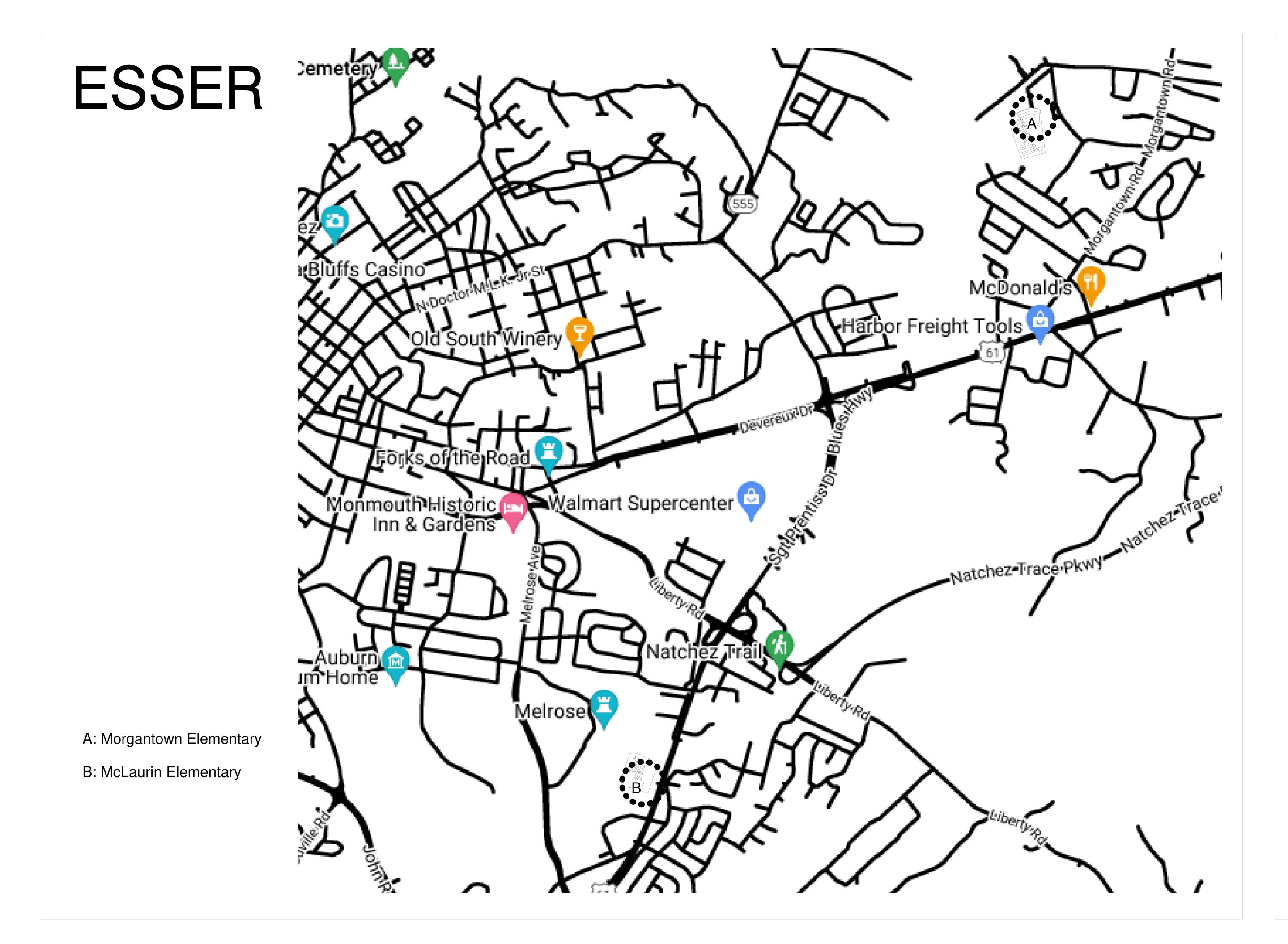
DALE BAILEY

AN ASSOCIATION

Jackson • Biloxi Mississippi





Natchez Adams School District

10 Homochitto St. Natchez, MS 39120

DBA PN: 21052 **Design Development** 10/12/2022

Fred T. Butcher Superintendent

Board of Trustees

President Amos James, Jr. **Vice President Phillip West** Dr. Cecile Dianne Bunch Secretary Dr. Brenda Robinson As. Secretary **LLJuna Grennell Weir** Member Bruse Kuehnle, Jr. Attorney

Team Members

Natchez Adams School District Owner **Architect** Dale | Bailey, an Association GSK Mechanical, Inc. Mechanical **Electrical** The Power Source PLLC

Energy Code Requirements Project Alternates 1. ADD Alternate - Toilet Room Additional Finish Work 2. DED Alternate - Remove CMU work and replace with

General Project Notes

partial heights as indicated

Project Phasing Requirements

3. DED Alternate - Reduce height of new Carrier Walls to

Toilet Partitions

1. <u>N/A</u>

1. IBC **2021** Energy Code is the mandatory energy code

standard for this project. 2. All mechanical and electrical building system installed should meet all requirements of the energy code.

Thermal Envelope Requirements

2. Walls = R-7.6ci (mass walls)

1. Roofs = R-20 ci (insulation entirely above deck) 3. Walls = R-13 + R-7.5ci (metal framed walls) 4. Below Grade Walls = no requirement

5. Slab on Grade = no requirement

Fenestration Requirements (U-factor)			
1.	Fixed	= U-Factor 0.46	
2.	Operable	= U-Factor 0.60	
3.	Entrances	= U-Factor 0.77	

General Information

4. SHGC

1. Do not scale drawings. If dimensions are in question, the contractor shall be responsible for obtaining clarification from the architect before continuing with the construction

= U-Factor 0.25

2. Contractors shall verify, on the site, all dimensions and equipment locations, and notify architect promptly in writing of any discrepancies 3. Contractors shall be responsible to determine the on site conditions and perform all necessary work to

complete the project 4. Contractors shall maintain safe methods of egress for occupied buildings and in site area during

construction 5. All casework dimensions shall be field verified before unit fabrication or installation 6. Dimensions, notes, finishes, and fixtures shown on typical floor plans shall apply to similar, symmetrical,

or opposite hand plans, sections, or details 7. Typical, or typ., shall mean that condition is representative for similar conditions throughout, U.N.O. Details are usually keyed and noted "Typ." only one time when they first occur 8. Partitions are dimensioned from finish face U.N.O.

Dimensions to masonry are to actual finish face

9. Owner to have right of refusal for all materials, furniture, fixtures and good within the limits of the construction contract.

Drawir	ng Index	
Sheet No	Sheet Name	Building Name
G-001	Cover Sheet	General
G-001	Index & General Project Information	General
0.000		
G-000a	General Sheet	A: Morgantown Elementa
A-101a	Morgantown Elementary	A: Morgantown Elementa
A-401a	Enlarged Bathroom Plans	A: Morgantown Elementa
A-402a	Enlarged Bathroom Plans	A: Morgantown Elementa
G-000b	General Sheet	B: McLaurin Elementary
RA101b	McLaurin Elementary School Composite Floor Plan	B: McLaurin Elementary
M-000	General Mechanical Information	General
M-001a	Overall New HVAC Work	A: Morgantown Elementa
M-101a	Partial New HVAC Work	A: Morgantown Elementa
M-102a	Partial New HVAC Work	A: Morgantown Elementa
M-103a	Partial New HVAC Work	A: Morgantown Elementa
M-104a	Partial New HVAC Work	A: Morgantown Elementa
M-105a	Partial New HVAC Work	A: Morgantown Elementa
M-201a	Enlarged Toilet Plans	A: Morgantown Elementa
M-202a	Enlarged Toilet Plans	A: Morgantown Elementa
M-203a	Enlarged Toilet Plans	A: Morgantown Elementa
MD001a	Overall Mechanical Demolition Plan	A: Morgantown Elementar
NA 0041-	Overell New LIVAC Work. Level 4	D. Malausia Elassastas.

M-001b Overall New HVAC Work - Level 1 B: McLaurin Elementary B: McLaurin Elementary M-002b Overall New HVAC Work - Level 2 B: McLaurin Elementary M-101b Partial New HVAC Work M-102b Partial New HVAC Work B: McLaurin Elementary M-103b Partial New HVAC Work B: McLaurin Elementary M-104b Partial New HVAC Work B: McLaurin Elementary B: McLaurin Elementary M-105b Partial New HVAC Work B: McLaurin Elementary MD001b Overall Mechanical Demolition Plan MD002b Overall Mechanical Demolition Plan B: McLaurin Elementary

Electrical Sheets

 Elevation No. **Building Section**

 Elevation No. Interior Elevation

Column Grid

Door Mark

North Arrow

+ **Spot Elevation**

Room name **Room Name** 1001 and Number View On Sheet

View Name Drawing Title with 1-1/2" = 1'-0" **Drawing Scale** ─ Scale

33 A 4 4 4 4

###

Window Type Concrete

Wall Type

Brick

CMU (Plan)

Plywood

Rigid Insulation Batt Insulation

Finished Wood Existing Wall to be Demolished

Metal Stud Partition

1 Hr Rated Wall Partition (See Floor Plan) 2 Hr Rated Wall Partition (See Floor Plan) 3 Hr Rated Wall Partition (See Floor Plan)

General Abbreviations

AIR CONDITIONING

ACOUSTICAL CEILING TILE EHD ADJUSTABLE **AFF** ABOVE FINISH FLOOR **ALTERNATE** ALUMINUM **ELEV** AND **ANODIZED ELVR APRX APPROXIMATE** EQ **AUDIO VISUAL** EW **AUDIO VISUAL DISPLAY EWF** AVD BD **BOARD** EXH **BUILDING BLOCKING** EXP **BOTTOM OF CURB BOTTOM OF STEEL BOTH WAYS** CABINET **CATCH BASIN** CB **CENTER TO CENTER** CCT CONCRETE COUNTER TOP FFE CG CORNER GUARD FIN CH COAT/CLOTHES HOOK FLG CHM CHAMFER **FLOR** CJ **CONTROL JOINT** FLR CLG CEILING CLO CLOSET CONCRETE MASONRY UNIT **FOM** CO **CLEAN OUT** COLUMN CONC CONCRETE CONT CONTINUOUS CORRIDOR CORR FT CARPET CPT FTG CRASH RAIL **FWC** CERAMIC TILE G CTR CENTERED **CYPRESS** CYP DISPOSAL BAG HOLDER

DBL

DET

DF

DIA

DIAG

DISP

DOUBLE

DIAMETER

DIAGONAL

DIMENSION

DISPENSER

DOWN

EAST

DRINKING FOUNTAIN

DECAY RESISTANT WOOD

DETAIL

EXPANSION JOINT ELECTRICAL ELEVEATION **ELEVATOR EQUAL EACH WAY** ENGINEERED WOOD FLOORING **EXHUAST** EXISTING **EXPANSION EXTERIOR** FINISHED CONCRETE FLOOR FLOOR CLEAN OUT FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FINISH **FLOORING** FLOURESCENT FLOOR FEMININE NAPKIN DISPENSER FACE OF FINISH FACE OF MASONRY FACE OF STUD FIRE PROOF FIBERGLASS REINFORCED PANEL FIRE RETARDENT FOOT/FEET FOOTING FABRIC WALLCOVERING GAS GAUGE GRAB BAR GENERAL CONTRACTOR GCT GRANITE COUNTER TOP GLASS/GLAZING GRANITE TILE GYPSUM DRYWALL GYPSUM HOSE BIB **HOLLOW CORE**

HEAVY DUTY

HEADER

HARDWARE

HDR

HDW

EACH

ELECTRIC DRINKING FOUNTAIN

EXTERIOR INSULATING FINISH SYSTEM

ELECTRIC HAND DRYER

EA

E-XXX Electrical Sheets

INVERT JAN **JANITOR** JENITORS CLOSET **JOIST JOINT** KNOCK DOWN KITCHEN KO KNOCK OUT KICKPLATE LENGTH LABORATORY LADDER LAMINATE LAVATORY LAWP LIQUID APPLIED WATER PROOFING LABEL LINEAR FEET LEFT HAND LINOLEUM LIVE LOAD LAVATORY PIPING PROTECTION LIGHT LTG LIGHTING LUXURY VINYL TILE LIGHTWEIGHT CONCRETE MASONRY MAXIMUM MARKER BOARD MEDICINE CABINET MARBLE COUNTER TOP MECHANICAL MANUFACTURER/MANUFACTURED MEDICAL GAS MINIMUM **MIRROR MISCELLANEOUS**

HEIGHT

HOLLOW METAL

HEATING/VENTILATION/AIR CONDITIONING

HORIZONTAL

HAND RAIL

HEATING

HYDRANT

INSULATION

INTERIOR

MOULDING

MOP RACK

MASONRY OPENING

INT

INSIDE DIAMETER

NATURAL NOT IN CONTRACT NO NOM NOMINAL NOISE REDUCTION COEFFICIENT NOT TO EXCEED NOT TO SCALE OXYGEN **OUTSIDE AIR** ON CENTER ON CENTER EACH WAY OUTSIDE DIAMETER OWNER FURNISHED / CONTRACTOR INSTALLED OPNG OPENING **OPPOSITE** PAINT/PAINTED PARALLEL PARTICLE BOARD PRESSED/PATTERNED CONCRETE FLOOR PLASTIC COUNTER TOP PERF PERFORATED PL PLATE PLAM PLASTIC LAMINATE PLST PLWD PLYWOOD PREFORMED METAL ROOFING PREFORMED METAL SIDING PORCELAIN CERAMIC TILE POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED PAPER TOWEL DISPENSER PARTITION PAPER TOWEL RECPTACLE QUARTZ RESINOUS FLOORING QT **QUARRY TILE** QTR QUARTER

METAL THRESHOLD

MILLWORK

NORTH

RISER

RADIUS

RUBBER

RUBBER BASE

ROOF DRAIN

REFERENCE

REINFORCED CONCRETE PIPE

REVISED RIGHT HAND ROOM ROUND **ROUHG OPENING RIGHT OF WAY ROOF PAVER SYSTEM** RETURN REGISTER SOUTH SOLID CORE SEAT COVER DISPENSER STAINED/SEALED CONCRETE FLOOR SCH SCHEDULE **SOAP DISPENSER** SHT SHEET SHEATHING SIMILAR SCORE JOINT SEAMLESS LIQUID WALL COVERING SANITARY NAPKIN DISPENSER SANITARY NAPKIN DISPOSAL UNIT SANITARY NAPKIN / TAMPON DISPENSER SOUNDPROOF SPACER **SPECIFICATIONS** SPECIMEN PASS THRU CABINET SQUARE SANITARY SEWER SHOWER SOAP DISPENSER STAINLESS STEEL SOUND TRANSMISSION COEFFICIENT STANDARD STD STL STEEL STORAGE STOR SUPPLEMENTAL SHEET VINYL SERVICE SINK

SWR

SHOWER

SWRC SHOWER CURTAIN

TOP & BOTTOM

TOWEL BAR

TONGUE & GROOVE

TO BE DETERMINED

SOUTHERN YELLOW PINE

REFRIDGERATOR

REINFORCED

REQUIRED

TEMPORARY THRESHOLD THICK/THICKNESS TOILET TO MATCH EXISTING TOP OF CURB TOP OF STEEL **TOILET PAPER DISPENSER** TOILET PAPER HOLDER TRANSOM **TELEVISION TYPICAL** UNDERCOUNTER UNLESS NOTED OTHERWISE VAPOR BARRIER VISUAL DISPLAY VISUAL COMMUNICATION BOARD VINYL COMPOSITE TILE VERIFY IN FIELD VINYL TILE VENT THROUGH ROOF VWC VINYL WALL COVERING WOOD BASE WATER CLOSET WOOD COUNTER TOP WOOD BASE WIDTH WINDOW WALL GUARD WATER HEATER WATERPROOFING WATER RESISTANT WSCT WAINSCOT

TO BE REMOVED

TELEPHONE

AN ASSOCIATION

Architects

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District 3t. 20 s Schoochitto MS 39 Adams
10 Homoc Natch

Design Development

Project No 10/12/2022 Rev Date Revision 9/15/22

G - 002

Index & General Project

Information

- 1. Whereever fixture indicated to be replaced, include new finish plumbing and standard accessories including pipe insulation, faucets, flush valves, sealant, etc.
- 2. Notify Architect in writing of any rough in plumbing that is
- not draining properly or supplying water as needed.

 3. Accessories to be replaced only as noted on floor plans.

Provide new any noted on floor plans

Typical Toilet Room Wall 1/2" = 1'-0"

Size varies based on location

Touchless Soap Dispenser (provide based on lavatory count)

Typical for ADA 5' - 0"



Front of School



Typical Toilet Rm Flr



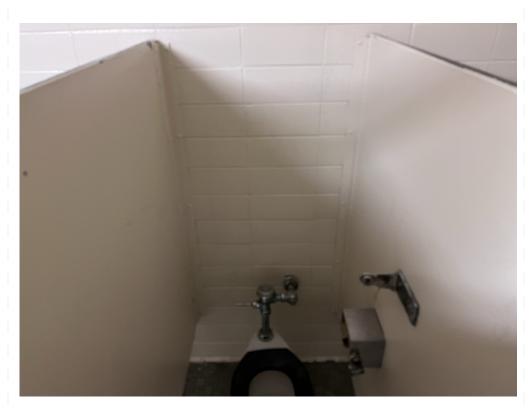
Typical Toilet Lav Wall



Other Cabinet Lavs



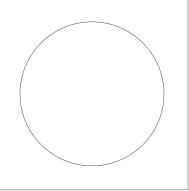
Typical Urinal Style



Typical Toilet Style



Typical Class Sink



Natchez

Design

Development		
Project No	21052	
Date	July 14, 2022	
Drawn	PPu	
Checked	RBI	
Revision	Rev Date	
SD	7/14/22	
DD	9/15/22	

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tric

Natchez

9. Where new wall hung fixtures are installed, install new carriers for fixtures as well as a new 6" metal stud wall with tile at all exposed faces for 18" from center of fixture to edge of wall or into perpendicular abutting wall at either side OR as indicated on drawing.

