Building New**  
1/4" = 1'-0"



**7 Toilets - Gym S Existing**  
1/4" = 1'-0"



**1 Toilets - West Building Existing**  
1/4" = 1'-0"



**3 Toilets - Gym N Existing**  
1/4" = 1'-0"



**8 Toilets - Gym N New**  
1/4" = 1'-0"

11/10/2022 10:03:36 AM C:\Users\jpm\p\Documents\Morgantown\_paupurser\20HY.rvt

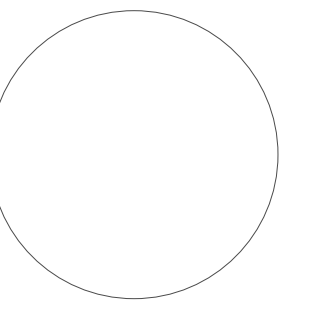
Architects

One Jackson Place 250  
188 East Capitol Street  
Jackson, MS 39201  
p 601.352.5411

201 Park Court Suite B  
Ridgeland, MS 39157  
p 601.790.9432

161 Lameuse St. Suite 201  
Biloxi, MS 39530  
p 228.374.1409

dalebaileyplans.com



**Natchez-Adams School District ESSER 3**

McLaurin Elementary: 170 Sgt Prentiss Dr., Natchez, MS 39120

100%  
Construction  
Documents

Project No	21052
Date	July 14, 2022
Drawn	PPU
Checked	RBI
Revision #	Date
SD 1	7/14/22
DD 2	9/15/22
CD 3	11/11/22

**G-000b**

General Sheet



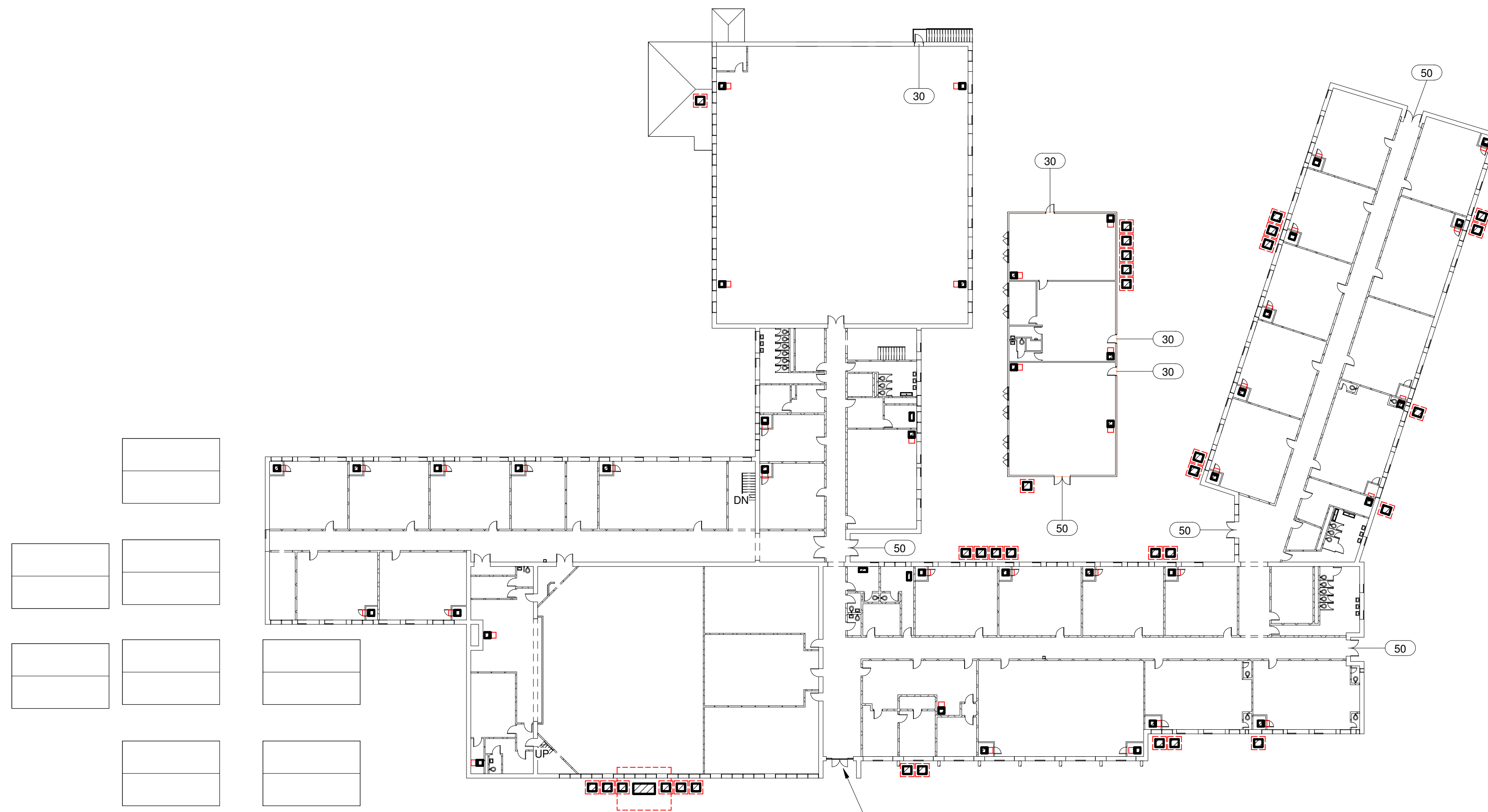
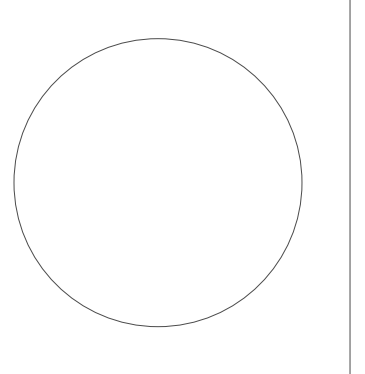
Front of School



Entry Double Doors to be Replaced



Typical Double Doors to be Replaced



Remove Entire Steel Door Assembly & Window Above  
Replace with New Storefront Framing & Double Doors in Similar Configuration  
Lockset to be Type "A"; Hinge to be Type "A"; MISC Hardware to be Type "A"

**1 Upper Level**  
1" = 30'-0"

**Door Schedule - Counts**

Unverified Width	Matl	Type	Jamb Material	Glz	Lockset Type	Hinge Type	MISC Hardware Type	Notes	Count	Function
6'-0"	Steel (Painted)	10	Steel	None	D	A	B	Verify All Dimensions; Provide Full Vent @ Panel	1	Exterior
3'-0"	Steel (Painted)	30	Steel	Full Narrow Lite (8"x60")	A	A	B	Verify All Dimensions	7	Exterior
3'-0"	Steel (Painted)	40	Steel	None	C	A	B	Verify All Dimensions	3	Exterior
6'-0"	Steel (Painted)	50	Steel	Full Narrow Lite (8"x60")	A	A	B	Verify All Dimensions	10	Exterior
3'-0"	Steel (Painted)	60	Steel	None	D	A	B	Verify All Dimensions; Provide Full Vent @ Panel	3	Exterior
<b>Grand total: 24</b>										