10. Where fixtures are indicated to be replaced, include new insulation, faucets, flush valves, sealant, etc.

to matching adjacement color.

13. Install moisture resistant back board at all new tile.

Specific Notes

Add Alternate #1

- 1. Paint Toilet Room Interiors (previously painted surfaces,
- walls and Ceilings).

 2. Refinish Toilet Room Doors (all faces).
- 3. Install new hardware at toilet room doors.

Deduct Alternate #2

1. Replace all new CMU Block walls with Plastic Toilet

Deduct Alternate #3

- 1. Make all new Metal Stud walls intended to conceal carriers
- partial neight:
- A. 3'-6" at Lavatories

B. 4'-6" at Urinals C. Cap All partial height walls with cast concrete toppers measuring 1-1/4" in thickness for full length of walls in section measuring a MIN of 4'-0" in length. Grout joints and seal to wall with mastic.

A-401a

Design

Development

July 14, 2022 PPu

7/14/22

9/15/22

Enlarged Bathroom Plans

New Type Tile

Toilets - Library New

Consolidate Plumbing to this area

New Type Tile

F = = = = =

Toilets - Library Existing

identified to remain.

documents. The Contractor is to consider the additional

work required by any discrepancies to be included in this Contract.

3. Burying or Burning of materials will not be permitted on 4. Repair any damage caused to building construction

information as noted. 6. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to

5. Refer to other discipline drawings for additional demolition

7. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.

8. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

finish plumbing and standard accessories including pipe

11. Where new existing pipe is abandoned; cap pipe and paint

12. Install new grab bars at all ADA & AMB toilets

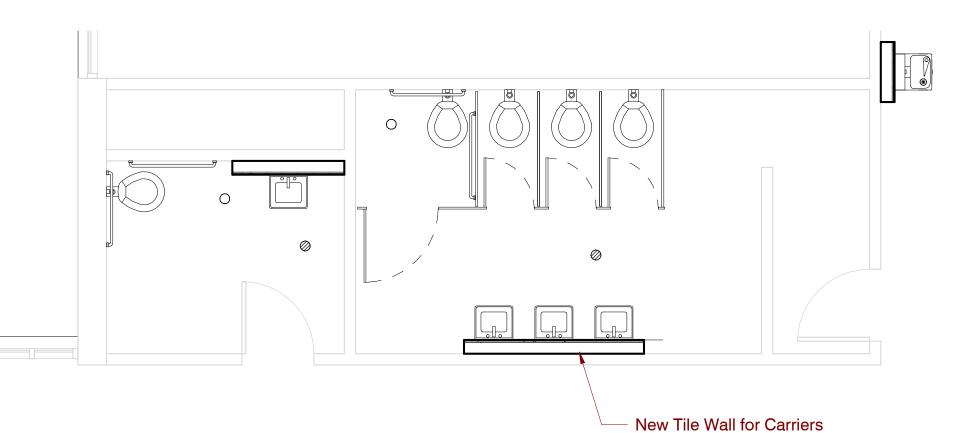
14. Clean and reseal grout at floor tile.



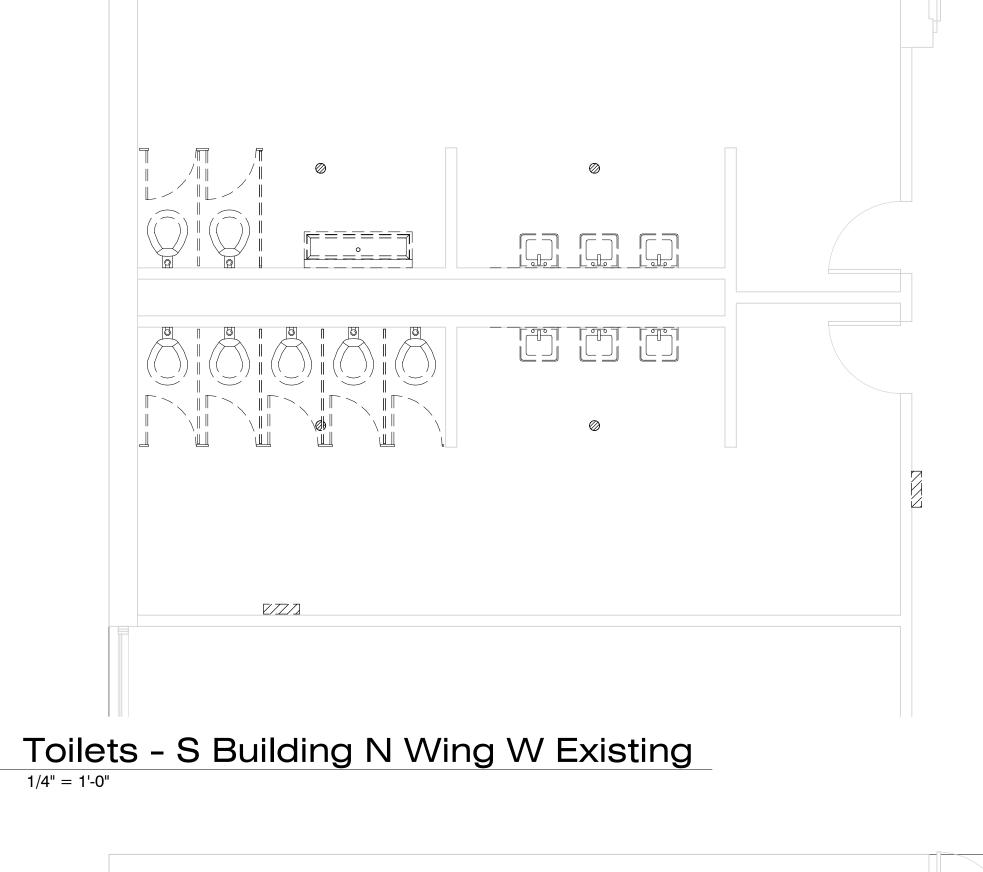
Painted 6" CMU

Painted 6" CMU

Toilets - Cafeteria New



Toilets - S Building N Wing E New



L====

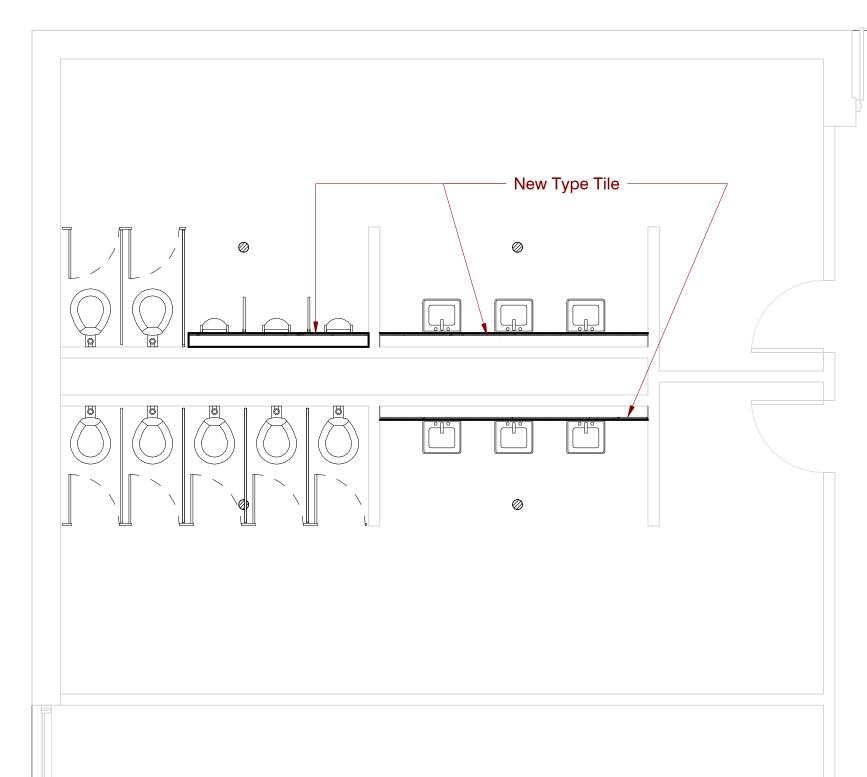
F====

E/Z/2

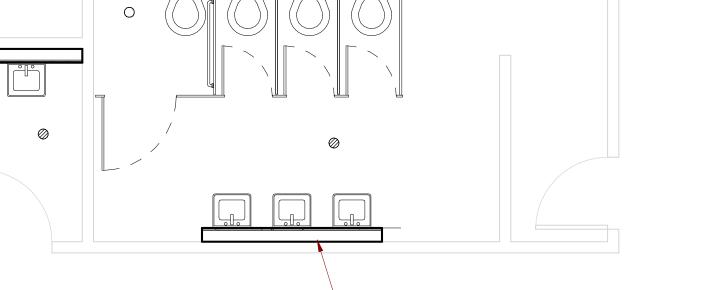
Toilets - Cafeteria Existing

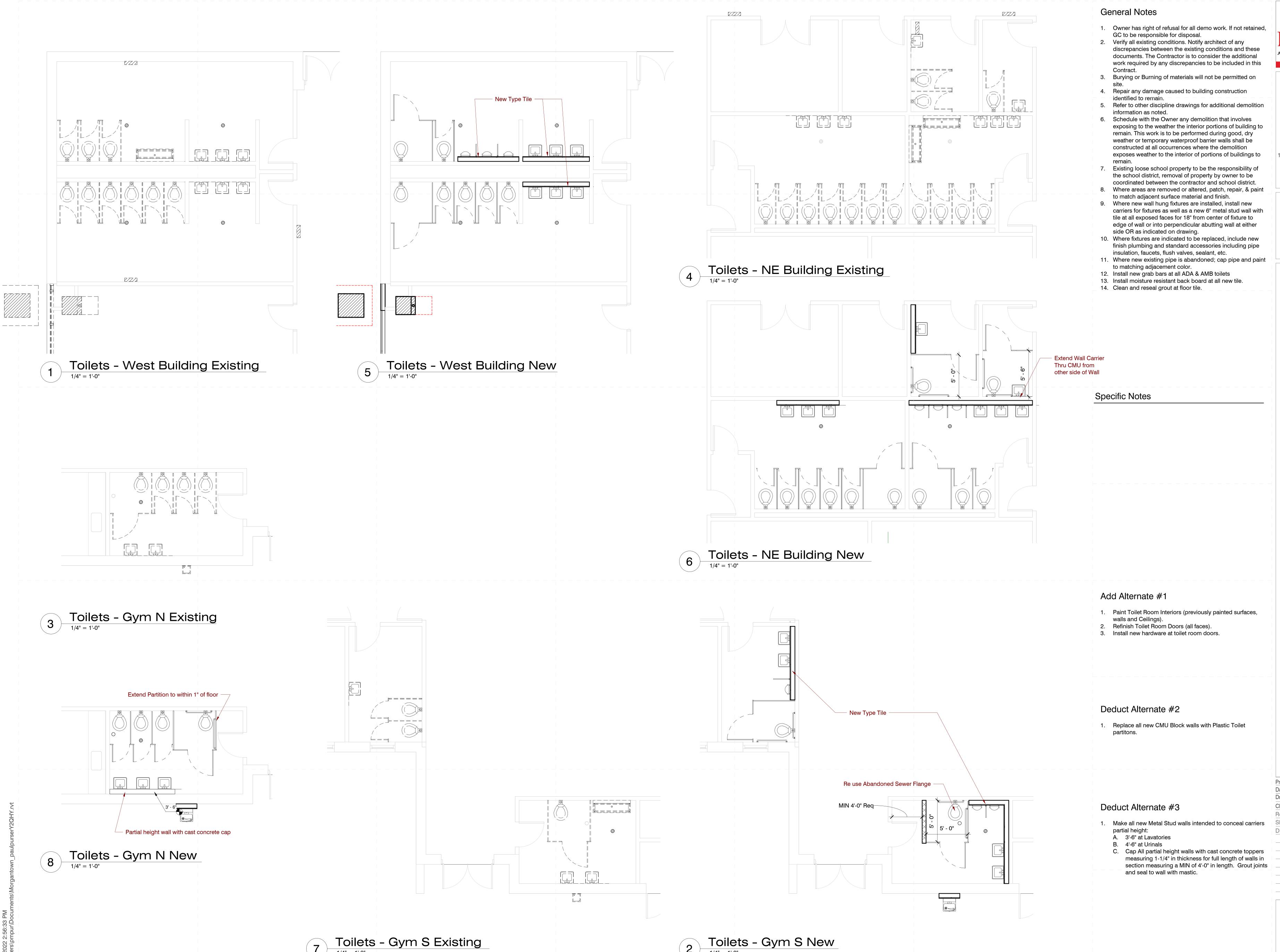
E/Z/2

4x4 Tile to Match



Toilets - S Building N Wing W New





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District

39

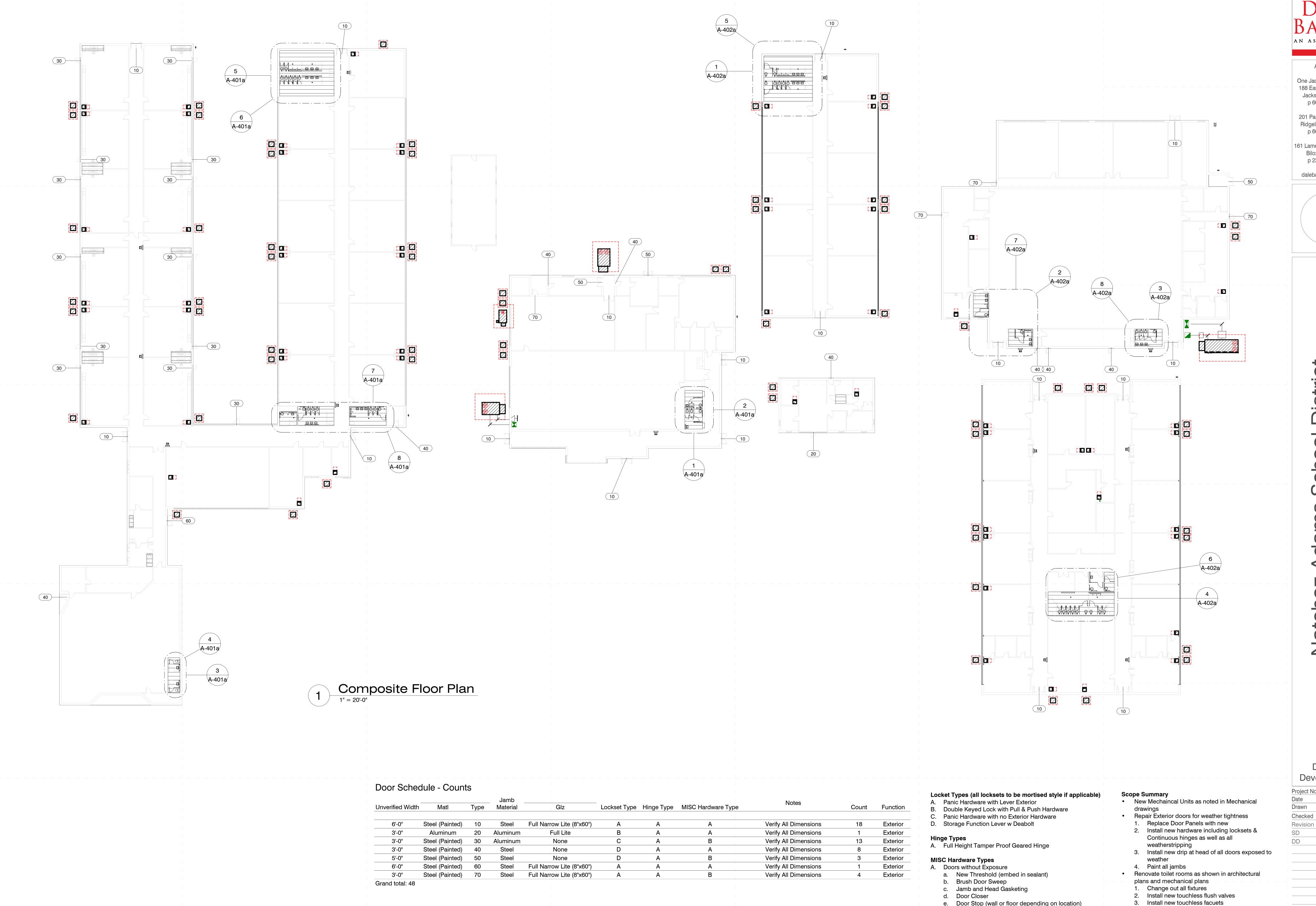
Design Development

Natchez

Development				
Project No	21052			
Date	July 14, 2022			
Drawn	Author			
Checked	Checker			
Revision	Rev Date			
SD	7/14/22			
DD	9/15/22			

A-402a

Enlarged Bathroom Plans



All glazing shall insulated

Repair all steel jambs with exterior rated putty compound

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District

Design

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4. install new toilet partitions 5. Replace Water Fountains with New Bottle A. Provide new 6" Metal Stud Wall with 5/8" concrete backer board & tile behind all water fountains measuring 3' wide and 7'

Filling Stations

B. Doors with Exposure

d. Door Closer

b. Brush Door Sweep

e. Kick Down Holder

c. Jamb and Head Gasketing

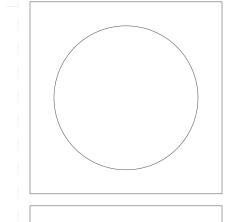
g. Aluminum Drip at Door Head

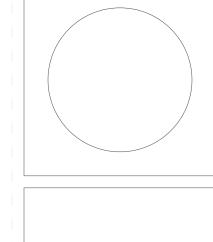
a. New Threshold (embed in sealant)

Door Stop (wall or floor depending on location)

Morgantown Elementary









Project No	210
Date	July 14, 20
Drawn	PP
Checked	RB
Revision	Rev Da
SD	7/14/
DD	9/15/





Front of School



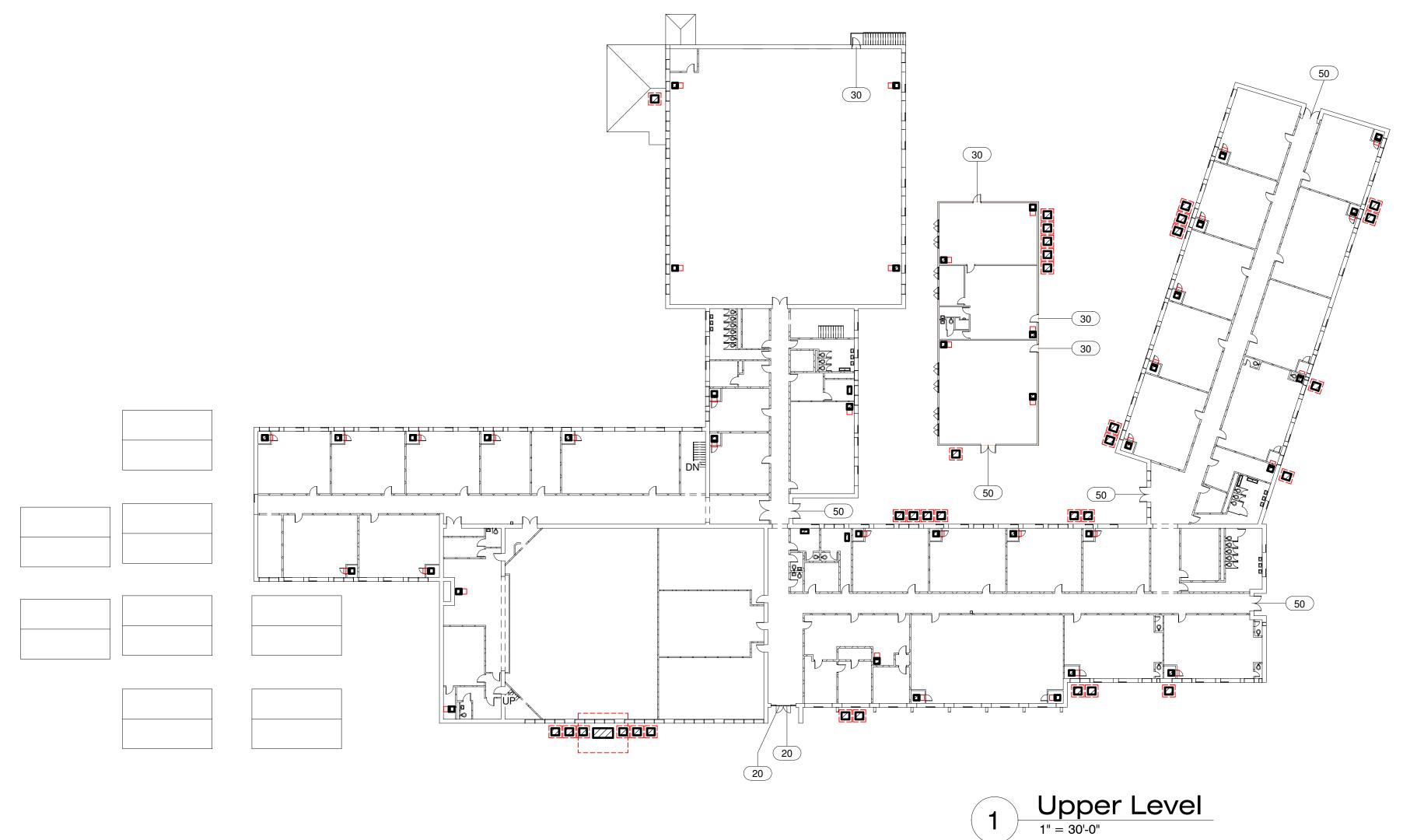
Entry Double Doors to be Replaced

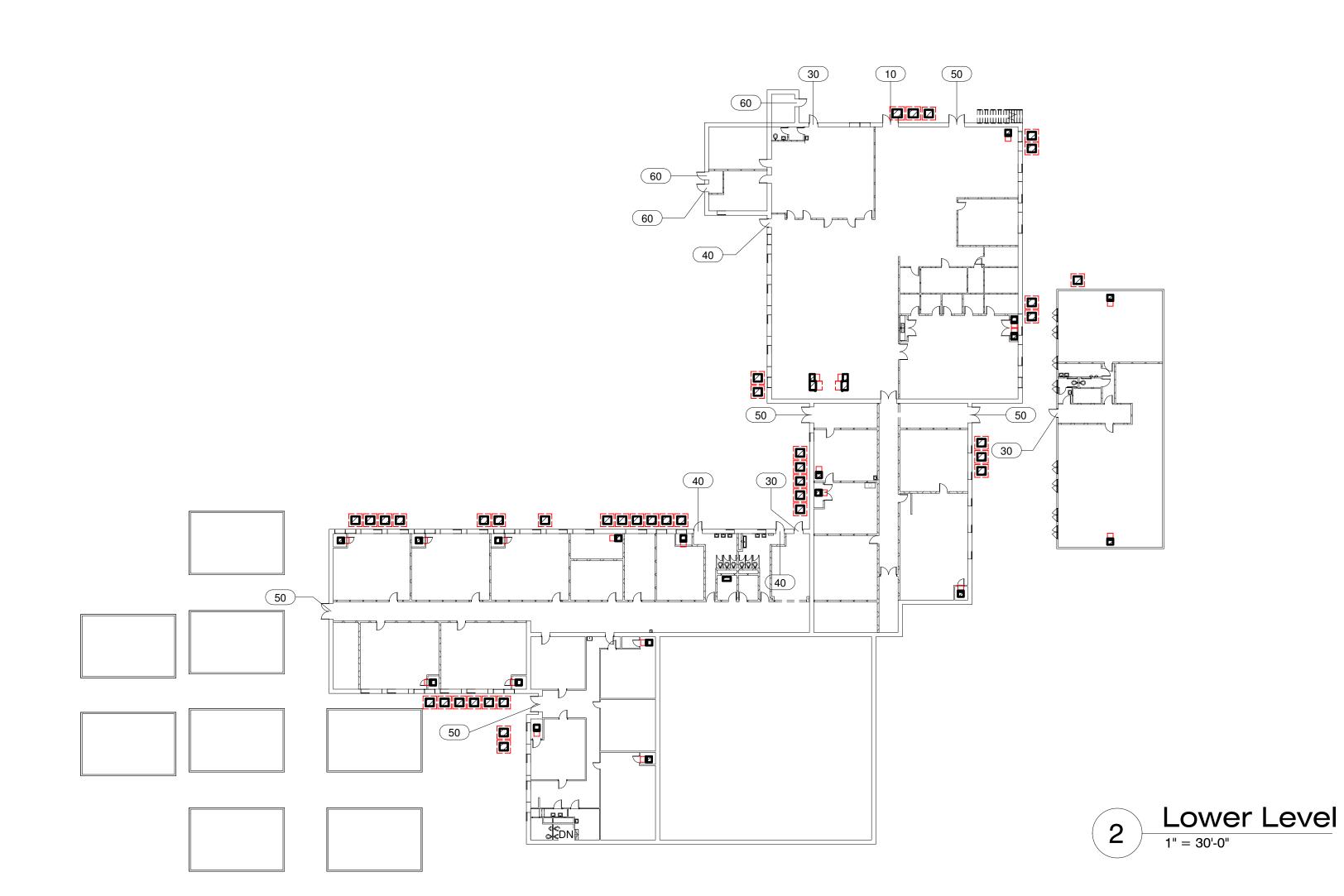


Typical Double Doors to be Replaced

161 Lameuse St. Suite 201

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Door Schedule - Counts

Unverified Width	Matl	Type	Jamb Material	Glz	Lockset Type	Hinge Type	MISC Hardware Type	Notes	Count	Function
6'-0"	Steel (Painted)	10	Steel	None	D	Α	В	Verify All Dimensions; Provide Full Vent @ Panel	1	Exterior
3'-0"	Steel (Painted)	20	Steel	Full Lite	Α	Α	Α	Verify All Dimensions	2	Exterior
3'-0"	Steel (Painted)	30	Steel	Full Narrow Lite (8"x60")	Α	Α	В	Verify All Dimensions	7	Exterior
3'-0"	Steel (Painted)	40	Steel	None	С	Α	В	Verify All Dimensions	3	Exterior
6'-0"	Steel (Painted)	50	Steel	Full Narrow Lite (8"x60")	Α	Α	В	Verify All Dimensions	10	Exterior
3'-0"	Steel (Painted)	60	Steel	None	D	Α	В	Verify All Dimensions; Provide Full Vent @ Panel	3	Exterior

All glazing shall insulated

Repair all steel jambs with exterior rated putty compound

Locket Types (all locksets to be mortised style if applicable)

- A. Panic Hardware with Lever Exterior B. Double Keyed Lock with Pull & Push Hardware
- C. Panic Hardware with no Exterior Hardware
- D. Storage Function Lever w Deabolt

Hinge Types

A. Full Height Tamper Proof Geared Hinge

MISC Hardware Types A. Doors without Exposure

- a. New Threshold (embed in sealant)
- b. Brush Door Sweep c. Jamb and Head Gasketing d. Door Closer
- e. Door Stop (wall or floor depending on location) B. Doors with Exposure
- a. New Threshold (embed in sealant)
- b. Brush Door Sweep
- c. Jamb and Head Gasketing
- d. Door Closer
- e. Kick Down Holder
- f. Door Stop (wall or floor depending on location) g. Aluminum Drip at Door Head

Scope Summary

- New Mechaincal Units as noted in Mechanical
- drawings Repair Exterior doors for weather tightness
- 1. Replace Door Panels with new
- 2. Install new hardware including locksets & Continuous hinges as well as all
- weatherstripping

 3. Install new drip at head of all doors exposed to
- weather
- 4. Paint all jambsRenovate toilet rooms as shown in architectural
- plans and mechanical plans
- Change out all fixtures
- 2. Install new touchless flush valves
- 3. Install new touchless facuets 4. install new toilet partitions
- 5. Replace Water Fountains with New Bottle
 - Filling Stations A. Provide new 6" Metal Stud Wall with 5/8"
 - concrete backer board & tile behind all water fountains measuring 3' wide and 7'



COMPLIANCE.

- CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL NEW AND EXISTING PLUMBING UTILITIES WITHIN THE SCOPE OF WORK. THE USE OF EXISTING DRAWINGS WHERE AVAILABLE AND SCHOOL MAINTENANCE PERSONNEL SHOULD BE UTILIZED IN LOCATING PIPING INSIDE THE BUILDING WHERE CONNECTIONS TO EXISTING ARE REQUIRED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RESEARCH LOCATION OF EXISTING UTILITIES AND EXISTING CONDITIONS.
- IN ALL AREAS OF RENOVATION, UNLESS OTHERWISE INDICATED, EXISTING PLUMBING SERVICES SHALL BE MODIFIED AND EXTENDED IN CHASES, WALLS, BELOW SLAB/FLOOR AND/OR ABOVE CEILING AS REQUIRED TO CONNECT TO NEW PLUMBING FIXTURES AND/OR RECONNECT EXISTING PLUMBING FIXTURES WHERE INDICATED.
- UNLESS OTHERWISE INDICATED, IN MULTI-FIXTURE PLUMBING BATTERIES, OPEN WALL CONNECT TO AND MODIFY EXISTING NEARBY DOMESTIC WATER PIPING AND PROVIDE NEW FULL-SIZE WATER SERVICE PIPING HEADER IN CHASE OR ABOVE CEILING, ETC. WITH BRANCH PIPING CONNECTIONS TO INDIVIDUAL FIXTURES AS INDICATED ON PLUMBING FIXTURE ROUGH-IN SCHEDULE. PROVIDE NEW WATER HAMMER ARRESTORS FOR EACH GROUP OF FIXTURES. PATCH AND REPAIR ALL AREAS AFFECTED AS DIRECTED/APPROVED BY ARCHITECT.
- OPEN WALLS AND MODIFY EXISTING WATER PIPING AS NEW ADA WATER CLOSET INSTALLATIONS WHERE REQUIRED FOR NEW ADA COMPLIANT FLUSH VALVE INSTALLATION. PATCH AND REPAIR ALL AREAS AFFECTED AS DIRECTED/APPROVED BY ARCHITECT.
- UNLESS OTHERWISE INDICATED, ALL NEW WALL MOUNTED FIXTURE (LAVATORIES, URINALS, DRINKING FOUNTAINS, ETC.) SHALL BE PROVIDED WITH NEW FLOOR MOUNTED FIXTURE CARRIERS. OPEN WALLS AS REQUIRED TO INSTALL SAME AND PATCH AND REPAIR ALL AREAS AFFECTED AS DIRECTED/APPROVED BY ARCHITECT.
- UNLESS OTHERWISE INDICATED, CONNECT TO EXISTING PLUMBING VENT THROUGH ROOF, REUTILIZING EXISTING ROOF PENETRATION. FIELD VERIFY LOCATION AND PROVIDE NEW FLASHING, COLLAR, ETC. AS REQUIRED.

GENERAL SITE NOTES:

- 1. PROVIDE ALL WATER, SANITARY AND STORM SEWER, AND NATURAL GAS PIPING SITE UTILITIES AS INDICATED AND SPECIFIED. COORDINATE WITH SERVING UTILITIES TO PROVIDE ALL TAPS AND CONNECTIONS. COORDINATE WITH SERVING UTILITY AUTHORITIES SUCH THAT THE CAPACITY REQUIRED OF THE NEW ADDITIONS OR MODIFICATIONS TO EXISTING CAN BE SUITABLY PROVIDED. ALL FEES, PERMITS, ETC. SHALL BE INCLUDED.
- 2. COORDINATE INSTALLATION OF ALL UTILITIES WITH ENGINEER SUCH THAT BEDDING OF ALL PIPING CAN BE VERIFIED AND ALL PIPING TESTS CAN BE WITNESSED PRIOR TO BACKFILLING. PROVIDE PRIOR ADVANCE NOTICE AS PER SPECIFICATIONS.
- 3. THE ROUTING OF ALL EXISTING PIPING AND HYDRANTS, METERS, ETC., IS ESTIMATED AS TAKEN FROM EXISTING DRAWINGS AND TOPOGRAPHICAL SITE SURVEY PROVIDED BY) VIA ARCHITECT INCLUDED IN CONTRACT DOCUMENTS. THESE LOCATIONS SHALL BE VERIFIED BY UTILIZING AN INDEPENDENT BELOW GRADE LOCATOR SUBCONTRACTOR.
- 4. ALL NEW GAS AND WATER PIPING SHALL HAVE A MINIMUM OF THREE (3) FEET GROUND COVER. DRAINAGE PIPING SHALL HAVE A MINIMUM OF EIGHTEEN (18) INCHES GROUND COVER AS INDICATED ON DRAWINGS.
- 5. THE ROUTING OF ALL UNDERGROUND PIPING SHALL BE OPTIMIZED TO MINIMIZE INTERACTION WITH LOCATION OF SHRUBBERY AND TREES, ETC. TEMPORARILY REMOVE AND THEN REINSTALL SHRUBBERY AND VERY SMALL TREES TO AVOID DAMAGE. THE ROUTING OF THE NEW PIPING SHALL BE OPTIMIZED, WHERE POSSIBLE, TO AVOID ROUTING WITHIN THE DRIP LINE OF THE TREES SHOWN TO REMAIN.
- 6. COORDINATE SANITARY SEWER PIPING ROUTING WITH ARCHITECTURAL/CIVIL DRAINAGE PLANS WHERE SEWER AND STORM DRAINAGE PIPING INTERACT. VERIFY THAT SANITARY SEWER AND STORM DRAINAGE PIPING ELEVATIONS DO NOT CONFLICT. ANY DISCREPANCIES SHALL BE RELAYED TO PROFESSIONAL
- 7. ALL NEW AND RELOCATED EXISTING FIRE HYDRANTS SHALL BE A MINIMUM SIX (6) FEET AWAY FROM DRIVES, ROADWAYS, PARKING LOTS, ETC.