\*\*\*All glazing shall insulated\*\*\*

\*\*\*Repair all steel jambs with exterior rated putty compound\*\*\*

**Locket Types (all locksets to be mortised style if applicable)**

- A. Panic Hardware with Lever Exterior
- B. Double Keyed Lock with Pull & Push Hardware
- C. Panic Hardware with no Exterior Hardware
- D. Storage Function Lever w Deabolt

**Hinge Types**

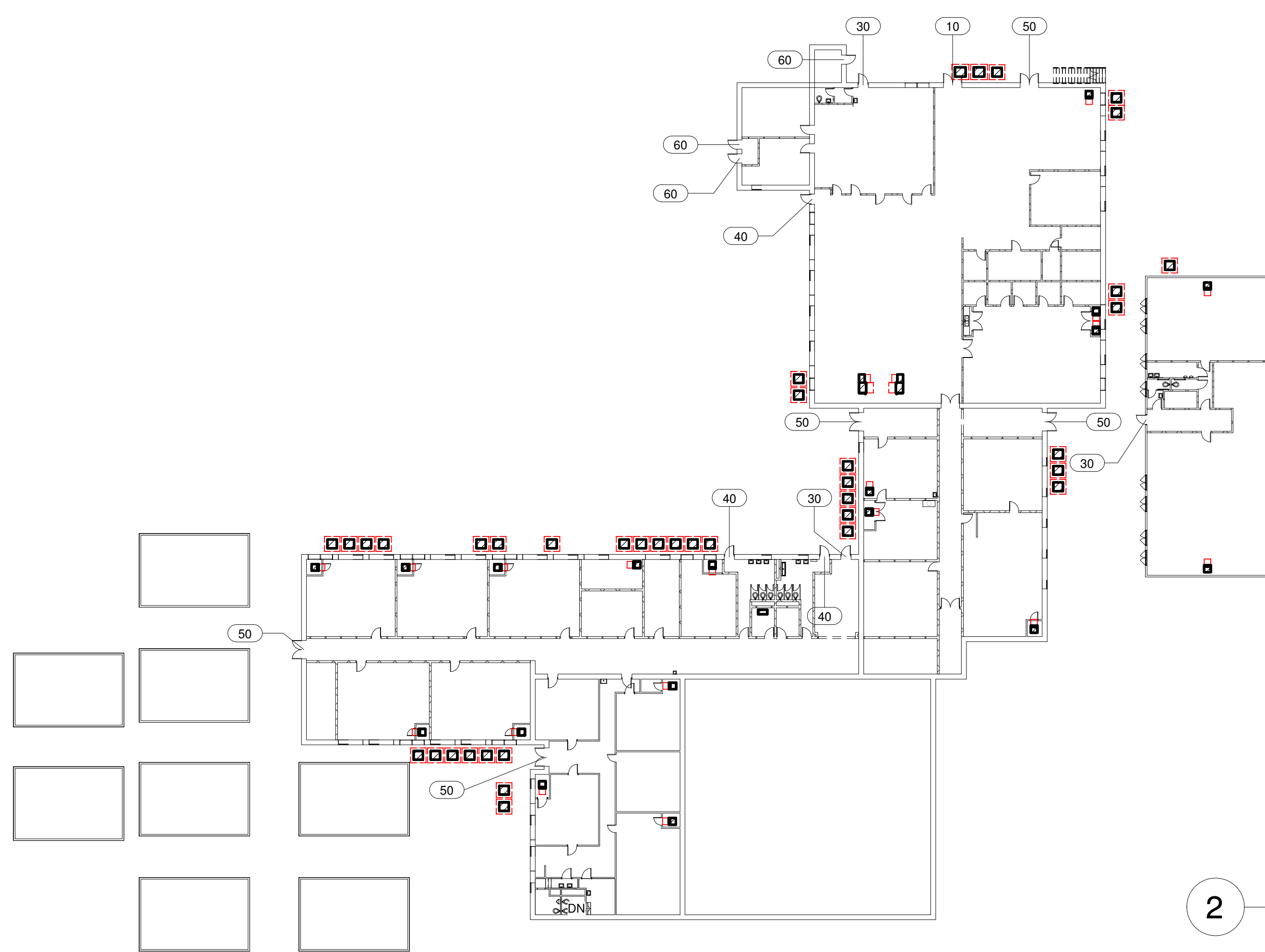
- A. Full Height Tamper Proof Geared Hinge

**MISC Hardware Types**

- A. Doors without Exposure
  - a. New Threshold (embed in sealant)
  - b. Brush Door Sweep
  - c. Jamb and Head Gasketing
  - d. Door Closer
  - e. Door Stop (wall or floor depending on location)
- B. Doors with Exposure
  - a. New Threshold (embed in sealant)
  - b. Brush Door Sweep
  - c. Jamb and Head Gasketing
  - d. Door Closer
  - e. Kick Down Holder
  - f. Door Stop (wall or floor depending on location)
  - g. Aluminum Drip at Door Head

**Scope Summary**

- New Mechanical Units as noted in Mechanical drawings
- Repair Exterior doors for weather tightness
  1. Replace Door Panels with new
  2. Install new hardware including locksets & Continuous hinges as well as all weatherstripping
  3. Install new drip at head of all doors exposed to weather
  4. Paint all jambs
- Renovate toilet rooms as shown in architectural plans and mechanical plans
  1. Change out all fixtures
  2. Install new touchless flush valves
  3. Install new touchless faucets
  4. install new toilet partitions
  5. Replace Water Fountains with New Bottle Filling Stations
    - A. Provide new 6" Metal Stud Wall with 5/8" concrete backer board & tile behind all water fountains measuring 3' wide and 7' tall