SPECIFICATION DUPLICATION NOTES (DON'T USE WITH WRITTEN SPECIFICATIONS):

- 8. ALL NEW NONMETALLIC PIPING SHALL BE TRACED WITH #12 AWGS BARE COPPER WIRE INSTALLED ON THE TOP OF ALL NEW PIPING AND ATTACHED WITH TIE-WRAPS EVERY FOUR (4) FEET ON CENTER. ALL NEW BURIED NONMETALLIC PIPING SHALL BE ADDITIONALLY TRACED WITH IDENTIFICATION METALLIC BASED TRACER TAPE, COLOR CODED AND LABELED PER FUNCTION AND ANSI STANDARDS AND INSTALLED AT +/-12" BELOW FINISHED GRADE.
- 9. PERMANENT 6" X 18" DEEP CONCRETE MARKERS WITH 4" X 4" BRASS OR STAINLESS STEEL IDENTIFICATION PLATE LABELS SHALL BE INSTALLED FLUSH WITH FINISH GRADE, TO IDENTIFY ROUTING AND LOCATION OF NEW PIPING IN THE FOLLOWING LOCATIONS: A. ALONG STRAIGHT LENGTHS OF PIPING MAINS 100 -0" O.C. B. AT EVERY PIPING MAIN TURN IN DIRECTION
- 10. UPDATE THE CONSTRUCTION DRAWINGS KEPT AT THE JOB SITE TO REFLECT THE ACTUAL CONDITIONS OF THIS INSTALLATION, I.E., LOCATIONS, ROUTING, ETC. PROVIDE AS-BUILT DRAWINGS AT COMPLETION OF PROJECT. ENGINEER TO IDENTIFY SIZE OF PIPE AND FUNCTION. **GENERAL CONSTRUCTION NOTES:**
- 11. ALL NEW PIPE CROSSINGS OF ALL WALKS, DRIVES, ROADWAYS, PARKING AREAS, ETC., SHALL BE COORDINATED WITH AND APPROVED BY ARCHITECT REPRESENTATIVE. SAW CUT CONCRETE AND ASPHALT NEATLY A MINIMUM WIDTH TO INSTALL NEW PIPING. BACKFILL ALL TRENCHES PER SPECIFICATIONS. INCLUDING COMPACTION REQUIREMENTS. PROVIDE MINIMUM 8" THICK 3500# CONCRETE WITH #4 BARS 10" O.C. TO REPAIR ALL CONCRETE DRIVES AND PARKING AREAS. REPAIRS OF PEDESTRIAN CONCRETE WALKS AND ASPHALT PAVING SHALL INCLUDE SIMILAR PREPARATION/SOIL COMPACTION AND MINIMUM 4" SIMILAR (TO EXISTING) REPLACEMENT MATERIAL. REPAIRS SHALL MATCH THE ADJACENT CONSTRUCTION. ALL INTERACTIONS OF DRIVES, WALKS, PARKING LOTS, ETC., SHALL BE MINIMIZED TO ONE (1) DAY TO LIMIT DISRUPTION OF FACILITY ACTIVITIES.

SCOPE OF WORK/PHASING/COORDINATION NOTES:

12. DOMESTIC WATER SERVICE AND FIRE PROTECTION FOR THIS FACILITY SHALL BE MAINTAINED AT ALL TIMES. FIRE MAIN (FIRE PROTECTION) DOWN TIME SHALL BE SCHEDULED AND APPROVED IN ADVANCE WITH THE OWNER'S REPRESENTATIVE AND SHALL BE MINIMIZED TO A LIMITED OF THREE (3) HOURS. IT IS SUGGESTED THAT NEW AND EXISTING FIRE MAINS SHALL BE COINCIDENTALLY OPERATIONAL UNTIL THE COMPLETION OF THE NEW SYSTEM TO MEET THIS GOAL.

LEGEND - HVAC DESCRIPTION TYPICAL SUPPLY AIR DIFFUSER (ARROWS INDICATE AIR FLOW THROW DIRECTION) TYPICAL EXHAUST OR RETURN AIR REGISTER TYPICAL RECTANGULAR TO ROUND DUCT TRANSITION TYPICAL DUCTWORK INCREASER/REDUCER TYPICAL ROUND DUCT BELLMOUTH TAKEOFF ADAPTER WITH VOLUME DAMPER TYPICAL ROUND DUCT BELLMOUTH TAKEOFF ADAPTER TYPICAL RECTANGULAR TO RECTANGULAR TAKEOFF ADAPTER WITH VOLUME DAMPER AND EXTRACTOR TYPICAL ADJUSTABLE LOCKING QUADRANT VOLUME DAMPER MOTORIZED DAMPER S/A WHEN PRINTED IN COLOR, SUPPLY DUCTWORK INDICATED BY BLUE COLOR, RETURN/TRANSFER DUCTWORK INDICATED BY RED COLOR AND EXHAUST DUCTWORK INDICATED BY GREEN COLOR. WHEN PRINTED IN GRAYSCALE, ALL DUCTWORK APPEARS THE SAME AND INDICATION OF DUCTWORK TYPE IS DETERMINED BY EQUIPMENT/GRILLES SERVED (SEE OTHER LEGENDS FOR MORE INFORMATION). RECTANGULAR DUCT WITH SIZE LISTED. THE "x" DENOTES RECTANGULAR DUCT. (THE FIRST NUMBER INDICATES DUCT WIDTH PARALLEL TO VIEW WHILE 24"x14" THE SECOND NUMBER INDICATES DEPTH PERPENDICULAR TO VIEW). SEE PLANS AND SPECIFICATIONS FOR DUCT CONSTRUCTION REQUIREMENTS. ROUND DUCT WITH SIZE LISTED. THE "Ø" DENOTES ROUND DUCT. SEE 18"ø PLANS AND SPECIFICATIONS FOR DUCT CONSTRUCTION REQUIREMENTS. SOCK DUCT WITH SIZE LISTED. THE "ø" DENOTES ROUND DUCT. SEE 18"ø PLANS AND SPECIFICATIONS FOR DUCT CONSTRUCTION REQUIREMENTS. AUTOMATIC HEATING/COOLING CHANGEOVER PROGRAMMABLE THERMOSTAT MOUNTED AT 48" AFF BEHIND CLEAR "BERKO" LOCKING TAMPER RESISTANT COVER MANUFACTURER'S AUTOMATIC CHANGEOVER THERMOSTAT MOUNTED AT 48" AFF HEATING FUNCTION THERMOSTAT MOUNTED AT 84" AFF BEHIND WHITE "KENALL" HIGH HUMIDITY SENSOR MOUNTED AT 84" AFF BEHIND WHITE "KENALL" TAMPER DDC TEMPERATURE SENSOR MOUNTED AT 84" AFF TYPICAL AIR FOIL TURNING VANES

POINT OF CONNECTION TO EXISTING

SUPPLY AIR

RETURN AIR

EXHAUST AIR TRANSFER AIR

SPLITTER DAMPER MOTORIZED DAMPER

GENERAL HVAC NOTES:

IN ALL CASES.

- THESE DRAWINGS ARE SCHEMATIC IN NATURE AND ARE NOT INTENDED TO SHOW ALL POSSIBLE CONDITIONS. IT IS INTENDED THAT THE SPECIFIED HVAC SYSTEM BE PROVIDED COMPLETE WITH ALL NECESSARY EQUIPMENT, APPURTENANCES, AND CONTROLS AND COMPLETELY COORDINATED WITH ALL OTHER CRAFTS AND DISCIPLINES. ALL PARAMETERS GIVEN IN THESE DOCUMENTS SHALL BE IN STRICT CONFORMANCE. ANY ADDITIONAL MATERIALS AND/OR LABOR REQUIRED TO CONFORM WITH ALL APPLICABLE CODES, STANDARDS, AND THESE CONTRACT DOCUMENTS, SHALL BE PROVIDED COMPLETE AND WITHOUT ADDITIONAL COST TO THE CONTRACT.
- 2. THE LOCATION OF ALL AIR DISTRIBUTION DEVICES TO BE COORDINATED WITH THE ARCHITECTURAL REFLECTED CEILING PLANS. COORDINATE LOCATION OF DUCTWORK IN ALL AREAS TO MATCH CEILING GRID/LIGHT FIXTURES WHILE MAXIMIZING CEILING HEIGHT SCHEDULED ON ARCHITECTURAL PLANS.
- 3. THESE DRAWINGS INDICATE THE MOST KNOWN REQUIREMENTS FOR DUCT PENETRATIONS OF FIRE, SMOKE, AND FIRE/SMOKE WALLS AND CEILINGS. PROVIDE THE APPROPRIATE U.L. APPROVED DUCT DAMPER AND ACCESS DOOR FOR EACH REQUIRED INSTALLATION. REVIEW ARCHITECT'S DRAWINGS AND PROVIDE FIRE AND/OR SMOKE DAMPERS, WITH DUCT ACCESS DOORS, IN ALL RATED WALLS AT APPROPRIATE DUCTWORK PENETRATIONS.
- 4. COORDINATE LOCATION OF ALL OUTDOOR AIR INTAKES FOR HVAC SYSTEMS AND MAINTAIN MINIMUM 15'-0" DISTANCE TO FLUES, VENTS, EXHAUST/FANS, ETC.
- SIDEWALL AND DRYWALL CONSTRUCTION AIR DISTRIBUTION DEVICES MOUNTINGS IN SAME ROOM SHALL BE UNIFORM AND SYMMETRICAL AS APPROVED BY ARCHITECT.
- 6. WALL LOUVERS AND BRICK VENTS TO BE OF ALUMINUM CONSTRUCTION AND HAVE FACTORY COLORED FINISH. THE COLOR TO BE SELECTED BY THE ARCHITECT.
- COORDINATE WEIGHTS OF HVAC EQUIPMENT, KITCHEN HOODS, ROOF FANS, SIDE WALL FANS, ETC. WITH ALL TRADES. PROVIDE ALL AUXILIARY SUPPORT STEEL TO SUPPORT ALL EQUIPMENT AND PROVIDE BLOCKING AND SUPPORT FOR SAME, INDICATE ALL SUCH PENETRATIONS AND WEIGHTS ON SHOP DRAWING SUBMITTALS. ALL SOFFIT. EXTERIOR WALL, AND ROOF EQUIPMENT AND LOUVERS SHALL INCLUDE AUXILIARY SUPPORT STEEL FRAMING AROUND PERIMETER OF ALL OPENINGS. PRIME AND PAINT ALL AUXILIARY STEEL MEMBERS UTILIZED EVERYWHERE IN THIS PROJECT
- 8. IT IS ESSENTIAL THAT ALL EXTERIOR WALL DEVICES (FANS, CAPS, BRICK VENTS, ETC.) BE INSTALLED SYMMETRICALLY AND PER ARCHITECT'S PLANS. VERIFY INSTALLATION REQUIREMENTS WITH ARCHITECT
- DUCTWORK AND OTHER MECHANICAL OPENINGS THROUGH MASONRY WALLS SHALL BE REINFORCED/SUPPORTED AS DETAILED ON STRUCTURAL DRAWINGS. COORDINATE THE LOCATIONS AND SIZES OF THESE PENETRATIONS MAKING ALLOWANCES FOR INSULATION. FIRE DAMPERS, PIPING SLEEVES.
- 10. DUCTWORK EXPOSED OUTSIDE (TO WEATHER) SHALL BE COMPREHENSIVELY SEALED AIRTIGHT, INCLUDING ALL CONNECTIONS AND CIRCUMFERENTIAL AND LONGITUDINAL SEAMS, ETC. A RECOMMENDED SEALANT SYSTEM, SUCH AS HARDCAST DT-5300, SHALL BE APPLIED WITH FTO-20 FLEXIBLE ADHESIVE, OR EQUAL. DUCTWORK SHALL BE SUITABLY SUPPORTED WITH HEEL AND WALL GALVALUME/GALVANIZED AUXILIARY SUPPORTS. ENTIRE INSTALLATION SHALL BE NEAT, INCLUDING SEALANT, ALL DUCTWORK SHALL BE ATTACHED TO HVAC UNIT CONNECTIONS WITH WEATHERPROOF FLEXIBLE CONNECTIONS. DUCTWORK AND AUXILIARY SUPPORTS SHALL BE NEATLY PRIMED AND PAINTED.

<u>SPECIFICATION DUPLICATION NOTES (DON'T USE WITH WRITTEN SPECIFICATIONS):</u>

- 11. FLEXIBLE DUCT RUN OUTS TO SUPPLY AND RETURN AIR DISTRIBUTION DEVICES AND AIR TERMINAL UNITS SHALL BE INSTALLED FREE OF KINKS AND SAGS AND SHALL BE A MAXIMUM LENGTH NOT TO EXCEED FIVE (5') FEET. UTILIZE AN ELASTOMERIC SEALANT ON MALE DUCT AND AIR DISTRIBUTION DEVICE ATTACHMENTS.
- 12. PORTIONS OF DUCTWORK VISIBLE THROUGH GRILLES AND REGISTERS IN FINISHED AREAS SHALL BE PAINTED FLAT BLACK.
- 13. VERIFY AVAILABLE SPACE ABOVE CEILINGS AND STRUCTURAL RESTRICTIONS PRIOR TO CONSTRUCTING DUCTWORK OR INSTALLING CONCEALED FOUIPMENT. DUCTWORK SIZE MAY BE ALTERED TO CONFORM TO THESE REQUIREMENTS PROVIDING SIMILAR AIR DELIVERY CHARACTERISTICS AS DEFINED AND APPROVED BY PROFESSIONAL. ALL SUPPLY AND RETURN AIR DUCTS THAT ARE SHOWN TO BE ROUTED CONCEALED ABOVE CEILINGS SHALL BE ROUTED TO AVOID THE BUILDING STRUCTURE AND COORDINATED WITH THE LIGHT FIXTURES, CONDUIT PIPING, ETC. VERIFY AVAILABLE SPACE AND COORDINATE THE SIZE AND ROUTING OF ALL DUCTWORK. IT IS INTENDED THAT DUCTWORK HAVE THE "RIGHT-OF-WAY" ABOVE MOST OTHER CRAFTS AND INSTALLATIONS.
- 14. SEE NOTES. SCHEDULES AND INSTALLATION DETAILS ON DRAWINGS FOR SPECIFICATIONS GOVERNING DUCTWORK SEALANT. DUCTWORK INSTALLATION. SUPPORTS, TAPS, FITTINGS, THE RESTRICTED USE OF FLEXIBLE DUCTWORK AND DUCTWORK LEAK/PRESSURE TESTING.
- 15. INVESTIGATE AND HEED SPECIFICATION REQUIREMENTS FOR FIRE STOP OF PIPING, CONDUIT AND DUCTWORK THROUGH FIRE AND SMOKE-RATED WALLS. SUCH WALLS ARE INDICATED ON MECHANICAL AND/OR ARCHITECTURAL DRAWINGS. PROVIDE SOUND ABSORBENT SEALANT AT ALL SIMILAR PENETRATIONS AT 'SOUND" AND/OR FULL HEIGHT WALLS INDICATED ON ARCHITECTURAL AND/OR MECHANICAL DRAWINGS.
- 16. TEST AND BALANCE ALL NEW AND EXISTING AIR DISTRIBUTION SYSTEM (AND DEVICES) TO AIR QUANTITIES SHOWN ADJACENT TO EACH DEVICE, WITHIN SPECIFIED TOLERANCES. TESTING SHALL BE PERFORMED BY AN AABC OR NEBB ACCREDITED COMPANY.
- 17. ALL BRANCH DUCT OUTLETS TO SUPPLY AND RETURN AIR DISTRIBUTION GRILLES, REGISTERS, AND DIFFUSERS SHALL INCLUDE VOLUME DAMPER AND TYPE BRANCH DUCT ADAPTER/OUTLET INDICATED. ROUND TAPS TO RECTANGULAR TRUNK DUCTS SHALL BE BELLMOUTH OR LATERAL TYPE. NO DOVETAIL <u>FIELD CONNECTIONS ALLOWED</u>, EXCEPT WHERE SPECIFICALLY DETAILED.
- 18. DUCT SIZES INDICATED ARE ACTUAL INSIDE NET DIMENSIONS. ALL RECTANGULAR SUPPLY, RETURN, AND OUTSIDE AIR DUCT SIZES ARE INSIDE CLEAR DIMENSIONS INSIDE ACOUSTICAL LINER, WHERE APPLICABLE.
- 19. PRIOR TO SUBMITTING A BID, VISIT THE SITE OF THE PROPOSED CONSTRUCTION & BECOME THOROUGHLY ACQUAINTED WITH EXISTING CONDITIONS TO BE ENCOUNTERED ETC. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR CONDITIONS WHICH WERE NOT KNOWN OR APPRECIATED WHEN SUBMITTING A BID IF THE CONDITION WAS OBVIOUS AND COULD HAVE BEEN DISCOVERED.
- 20. COORDINATE HVAC UNIT. PIPING AND DUCTWORK INSTALLATIONS AND CONNECTIONS IN MECHANICAL SPACES TO PROVIDE SUITABLE, NEAT INSTALLATION THAT MAXIMIZES HEADROOM AND ACCESS TO EQUIPMENT, CONNECTIONS, VALVES, AIR FILTERS, ETC. ROUTE ALL HVAC, REFRIGERANT AND CONDENSATE DRAIN PIPING NEATLY AWAY FROM EQUIPMENT ACCESS PANELS, ETC. ROUTE TRAPPED AHU CONDENSATE DRAIN FROM EVAPORATOR DRAIN PAN TO DRAIN OUTLET AS INDICATED.
- 21. ROUTING OF ALL DUCTWORK, PIPING, CONTROL CONDUIT, ETC. TO BE COORDINATED WITH LIGHTING FIXTURE LAYOUT IN EXPOSED STRUCTURE AREAS.
- 22. ALL DUCTWORK, PIPING, INSULATION AND HANGERS EXPOSED THROUGHOUT FACILITY TO BE PRIMED AND
- 23. ALL SMALL WALL AND ROOF PENETRATIONS THROUGH METAL BUILDING TYPE CONSTRUCTION SHALL BE COORDINATED SUCH THAT PIPE, ETC., CENTERS THE FLAT AREA BETWEEN RIDGES OF SIDING/ROOFING. AN ELASTOMERIC WEATHER SEALANT SHALL BE UTILIZED TO WEATHER SEAL ALL PENETRATIONS. ALL FLASHING SHALL BE GALVALUME OR HEAVY DUTY ALUMINUM WITH PRIMED FINISH TO MATCH ADJACENT METAL BUILDING PANEL COLOR.