**2 Lower Level**  
1" = 30'-0"



All School's Specific Notes

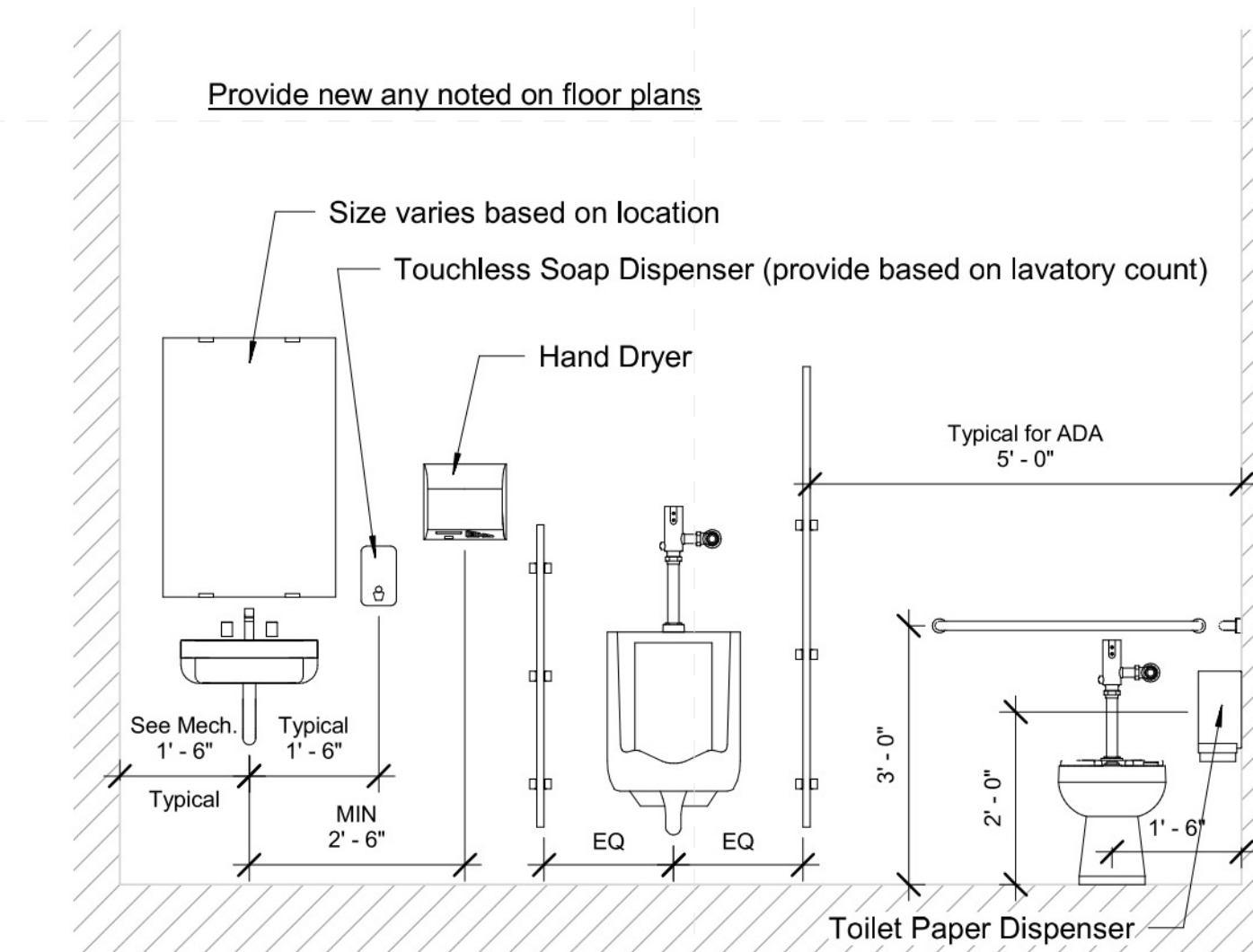
- 22 42 00 002 New fixtures in this toilet room; coordinate with mechanical
- 22 42 00 003 New touchless faucet at sink/cabinet; coordinate with mechanical
- 22 42 00 007 Install new fixture; coordinate with mechanical
- 22 47 13 002 Install single drinking fountain here with bottle filler attachment; coordinate with mechanical & electrical drawings

General Project Notes

1. Wherever fixture indicated to be replaced, include new finish plumbing and standard accessories including pipe insulation, faucets, flush valves, sealant, etc.
2. Notify Architect in writing of any rough in plumbing that is not draining properly or supplying water as needed.
3. Accessories to be replaced only as noted on floor plans.



Front of School



1 Typical Toilet Room Wall  
1/2" = 1'-0"



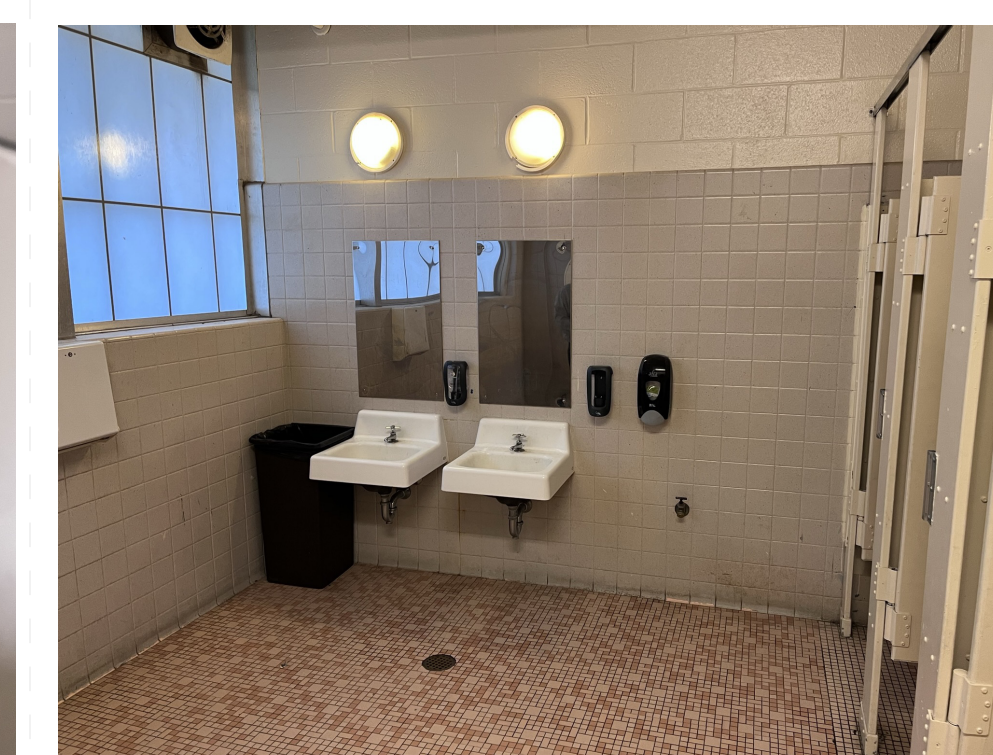
Other Cabinet Lavs



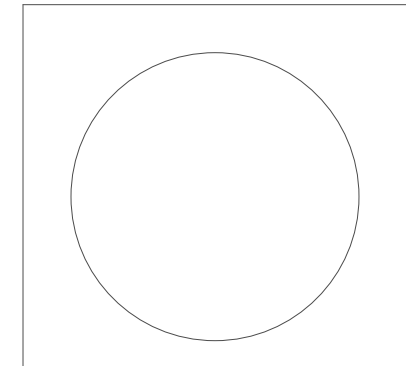
Typical Urinal Style



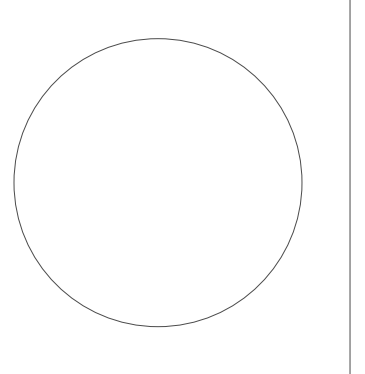
Typical Toilet Style



Typical Toilet Lav Wall



Project No	21052
Date	Nov. 11, 2022
Drawn	PPU
Checked	RBI
Revision #	Date
DD 3	10/21/22
CD 4	11/11/22