DESCRIPTION

LEGEND - PLUMBING

MPG	NEW MEDIUM PRESSURE GAS PIPING NEW GAS SERVICE PIPING (BY SERVING UTILITY NEW LOW PRESSURE GAS PIPING
 D	NEW CONDENSATE DRAIN PIPING
▼	GAS COCK
	TYPICAL FINISHED GRADE CLEANOUT
A/C	ABOVE CEILING
B/S	BELOW SLAB
B/F	BELOW FLOOR
A/G	ABOVE FINISHED GRADE
B/G	BELOW FINISHED GRADE
I/W	IN WALL
DN.	DOWN
FFCO	FINISHED FLOOR CLEANOUT
FGCO	FINISHED GRADE CLEANOUT
VTR	VENT THRU ROOF
AFF	ABOVE FINISHED FLOOR

CLEANOUT

GENERAL PLUMBING NOTES:

- 1. PROVIDE ALL PLUMBING PIPING, FIXTURES, TRIM, AND ACCESSORIES AS REQUIRED FOR A COMPLETE AND FUNCTIONAL PLUMBING SYSTEM. VERIFY WITH ARCHITECT AND DRAWINGS, WHICH PLUMBING INSTALLATIONS ARE DESIGNATED FOR ADA ACCESSIBILITY. ALL SUCH FIXTURE INSTALLATIONS SHALL INCLUDE ALL INSTALLATION ACCESSORIES. MOUNTING/LIP HEIGHT, CONTROL OFFSET, SIZE AND ACCESSIBILITY AS REQUIRED BY LATEST EDITION OF AMERICANS WITH DISABILITIES ACT (ADA) AND LOCAL GOVERNING AUTHORITIES.
- 2. ALL PLUMBING VENTS, WHERE NOTED VENT UP (V. UP), SHALL BE COMBINED WITHIN WALL OR ABOVE CEILING CONCEALED AREAS. WHERE FEASIBLE. SO AS TO MINIMIZE ROOF PENETRATIONS. COORDINATE LOCATION OF ROOF PLUMBING AND FLUE VENTS SUCH THAT ALL VENTS ARE MINIMUM 15 FEET FROM ANY VENTILATION INTAKE DEVICES. ALL ROOF PENETRATIONS, VENTS, FLUES, ETC., SHALL BE MADE ON BACK SIDE OF ROOF AS CAN BE COORDINATED WITH ARCHITECT. ALL FLUES AND VENTS EXPOSED ABOVE ROOF SHALL BE FIELD PAINTED COLOR BY ARCHITECT.
- 3. ALL PIPING SHALL BE CONCEALED INSIDE WALLS AND PIPE CHASES OR ABOVE CEILINGS, EXCEPT AS OTHERWISE NOTED AND AT APPROPRIATE EQUIPMENT FINAL CONNECTIONS. HOLD ALL PIPING ABOVE CEILINGS AS HIGH AS POSSIBLE AND COORDINATE WITH OTHER CRAFTS.
- 4. COORDINATE ALL WORK WITH ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL TRADES. PIPE ROUTING SHOWN IS DIAGRAMMATIC. PROVIDE ALL OFFSETS, ETC., TO AVOID INTERFERENCES WITH STRUCTURAL MEMBERS, EQUIPMENT, PIPING, DUCTWORK, LIGHTS, CONDUIT, ETC.
- VERIFY/COORDINATE PIPE SIZES AND CONNECTIONS WITH "KITCHEN" AND/OR "PLUMBING FIXTURE ROUGH IN SCHEDULE" FOR WASTE, VENT AND WATER PIPING ROUGH-IN SIZES NOT CLEARLY SHOWN ON PLANS OR IN RISER DIAGRAMS, ETC. CONTACT PROFESSIONAL SHOULD QUESTIONS OR CONFLICTS ARISE. PROVIDE ROUGH-IN, FINAL CONNECTIONS AND INSTALLATION APPURTENANCES AS RECOMMENDED BY APPLIANCE AND/OR EQUIPMENT MANUFACTURER FOR DISHWASHERS, ICE MAKERS, AND MACHINES, WASHERS, DRYERS, ETC. VERIFY LOCATION ON ARCHITECTURAL DRAWINGS AND CONNECTION REQUIREMENTS FROM APPROVED BROCHURES OF THE EQUIPMENT AND/OR APPLIANCES MANUFACTURER.
- 6. COORDINATE SLOPE OF ALL DRAINAGE AND VENT PIPING BELOW GRADE AT INVERT ELEVATIONS INDICATED. CONSISTENTLY SLOPE ALL OTHER PIPING. NOT INDICATED. AS REQUIRED BY PLUMBING CODE APPLICABLE TO THIS PROJECT BUT IN NO CASE LESS THAN 1%.
- 7. ALL VERTICAL RISERS TO FLOOR DRAINS AND FLOOR MOUNTED SINKS SHALL BE MAXIMUM 24" LONG.
- 8. ALL ABOVE GRADE HORIZONTAL DRAINAGE AND VENT PIPING ROUTING SHALL BE COORDINATED WITH OTHER CRAFTS AND STRUCTURAL/ARCHITECTURAL DRAWINGS. CONSISTENTLY SLOPE ALL PIPING, NOT INDICATED WITH ELEVATIONS, AS REQUIRED BY PLUMBING CODE APPLICABLE TO THIS PROJECT BUT IN NO CASE LESS THAN 1%.
- 9. WHEN SLEEVES, PIPES, CONDUITS, ETC. PENETRATE GRADE BEAMS OR TIE BEAMS, INCREASE THE DEPTH OF THE PENETRATED BEAM BY NO LESS THAN TWICE THE DIAMETER OF THE PENETRATION FOR A DISTANCE OF 4'-0" CENTERED ON THE PENETRATION. WHERE THE PENETRATION INTERRUPTS REINFORCING STEEL, AN EQUAL NUMBER OF LIKE SIZE REINFORCING BARS SHALL BE BENT UNDER THE PENETRATION AND LAP SPLICED 30 BAR DIAMETERS ON EACH SIDE. CONCRETE COVER REQUIREMENTS ON ALL SIDES SHALL BE THE SAME AS SHOWN FOR THE UN-MODIFIED GRADE BEAM OR TIE BEAM. SEE STRUCTURAL DRAWINGS FOR FURTHER SPECIFICS, ETC. PROVIDE NEW SCHEDULE 40 PVC PIPE SLEEVE A MIN. TWO SIZES LARGER THAN CARRIER PIPE AT ALL SUCH CROSSINGS. TO EXTEND MIN. 6" PAST FOUNDATION ON BOTH ENDS. PROVIDE OAKUM AND SEALANT IN ANNULAR SPACE OF SLEEVES AND WATER PROOF ON ALL BUILDING PERIMETER AND INTERIOR FOOTING AND GRADE BEAM APPLICATIONS.
- 10. ALL CLEANOUTS IN SANITARY, STORM AND CONDENSATE DRAIN PIPING SHALL BE FULL PIPE SIZE UP TO 4" AND SHALL BE 4" SIZE ON 6" AND LARGER PIPING.
- 11. ROUTE ALL HORIZONTAL INSULATED DOMESTIC WATER PIPING UNDER ATTIC INSULATION WHERE ATTIC INSULATION OCCURS.
- SPECIFICATION DUPLICATION NOTES (DON'T USE WITH WRITTEN SPECIFICATIONS):
- 12. COORDINATE UNDERGROUND PIPING WITH GRADE BEAMS AND WALL FOOTINGS. SLEEVE ALL GRADE BEAMS UTILIZING SLEEVES A MINIMUM 2 SIZES LARGER THAN DRAINAGE PIPING SIZE. SOME SLEEVES MAY NOT BE SHOWN, BUT SLEEVES AT ALL GRADE BEAM HORIZONTAL AND VERTICAL PIPING PENETRATIONS ARE REQUIRED.
- 13. PROVIDE NEAT PIPE SLEEVES AT ALL GAS, WATER, STORM, SANITARY, AND REFRIGERANT PIPING EXTERIOR WALL PENETRATIONS. FILL VOID IN ANNULAR SPACE WITH NEAT ELASTOMERIC SEALANT. BELOW GRADE SLEEVES INTO HABITABLE SPACES SHALL INCLUDE WATER-TIGHT SLEEVES AS 'LINK SEAL'.
- 14. FIRESTOP ALL PIPING AND CONDUIT PENETRATIONS OF FLOORS AND FIRE, SMOKE, OR COMBINATION WALLS/PARTITIONS TO MEET THE LATEST INTERNATIONAL BUILDING CODE REQUIREMENTS. PROVIDE APPROVED SOUND ABSORBENT SEALANT AT ALL SIMILAR PENETRATIONS AT 'SOUND" AND FULL HEIGHT WALLS (SEALED TO UNDERSIDE OF ROOF DECK) INDICATED ON ARCHITECTURAL AND/OR MECHANICAL
- 15. PROVIDE DI-ELECTRIC BUSHINGS IN ALL PIPE SYSTEMS WHERE UNLIKE METALS ARE CONNECTED, I.E., COPPER TO STEEL. PROVIDE STEEL SLEEVES IN ALL FLOORS, WALLS, ROOF DECK, ETC., FOR PIPE PENETRATIONS. SLEEVES SHALL BE OF SUFFICIENT DIAMETER TO ACCOMMODATE PIPE AND INSULATION, WHERE APPROPRIATE. COORDINATE ALL FLOOR PENETRATIONS WITH STRUCTURAL DRAWINGS. SET SLEEVES IN FLOORS AND WALL AND ATTACHMENTS FOR HANGERS AS CONSTRUCTION PROGRESSES. ALL PENETRATIONS MUST BE SEALED AND HELD AS TIGHT TO WALLS AS POSSIBLE.
- 16. PROVIDE 12" X 12" LOCKING PIANO HINGED ACCESS PANELS FOR SHOCK ABSORBERS, TRAP PRIMERS, AND ALL VALVES LOCATED ABOVE NON-ACCESSIBLE CEILINGS AND INSIDE PIPE CHASES. EXACT LOCATION MUST BE COORDINATED WITH ARCHITECTURAL DRAWINGS AND APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- 17. PIPE ALL DRIPS, DRAINS, RELIEFS, ETC. TO THE NEAREST FLOOR DRAIN UNLESS OTHERWISE INDICATED.
- 18. DO NOT RUN PLUMBING PIPING THROUGH OR OVER ELECTRICAL CLOSETS OR WITHIN 3-0" OF ELECTRICAL
- 19. DISINFECT ALL NEW POTABLE WATER PIPING SYSTEMS WITH DOCUMENTATION PER SPECIFICATIONS AND PRIOR TO SWAP OVER OF NEW POTABLE WATER SERVICES.
- 20. PRIOR TO SUBMITTING A BID. VISIT THE SITE OF THE PROPOSED CONSTRUCTION & BECOME THOROUGHLY ACQUAINTED WITH EXISTING CONDITIONS TO BE ENCOUNTERED ETC. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR CONDITIONS WHICH WERE NOT KNOWN OR APPRECIATED WHEN SUBMITTING A BID IF THE CONDITION WAS OBVIOUS AND COULD HAVE BEEN DISCOVERED. THE INTENT IS FOR ALL UTILITIES, WHETHER ACTIVE OR ABANDONED, ROUTED BELOW GRADE IN THE AREA ENCOMPASSED BY THE NEW CONSTRUCTION, TO BE DISCONNECTED, REMOVED & RELOCATED (IF ACTIVE) TO PRESERVE EXISTING LOAD OR CAPACITY. THE LOCATION OF ALL UTILITIES, NEW OR EXISTING, SHALL BE DULY IDENTIFIED AS TO SIZE, MATERIAL, AND FUNCTION OF PIPE, ETC. ON AS-BUILT DRAWINGS.
- 21. WHEN ENCOUNTERED IN WORK AREA, WHETHER OR NOT INDICATED, CAP OR PLUG OR OTHERWISE DISCONTINUE EXISTING INACTIVE SEWER, GAS, WATER, ELECTRIC, OR OTHER UTILITY SERVICE. STRUCTURES; OF WHICH, ACTION SHOULD BE TAKEN. IF REMOVAL IS REQUIRED, REQUEST INSTRUCTIONS FROM ARCHITECT/PROFESSIONAL.
- 22. WHEN ENCOUNTERED IN WORK AREA, WHETHER OR NOT INDICATED, PROTECT EXISTING ACTIVE SEWER, WATER. GAS. ELECTRIC. OTHER UTILITY SERVICES. STRUCTURES: WHERE REQUIRED FOR PROPER EXECUTION OF WORK, RELOCATE THEM AS DIRECTED. IF EXISTING ACTIVE SERVICE ARE NOT INDICATED, CONTACT PROFESSIONAL FOR INSTRUCTIONS.
- 23. ALL NEW HYDRANTS SHUT-OFF VALVE BOX COVERS, GREASE TRAP AND MANHOLE COVERS, AND WATER METER BOX COVER SHALL BE CLEANED, PREPARED, PRIMED, AND FINISHED WITH TWO (2) COATS OF A RUST INHIBITIVE ALKYD ENAMEL, COLOR (S) BY ARCHITECT.
- 24. PROVIDE WATER HAMMER ARRESTORS ON ALL PLUMBING FIXTURES. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

<u>GENERAL MECHANICAL ROOF NOTES:</u>

CONDENSATE DRAIN PIPING INDICATED ON

OTHERWISE.

STRAIGHT RUN PIPE.

DETAIL AND SPECIFICATIONS.

DRAWING SHALL BE 1-1/2" SIZE UNLESS NOTED

PROVIDE FULL PIPE SIZE CLEAN OUT AT EVERY

ALL GAS PIPING TO INDIVIDUAL ROOFTOP UNITS

SHALL BE 3/4" SIZE UNLESS NOTED OTHERWISE.

ALL CONDENSATE AND GAS PIPING SHALL BE SUPPORTED PER ROOFTOP PIPING SUPPORT

CHANGE OF DIRECTION AND EVERY 50' OF

CODE REVIEW

DESIGN CODE 2009 INTERNATIONAL CODE COUNCIL (ICC)

Sheet Number	Sheet Name
M000	General Mechanical Information
MD001a	Morgantown - Overall Mechanical Demolitoin Plan
MD001b	McLaurin - Lower Level - Overall Mechanical Demolitoin Plan
MD002b	McLaurin - Upper Level - Overall Mechanical Demolitoin Plan
M001a	Morgantown - Overall New HVAC Work
M101a	Morgantown - Partial New HVAC Work Plans
M102a	Morgantown - Partial New HVAC Work Plans
M103a	Morgantown - Partial New HVAC Work Plans
M104a	Morgantown - Partial New HVAC Work Plans
M105a	Morgantown - Partial New HVAC Work Plans
M201a	Morgantown - Enlarged Toilets
M202a	Morgantown - Enlarged Toilets
M203a	Morgantown - Enlarged Toilets
M001b	McLaurin Lower Level - Overall New HVAC Work
M002b	McLaurin Upper Level - Overall New HVAC Work
M101b	McLaurin Lower Level - Partial New HVAC Work Plans
M102b	McLaurin Lower Level - Partial New HVAC Work Plans
M103b	McLaurin Upper Level - Partial New HVAC Work Plans
M104b	McLaurin Upper Level - Partial New HVAC Work Plans

McLaurin Upper Level - Partial New HVAC Work Plans

GENERAL HVAC DEMOLITION NOTES: WHERE HVAC EQUIPMENT IS NOTED HEREIN TO

- BE DEMOLISHED. ALSO REMOVE ALL ASSOCIATED DUCTWORK, DIFFUSERS, CONTROLS, WIRING. HANGERS, ACCESSORIES, ETC. UNLESS NOTED OTHERWISE.
- WHERE HVAC EQUIPMENT IS NOTED HEREIN TO BE REPLACED WITH NEW, EXISTING ASSOCIATED DUCTWORK, DIFFUSERS, HANGERS, ACCESSORIES, ETC. SHALL REMAIN.
- WHERE DIRECTED TO CAP SERVICES AS NOTED HEREIN, CAP ALL PIPING ASSOCIATED WITH DEMOLISHED FIXTURE IN WALL, ABOVE CEILING OR BELOW FLOOR AS REQUIRED FOR FINISHED APPEARANCE. DISCONNECT AND REMOVE ALL PIPING NOT UTILIZED IN NEW SCOPE OF WORK.
- . PATCH AND REPAIR ALL AREAS AFFECTED TO MATCH ADJACENT OR AS DIRECTED/APPROVED BY ARCHITECT. THIS SHALL INCLUDE, BUT IS NOT LIMITED TO, WALL REPAIR, CONCRETE REPAIR, PAINTING, ETC. COORDINATE FINISHES WITH ARCHITECTURAL DRAWINGS.
- ALL REMOVED HVAC EQUIPMENT SHALL BE OFFERED TO OWNER. THOSE NOT ACCEPTED BY OWNER SHALL BE DISPOSED OF OFF SITE PER LOCAL CODES AND ORDINANCES. ALL OTHER DEMOLISHED MECHANICALLY RELATED MATERIALS SHALL BE DISPOSED OF SIMILARLY.

GENERAL PLUMBING DEMOLITION NOTES:

- WHERE PLUMBING FIXTURES ARE NOTED HEREIN TO BE DEMOLISHED, ALSO REMOVE ALL ASSOCIATED PIPING, ACCESSORIES, TRIM, HANGERS, ETC. UNLESS NOTED OTHERWISE.
- WHERE PLUMBING FIXTURES ARE NOTED HEREIN TO BE REPLACED. EXISTING ASSOCIATED PIPING. ACCESSORIES, ETC. SHALL REMAIN.
- . WHERE DIRECTED TO CAP SERVICES AS NOTED HEREIN, CAP ALL PIPING ASSOCIATED WITH DEMOLISHED FIXTURE IN WALL, ABOVE CEILING OR BELOW FLOOR AS REQUIRED FOR FINISHED APPEARANCE. DISCONNECT AND REMOVE ALL PIPING NOT UTILIZED IN NEW SCOPE OF WORK.
- PATCH AND REPAIR ALL AREAS AFFECTED TO MATCH ADJACENT OR AS DIRECTED/APPROVED BY ARCHITECT. THIS SHALL INCLUDE, BUT IS NOT LIMITED TO. WALL REPAIR. CONCRETE REPAIR. PAINTING, ETC. COORDINATE FINISHES WITH ARCHITECTURAL DRAWINGS.
- FIXTURES SHALL BE OFFERED TO OWNER. THOSE NOT ACCEPTED BY OWNER SHALL BE DISPOSED OF OFF SITE PER LOCAL CODES AND ORDINANCES. ALL OTHER DEMOLISHED MECHANICALLY RELATED MATERIALS SHALL BE DISPOSED OF SIMILARLY.

ALL REMOVED PLUMBING EQUIPMENT AND

- . PIPING LOCATED IN WALLS TO REMAIN, OR BELOW SLAB/FLOOR, THAT DOES NOT CONFLICT WITH NEW WORK, MAY REMAIN AND BE CAPPED FOR CONCEALMENT AND DISCONNECTED FROM ACTIVE SERVICE, ETC.
- PROVIDE ANY TEMPORARY CONNECTIONS REQUIRED TO MAINTAIN PLUMBING SERVICES TO NEW AND EXISTING FIXTURES AND INSTALLATIONS BEING UTILIZED OUTSIDE THE AREA BEING RENOVATED.

PHASED CONSTRUCTION AND PARTIAL OWNER OCCUPANCY

ENVIRONMENTAL CONDITIONING.

- OWNER WILL OCCUPY THE PREMISES DURING ENTIRE CONSTRUCTION PERIOD, WITH THE EXCEPTION OF AREAS UNDER CONSTRUCTION. CONTRACTOR SHALL COOPERATE WITH OWNER DURING CONSTRUCTION OPERATIONS TO MINIMIZE CONFLICTS AND FACILITATE OWNER USAGE. PERFORM THE WORK SO AS NOT TO INTERFERE WITH OWNER'S OPERATIONS.
- WHERE HVAC IS IMPACTED BY SCOPE OF WORK, CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TEMPERATURE AND HUMIDITY LEVELS AS INDICATED IN SPECIFICATIONS PARAGRAPH TEMPORARY
- IN GENERAL, EXISTING HVAC EQUIPMENT SHALL REMAIN ACTIVE UNTIL NEW EQUIPMENT IS FULLY OPERATIONAL OR TEMPORARY HVAC EQUIPMENT SHALL BE INSTALLED SUCH THAT TEMPERATURE AND HUMIDITY LEVELS ARE MAINTAINED AT ALL TIMES.

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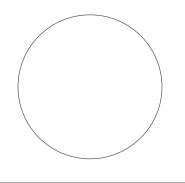
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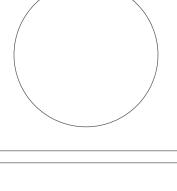
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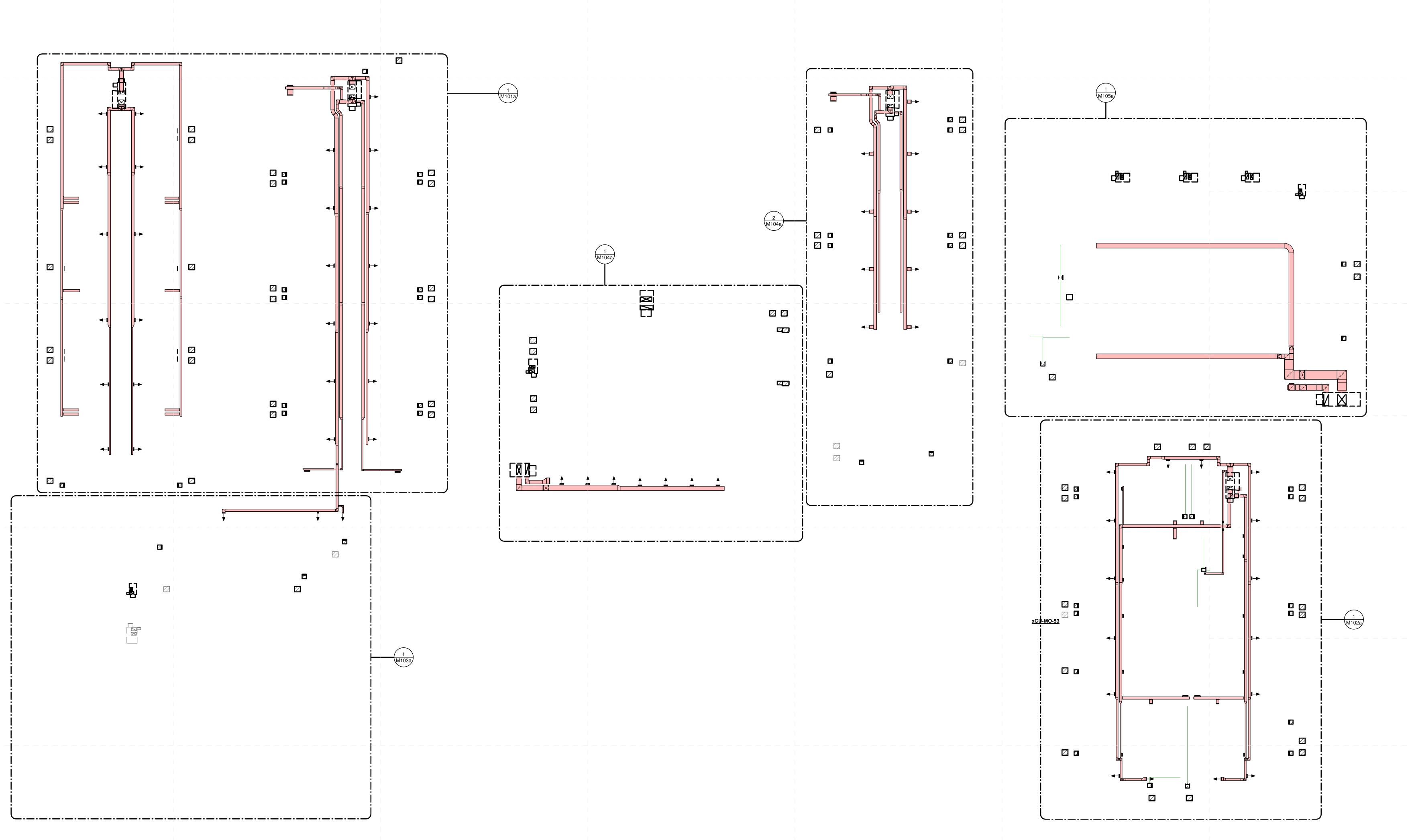
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Morgantown - Overall Mechanical New Work Plan

| Moola | 1" = 20'-0"

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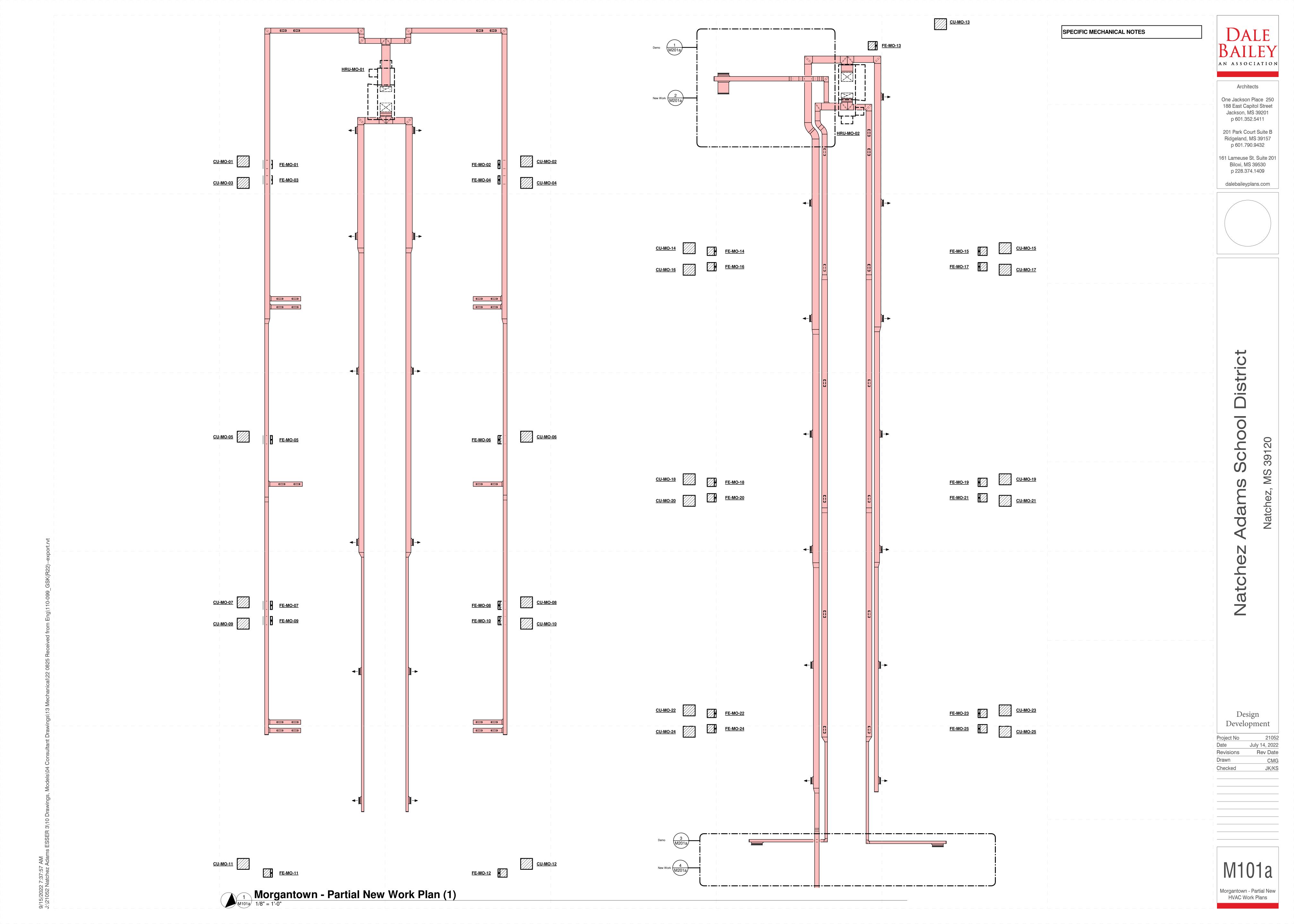
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M001a Morgantown - Overall New HVAC Work



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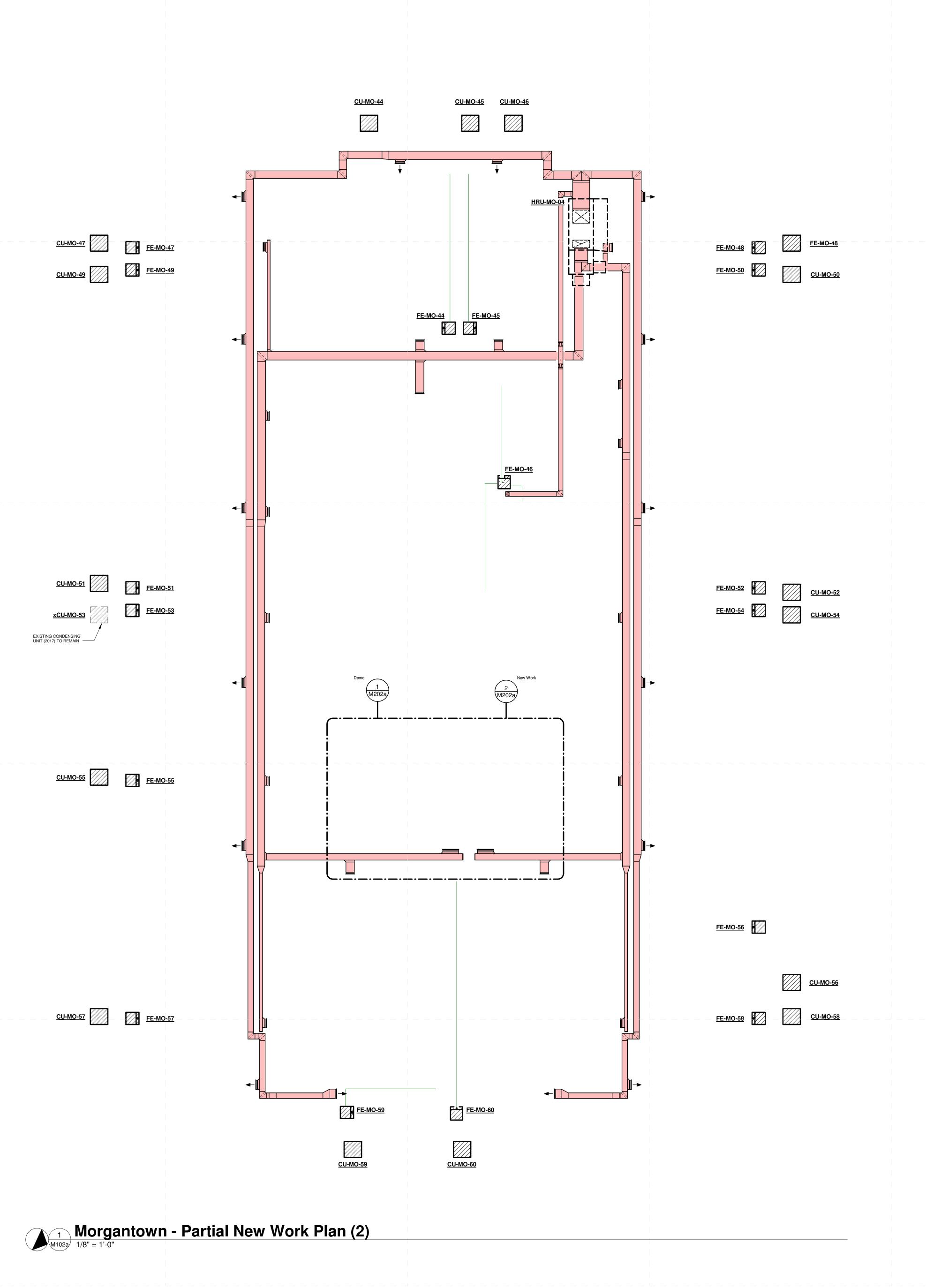
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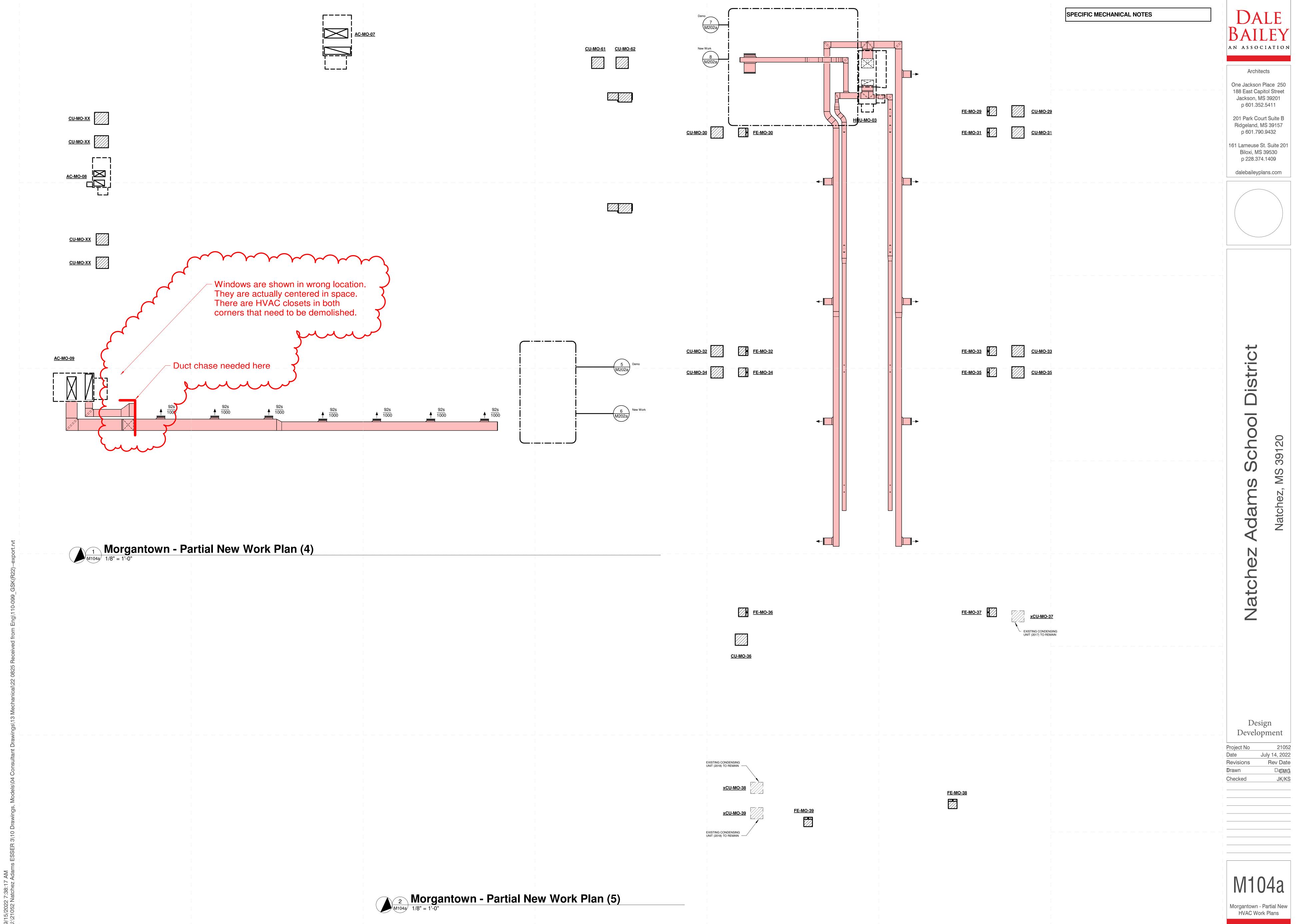
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Project No	2105
Date	July 14, 2022
Revisions	Rev Date
Drawn	CMC
Checked	JK/KS