**Natchez-Adams School District ESSER 3**

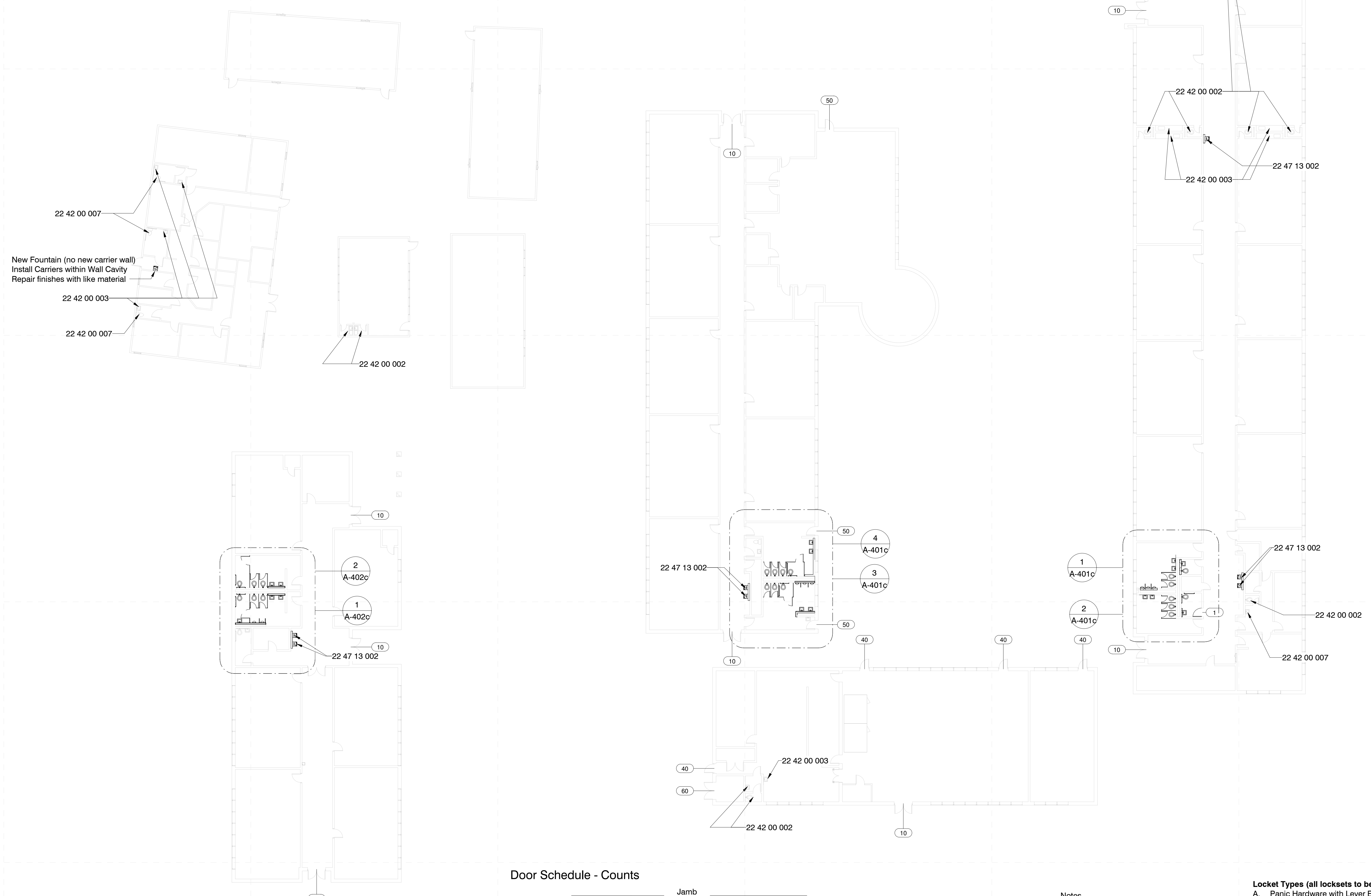
Susie B. West Elementary: 161 Lewis Dr, Natchez, MS 39120

100%  
Construction Documents

Project No 21052  
Date Nov. 11, 2022  
Drawn PPU  
Checked RBI  
Revision # Date  
DD 3 10/21/22  
CD 4 11/11/22

**A-101c**

Susie B. West Elementary



**Specific Notes**

22 42 00 002	New fixtures in this toilet room; coordinate with mechanical
22 42 00 003	New touchless faucet at sink/cabinet; coordinate with mechanical
22 42 00 007	Install new fixture; coordinate with mechanical
22 47 13 002	Install single drinking fountain here with bottle filler attachment; coordinate with mechanical & electrical drawings

**1 Composite Floor Plan**  
1/16" = 1'-0"

**Door Schedule - Counts**

Unverified Width	Matl	Type	Jamb Material	Glz	Lockset Type	Hinge Type	MISC Hardware Type	Notes	Count	Function
6'-0"	Steel (Painted)	10	Steel	Full Narrow Lite (8"x60")	A	A	B		8	Exterior
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3'-0"	Steel (Painted)	50	Steel	None	A	A	B		3	Exterior
3'-0"	Steel (Painted)	60	Steel	None	D	A	B	Provide vent w MIN area of 432 SQ Inches on both leafs	1	Exterior
<b>Grand total: 16</b>										

\*\*\*All glazing shall insulated\*\*\*  
\*\*\*Repair all steel jambs with exterior rated putty compound\*\*\*

**Lockset Types (all locksets to be mortised style if applicable)**

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- B. Double Keyed Lock with Pull & Push Hardware
- C. Panic Hardware with no Exterior Hardware
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**Hinge Types**

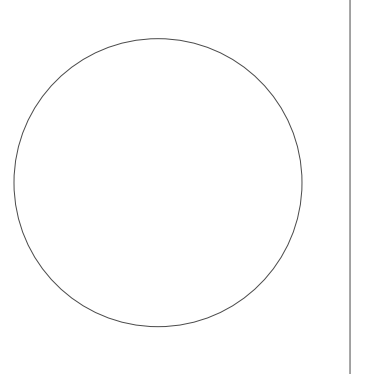
- A. Full Height Tamper Proof Geared Hinge

**MISC Hardware Types**

- A. Doors without Exposure
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  - d. Door Closer
  - e. Door Stop (wall or floor depending on location)
- B. Doors with Exposure
  - a. New Threshold (embed in sealant)
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  - c. Jamb and Head Gasketing
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**Scope Summary**

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  1. Change out all fixtures
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  5. Replace Water Fountains with New Bottle Filling Stations
    - A. Provide new 6" Metal Stud Wall with 5/8" concrete backer board & tile behind all water fountains measuring 3' wide and 7' tall



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11. Where new existing pipe is abandoned; cap pipe and paint to matching adjacement color.
12. Install new grab bars at all ADA & AMB toilets
13. Install moisture resistant back board at all new tile.
14. Clean and reseal grout at floor tile.

**Specific Notes**

- 22 42 00 003 New touchless faucet at sink/cabinet; coordinate with mechanical

**Add Alternate #1**

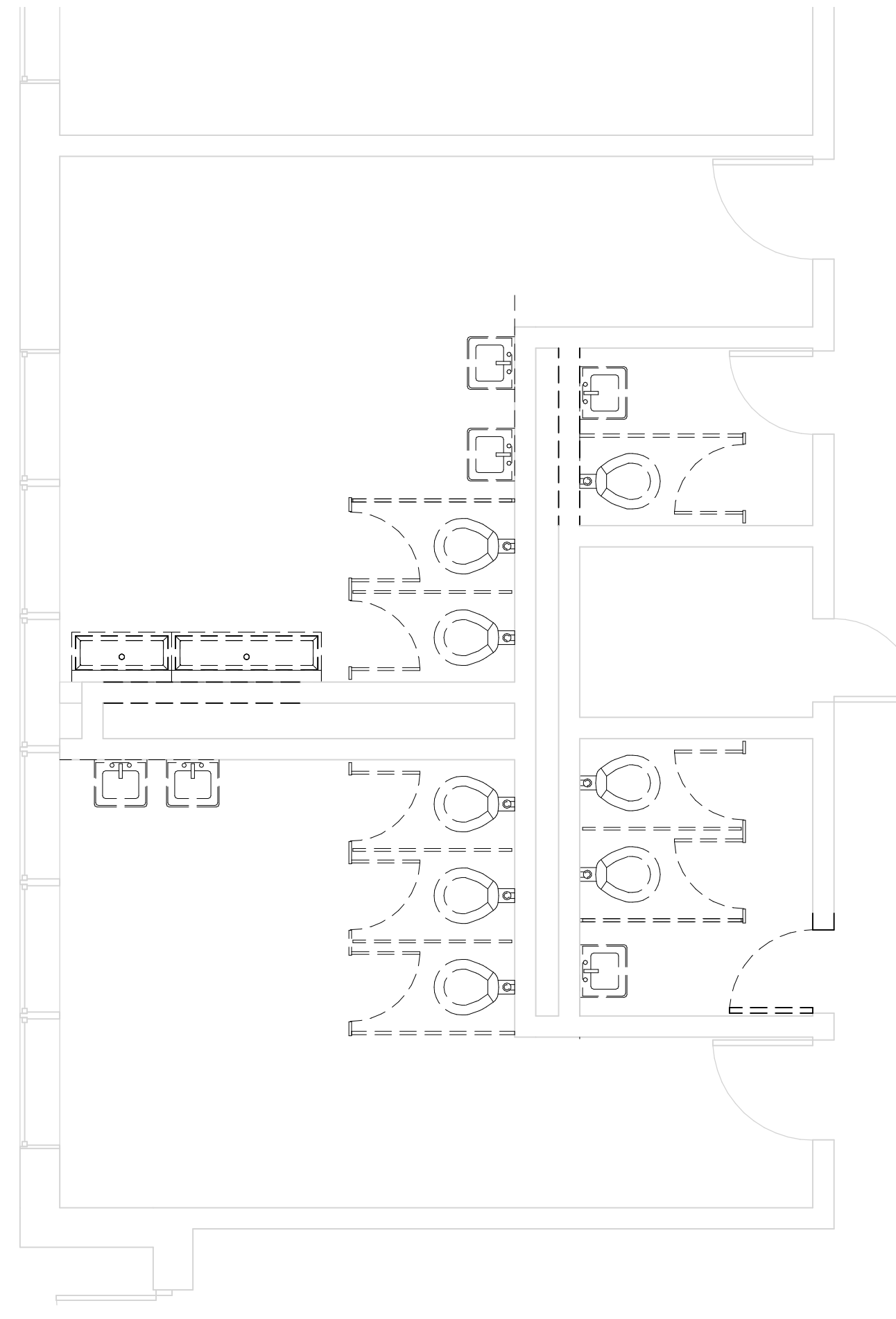
1. Paint Toilet Room Interiors (previously painted surfaces, walls and Ceilings).
2. Refinish Toilet Room Doors (all faces).
3. Install new hardware at toilet room doors.