Morgantown - Partial New HVAC Work Plans





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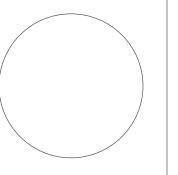
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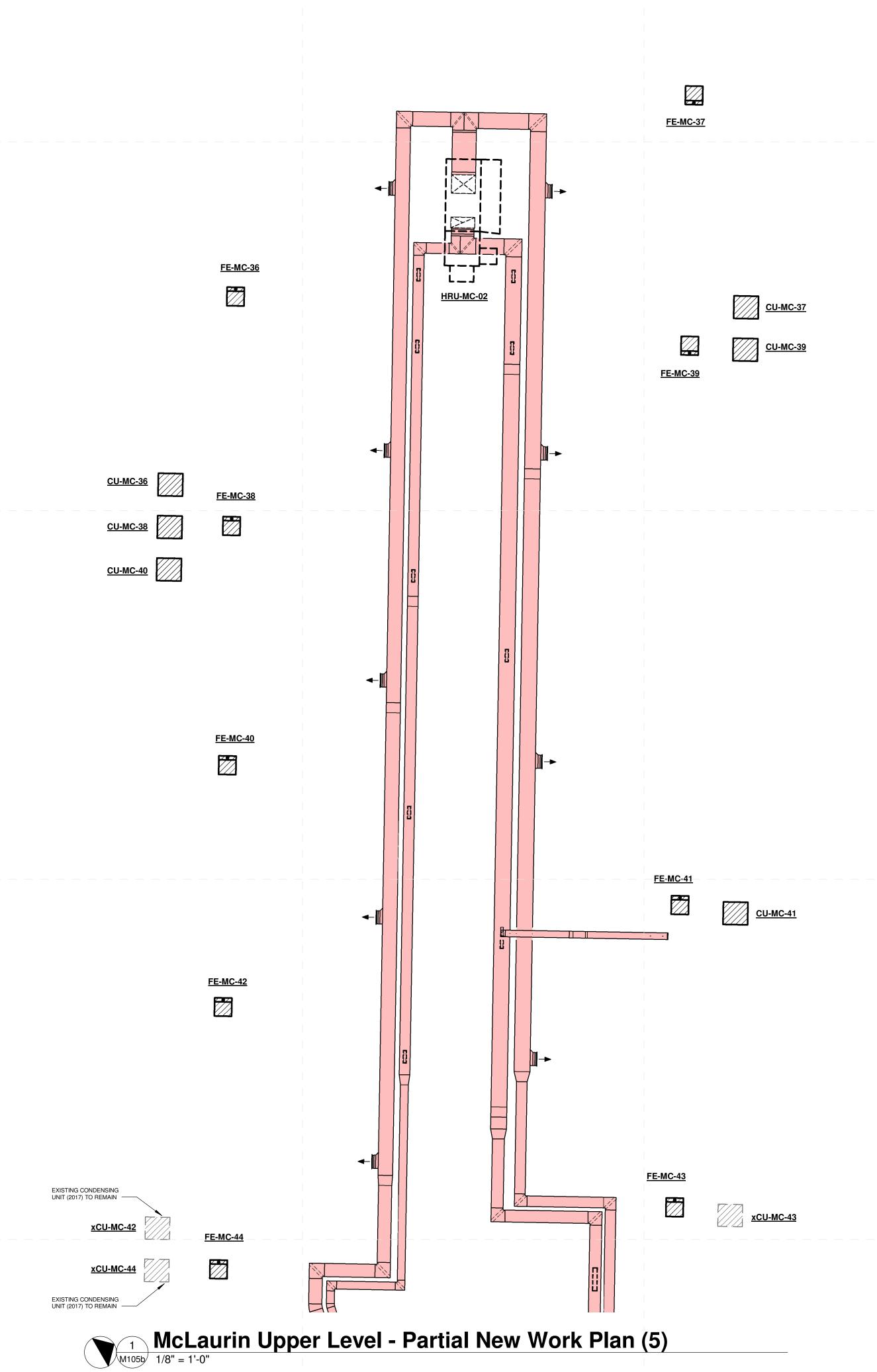


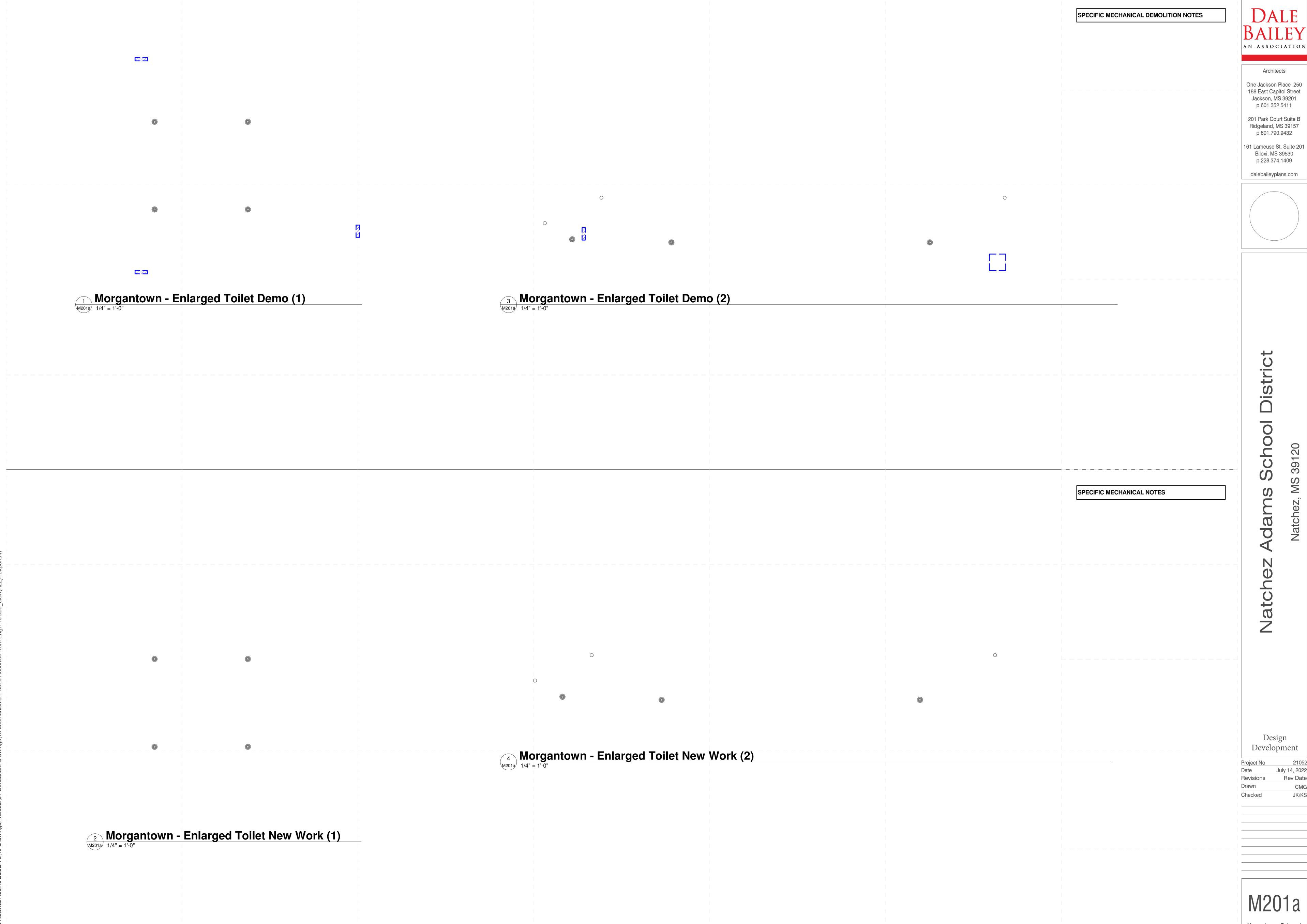
ez Adams School District

Design Development

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Project No	21052
Date	July 14, 2022
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Drawn	CMG
Checked	JK/KS

McLaurin Upper Level -Partial New HVAC Work Plans

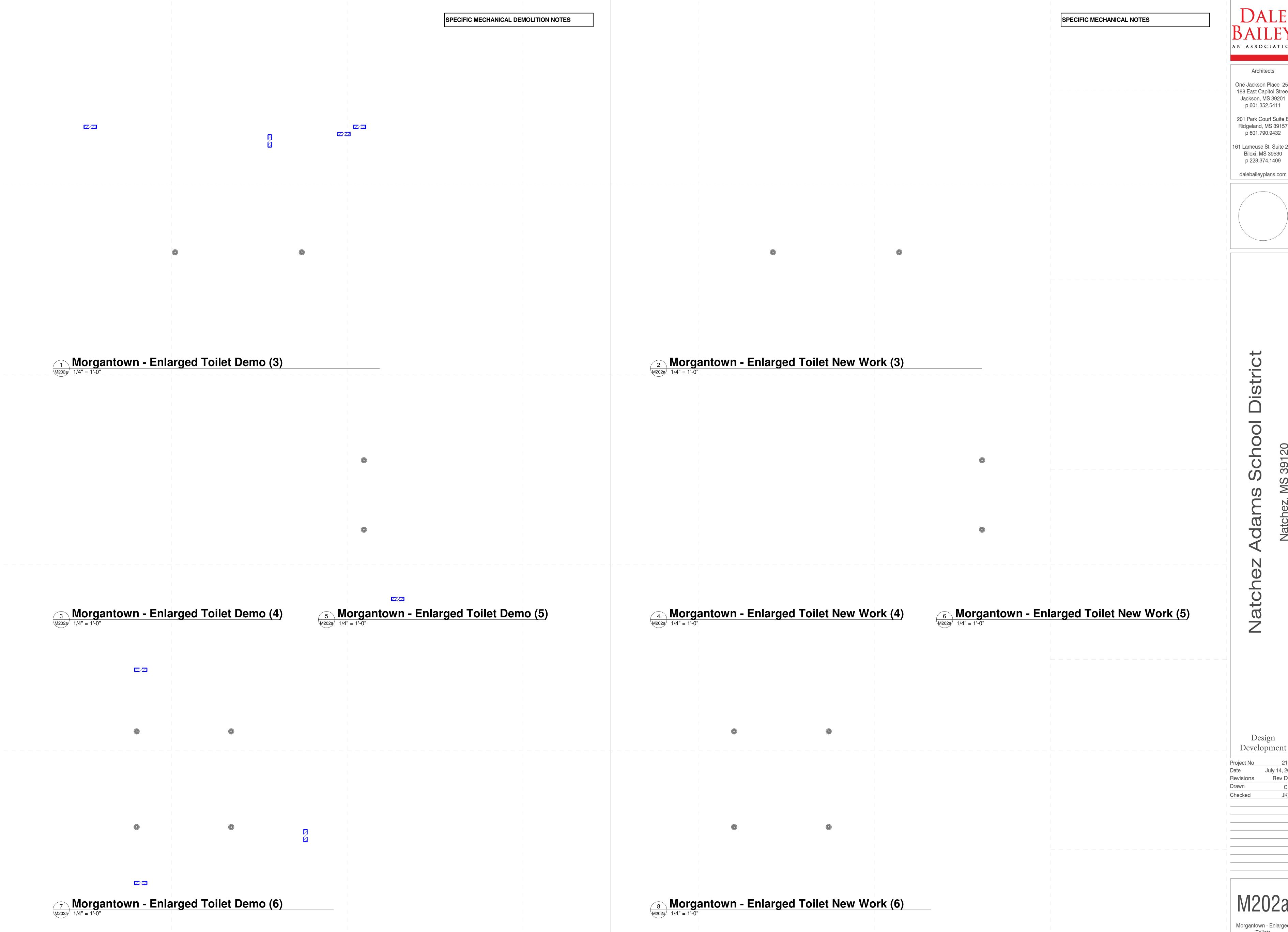




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M201a Morgantown - Enlarged Toilets