**Deduct Alternate #2**

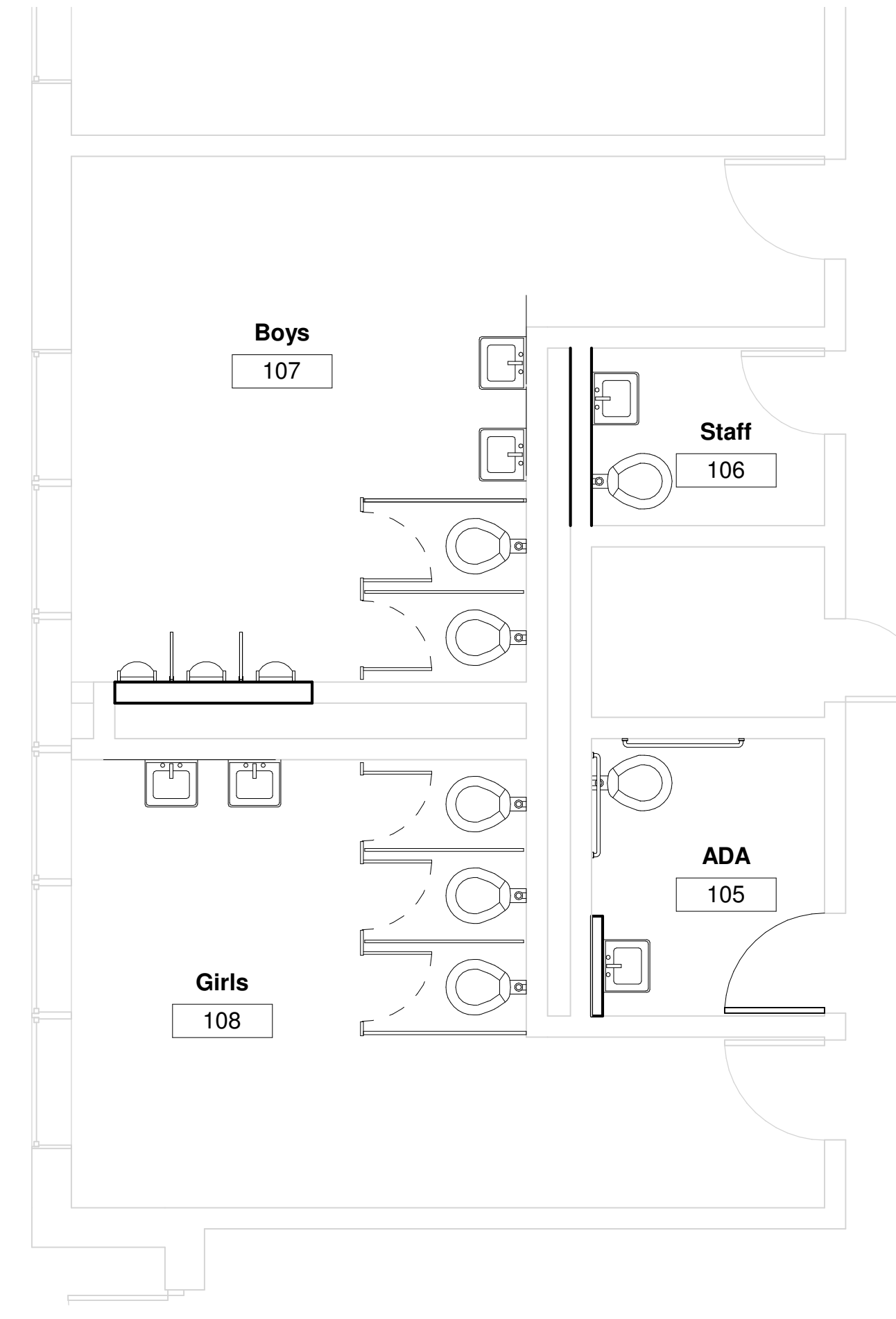
1. Replace all new CMU Block walls with Plastic Toilet partitions.

**Deduct Alternate #3**

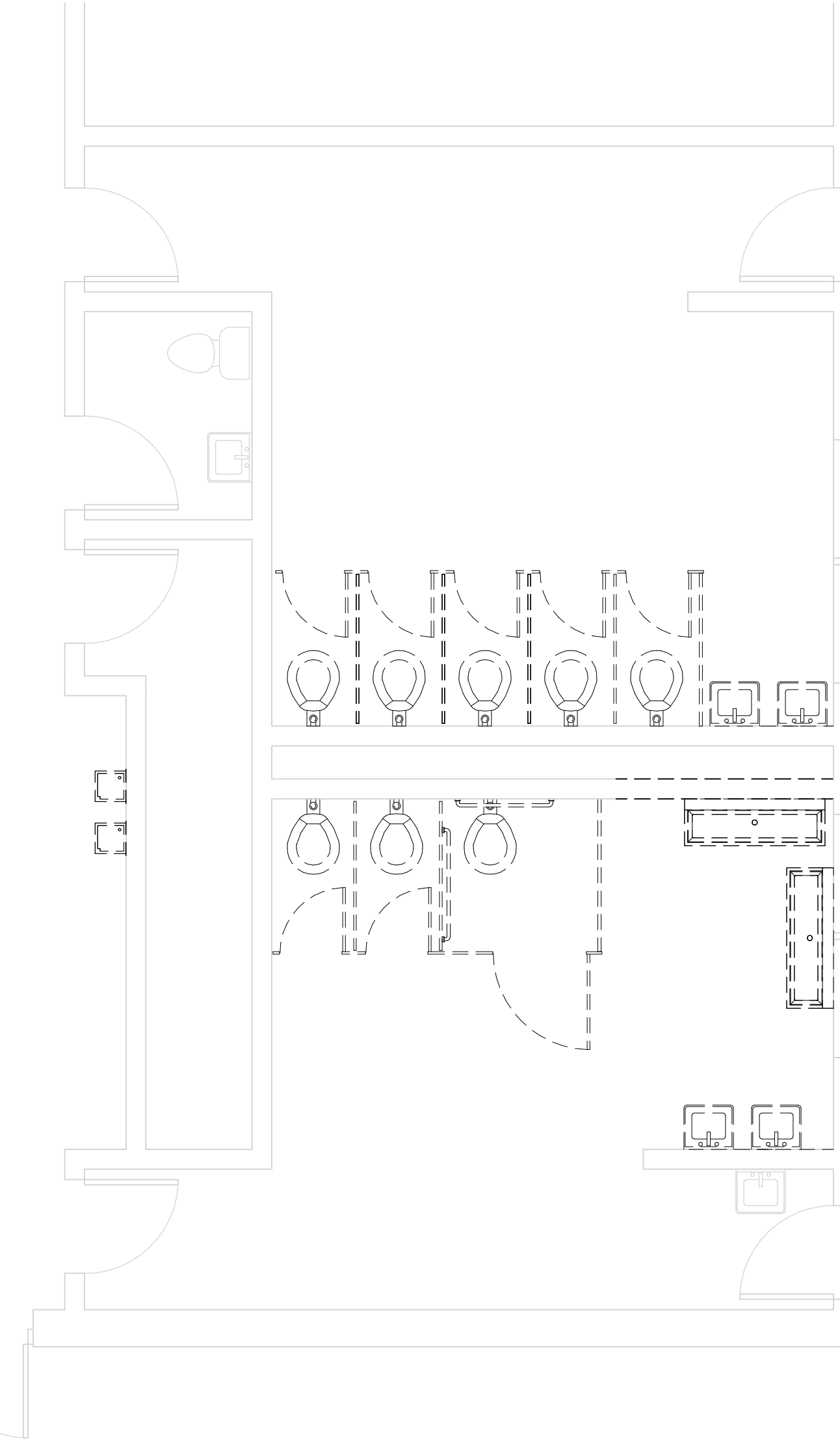
1. Make all new Metal Stud walls intended to conceal carriers partial height:
  - A. 3'-6" at Lavatories
  - B. 4'-6" at Urinals
  - C. Cap All partial height walls with cast concrete toppers measuring 1-1/4" in thickness for full length of walls in section measuring a MIN of 4'-0" in length. Grout joints and seal to wall with mastic.



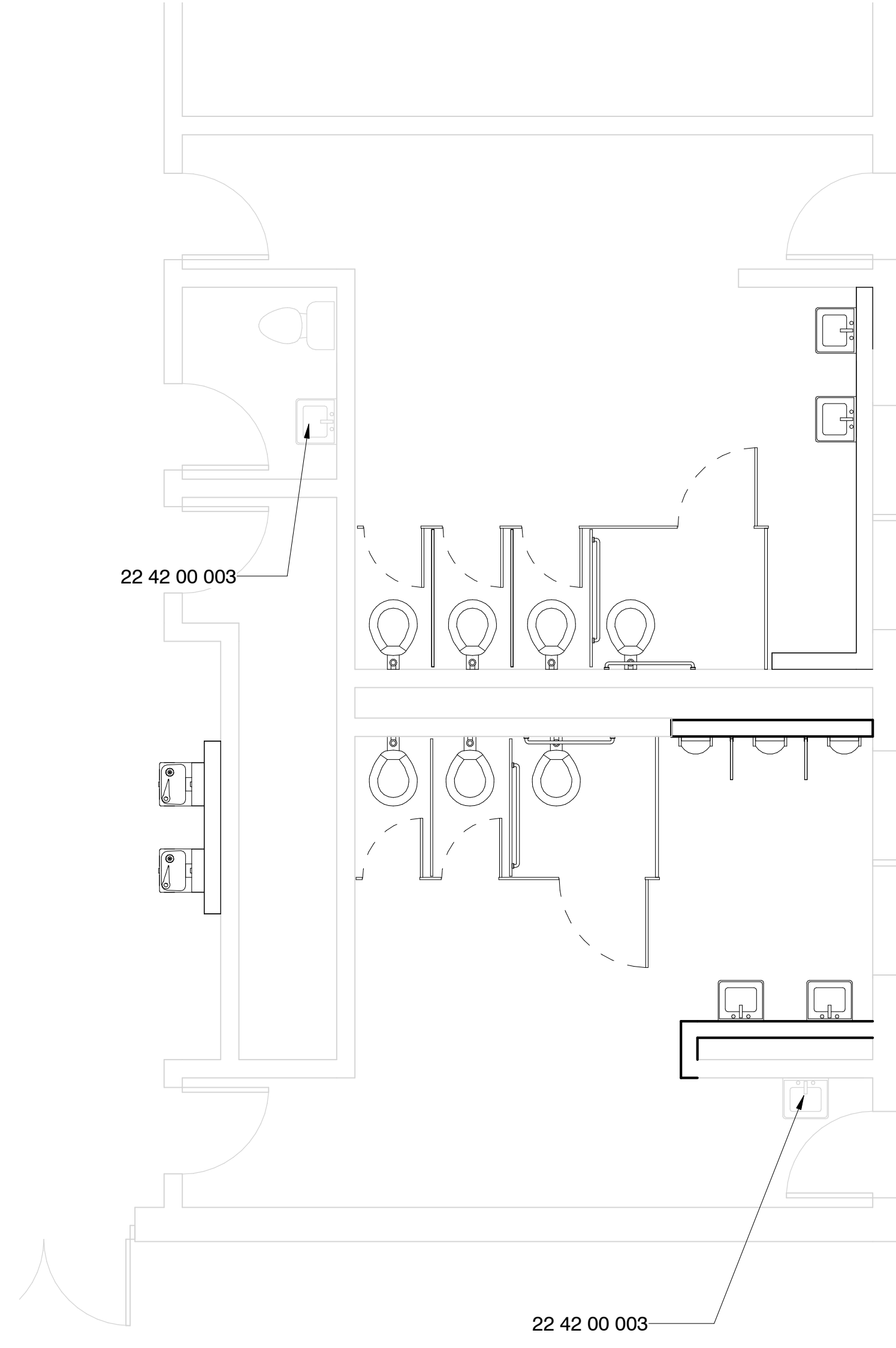
**1 Toilets - South Building - Existing**  
1/4" = 1'-0"



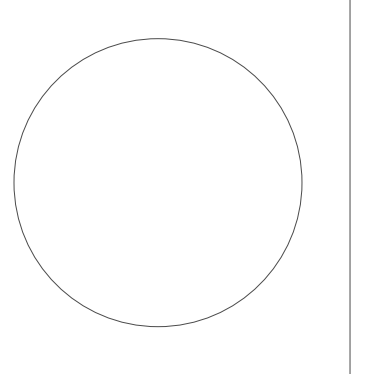
**2 Toilets - South Building - New**  
1/4" = 1'-0"



**3 Toilets - Central Building - Existing**  
1/4" = 1'-0"



**4 Toilets - Central Building - New**  
1/4" = 1'-0"



Project No	21052
Date	Nov. 11, 2022
Drawn	PPU
Checked	RBI
Revision #	Date
DD 3	10/21/22
CD 4	11/11/22

**General Notes**

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13. Install moisture resistant back board at all new tile.
14. Clean and reseal grout at floor tile.

**Specific Notes**

22 42 00 003 New touchless faucet at sink/cabinet; coordinate with mechanical

**Add Alternate #1**

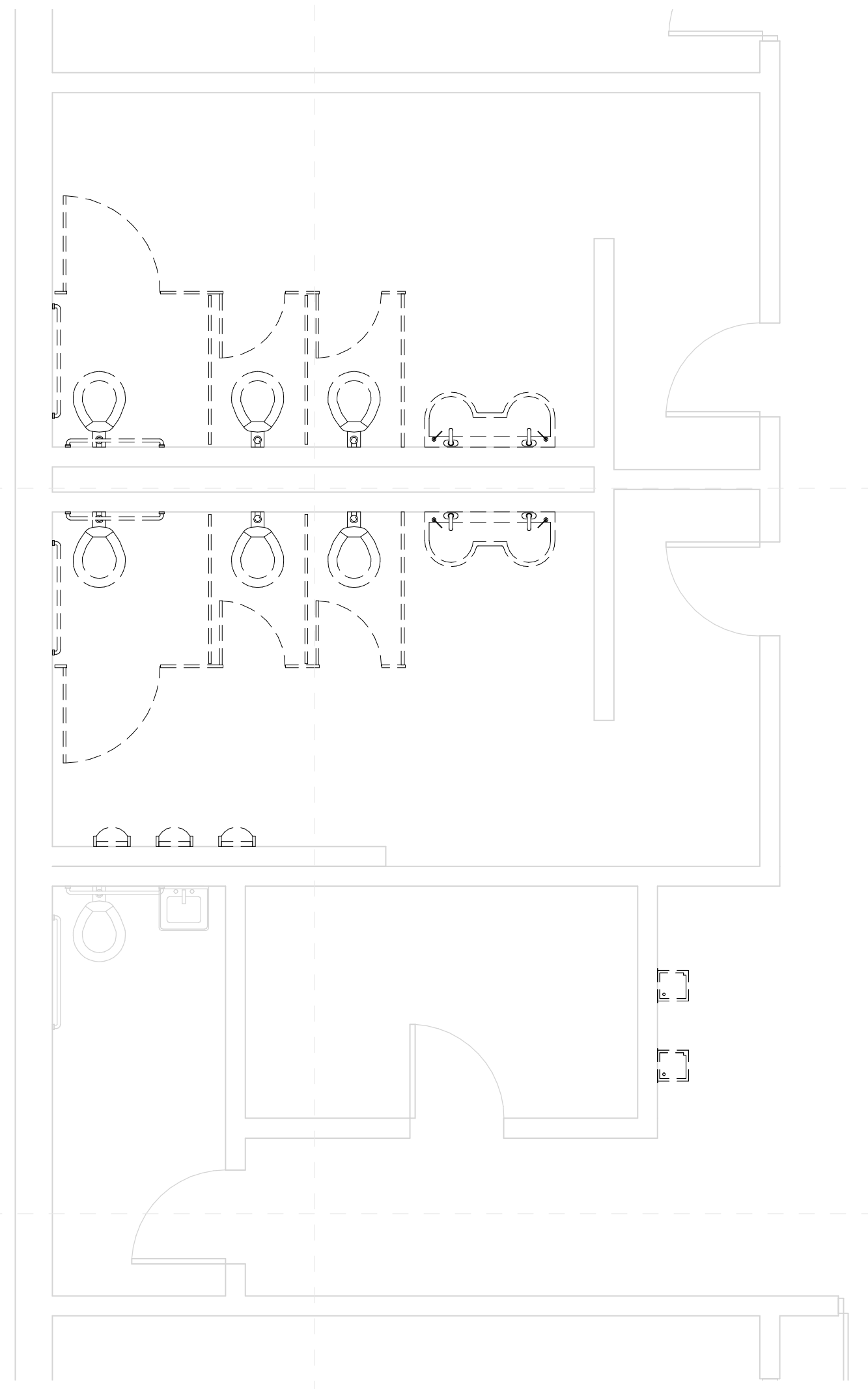
1. Paint Toilet Room Interiors (previously painted surfaces, walls and Ceilings).
2. Refinish Toilet Room Doors (all faces).
3. Install new hardware at toilet room doors.

**Deduct Alternate #2**

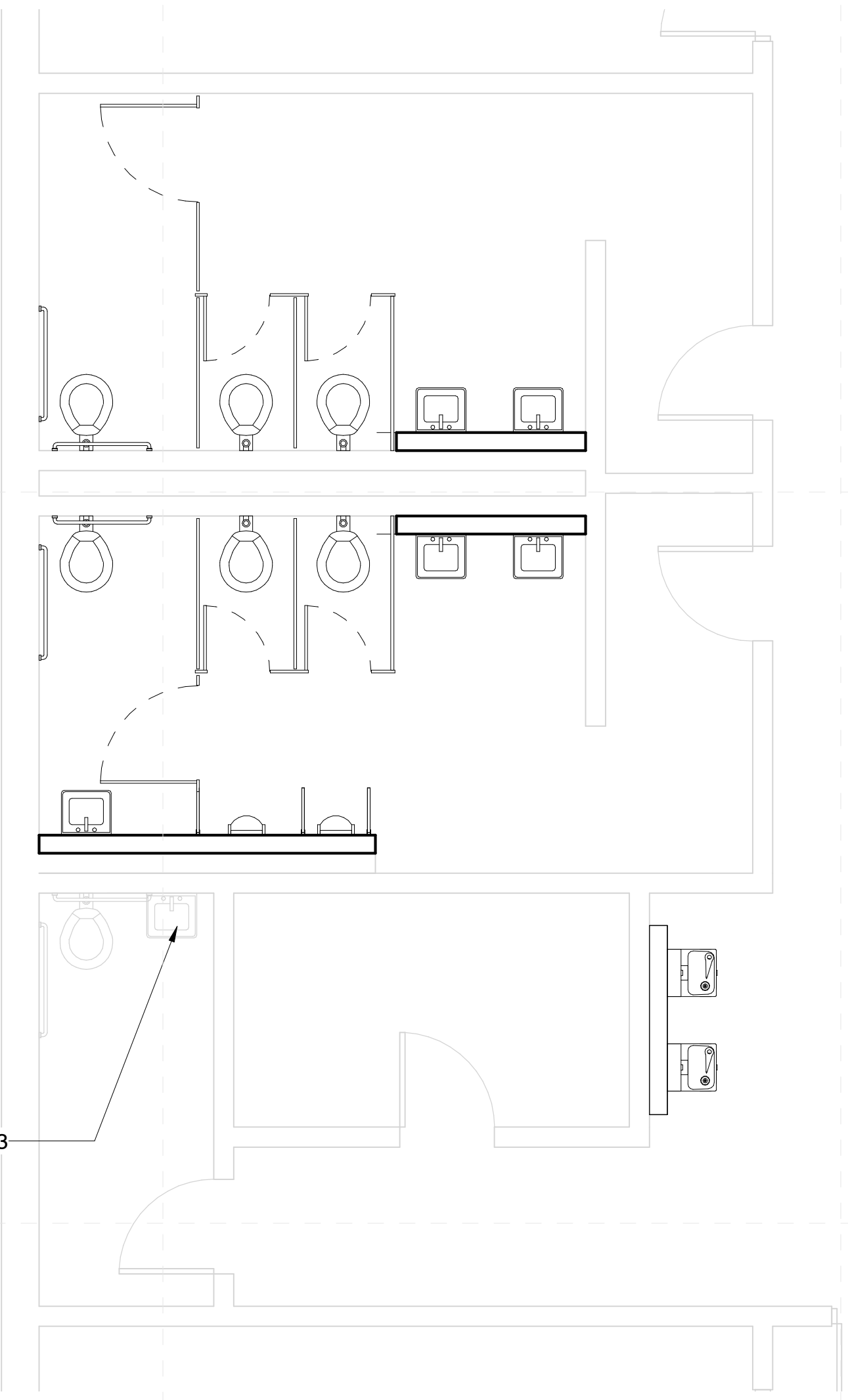
1. Replace all new CMU Block walls with Plastic Toilet partitons.

**Deduct Alternate #3**

1. Make all new Metal Stud walls intended to conceal carriers partial height:
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  - B. 4'-6" at Urinals
  - C. Cap All partial height walls with cast concrete toppers measuring 1-1/4" in thickness for full length of walls in section measuring a MIN of 4'-0" in length. Grout joints and seal to wall with mastic.



**1 Toilets - Northwest Building**  
1/4" = 1'-0"



**2 Toilets - Northwest Building - New**  
1/4" = 1'-0"