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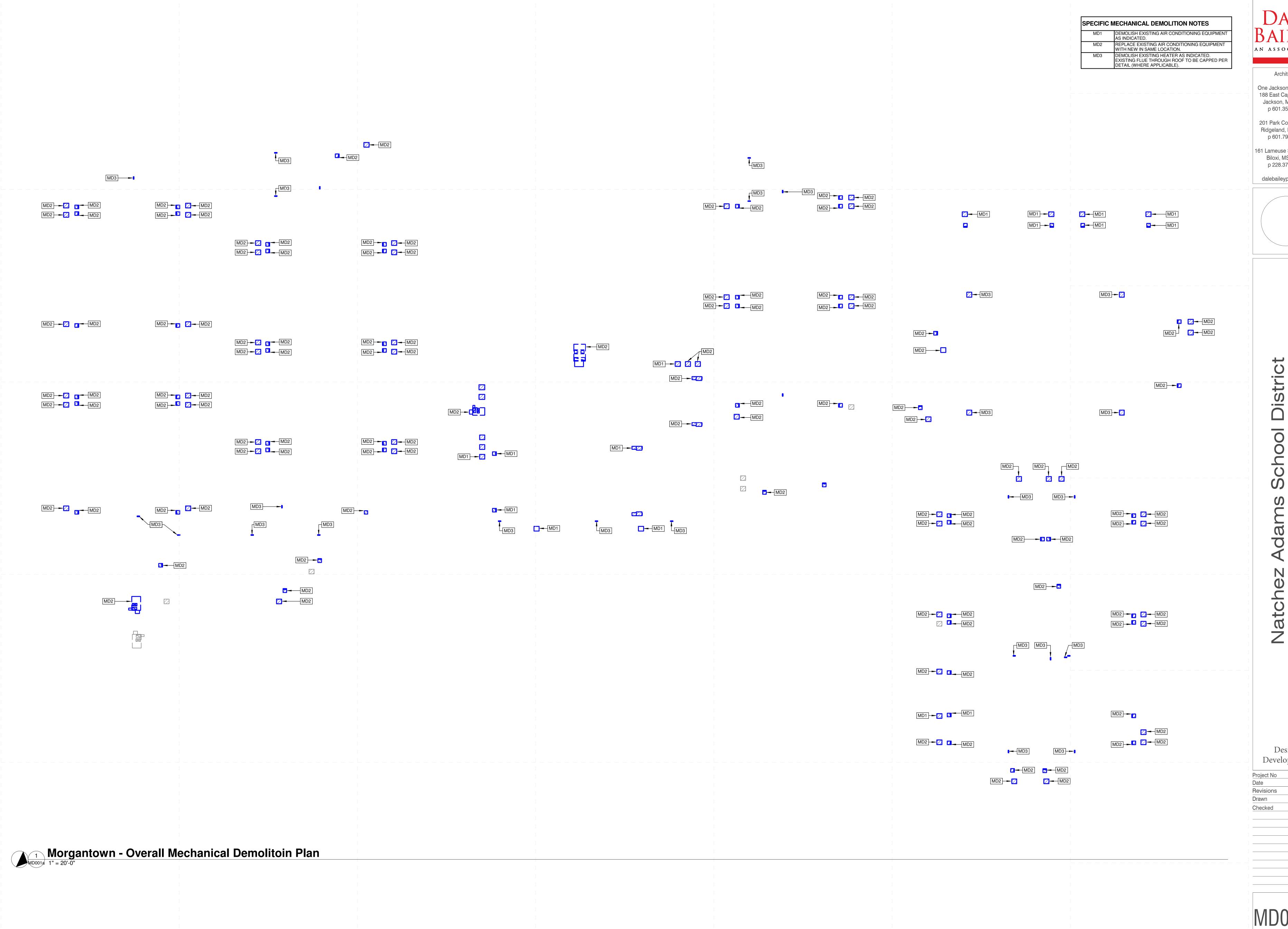
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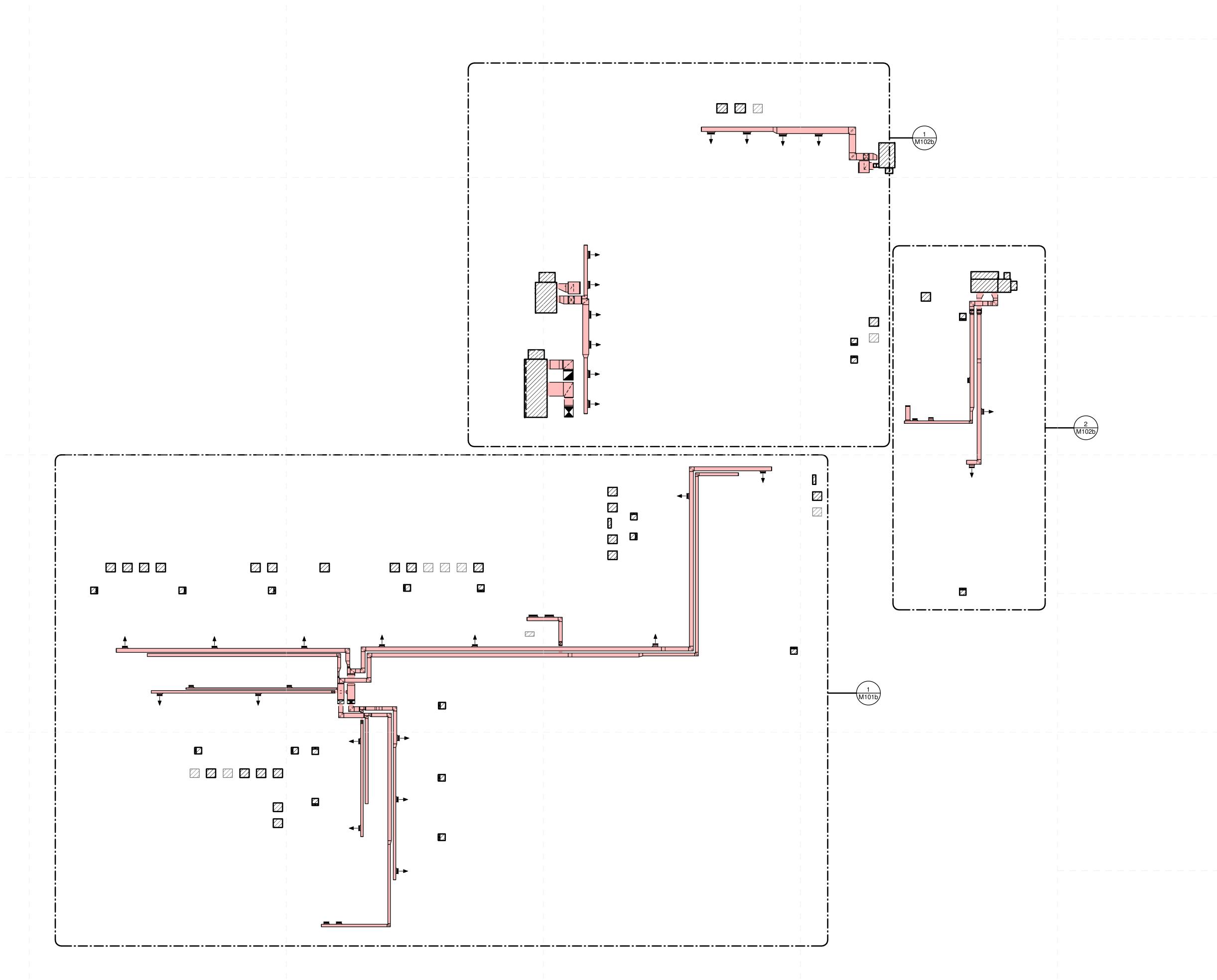
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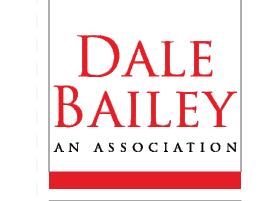
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McLaurin Lower Level - Overall Mechanical New Work Plan

| Mootb | 1/16" = 1'-0"



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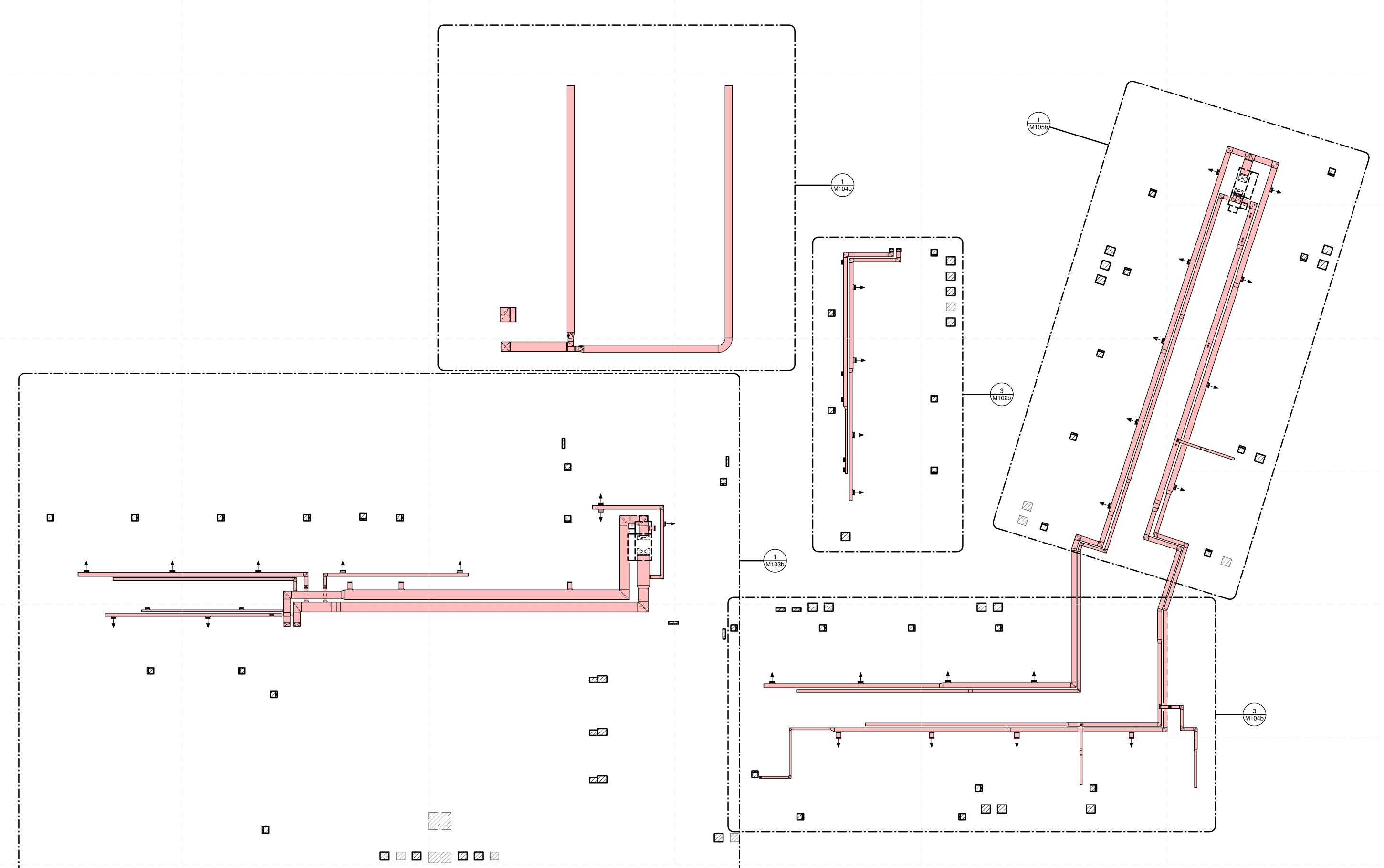
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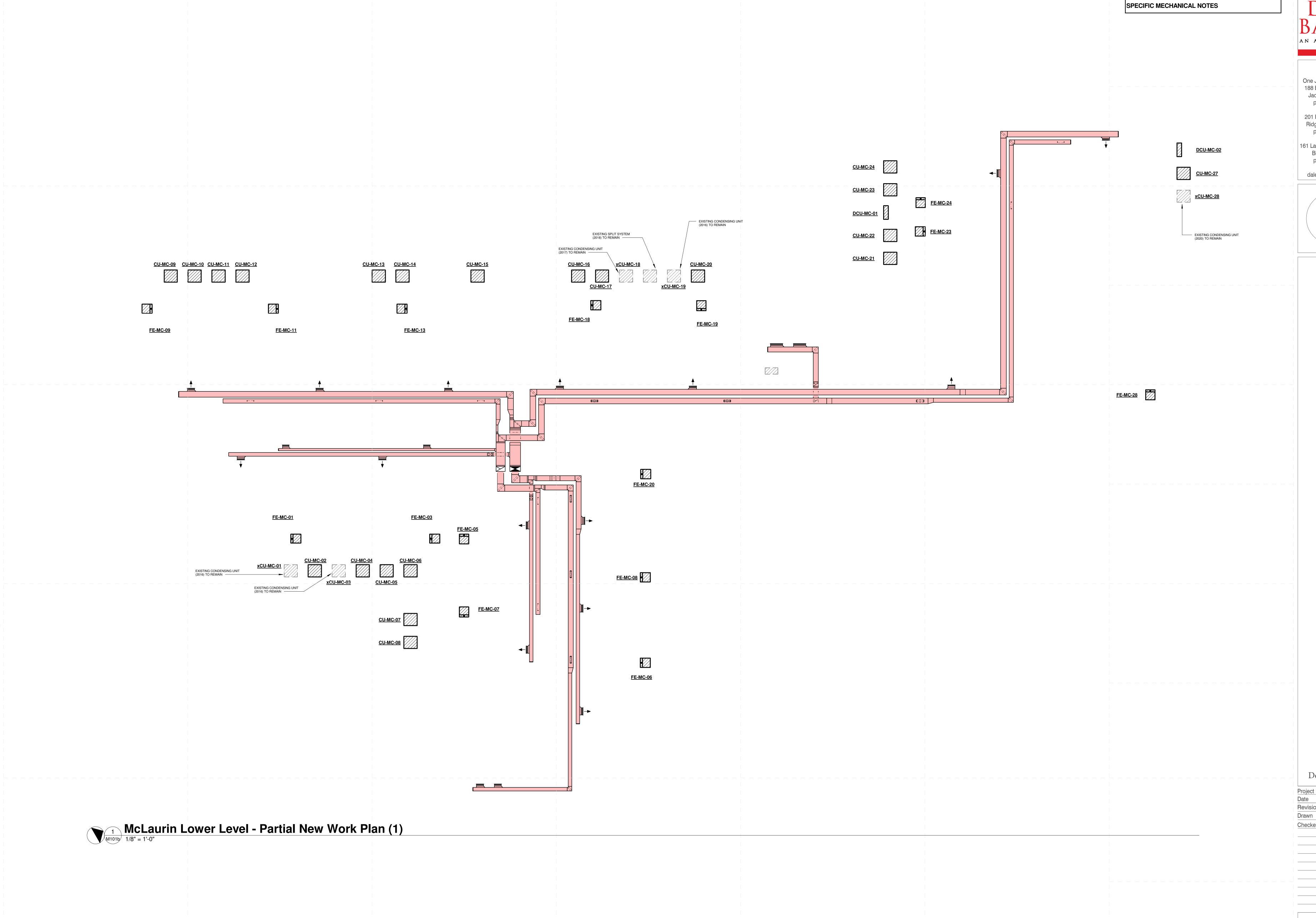
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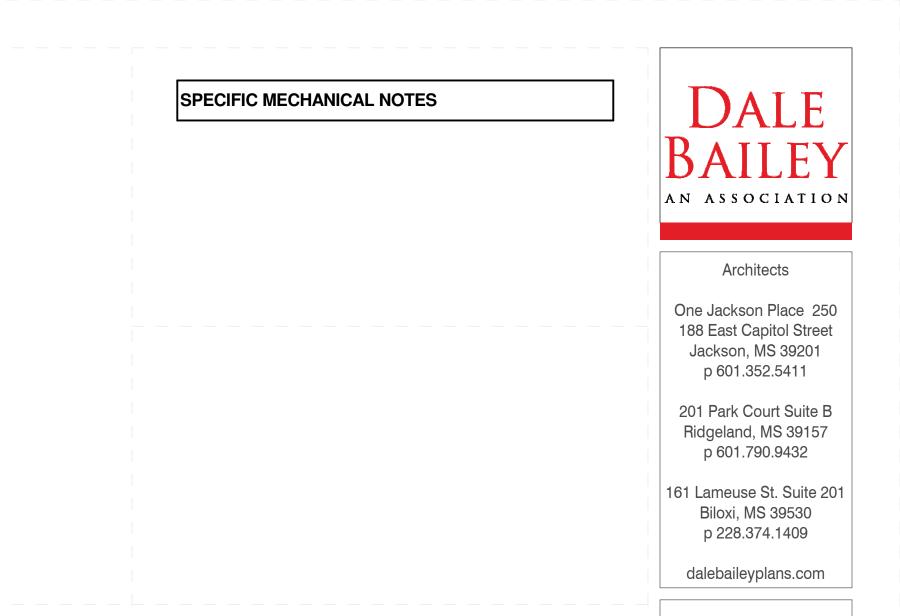
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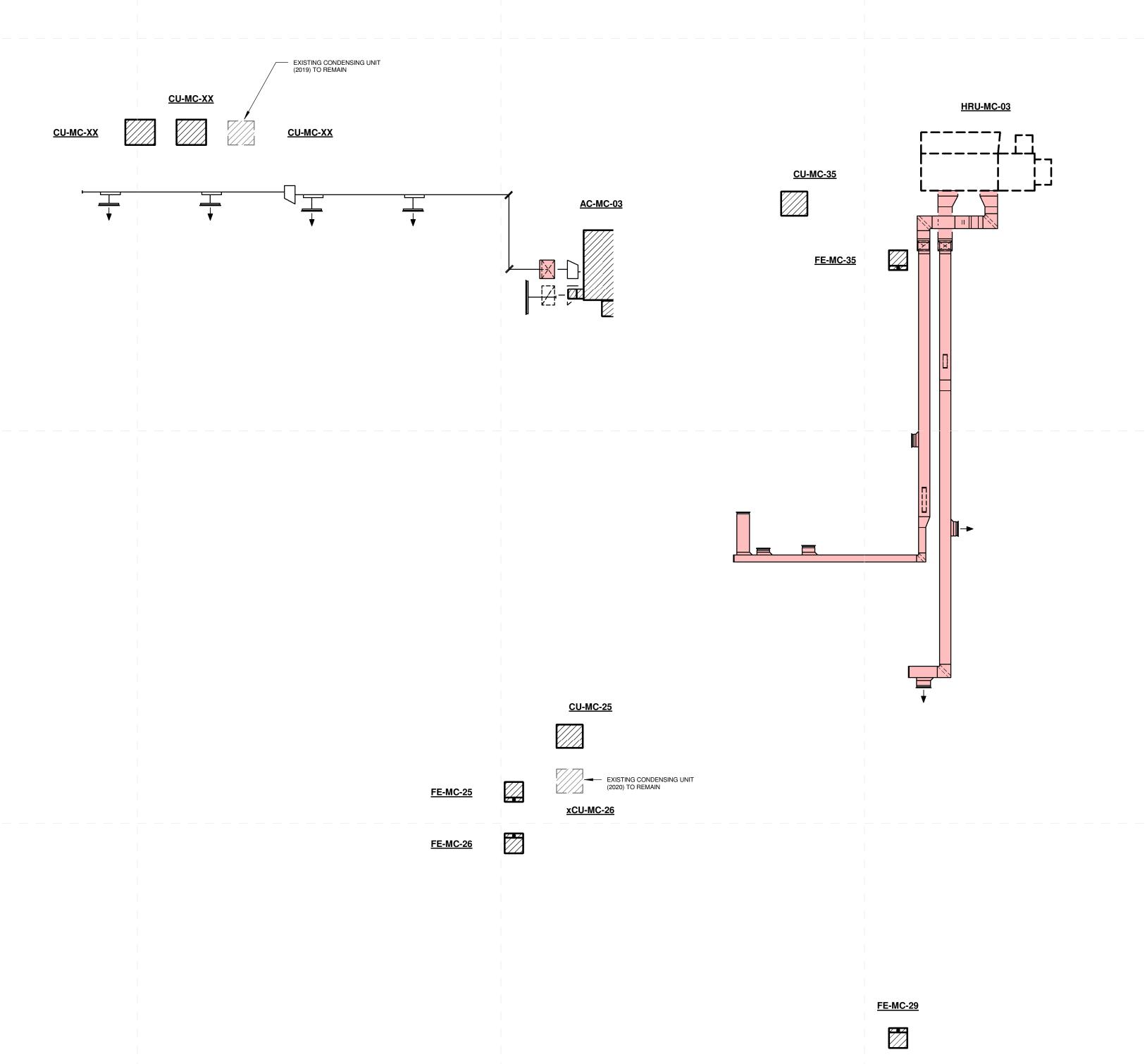
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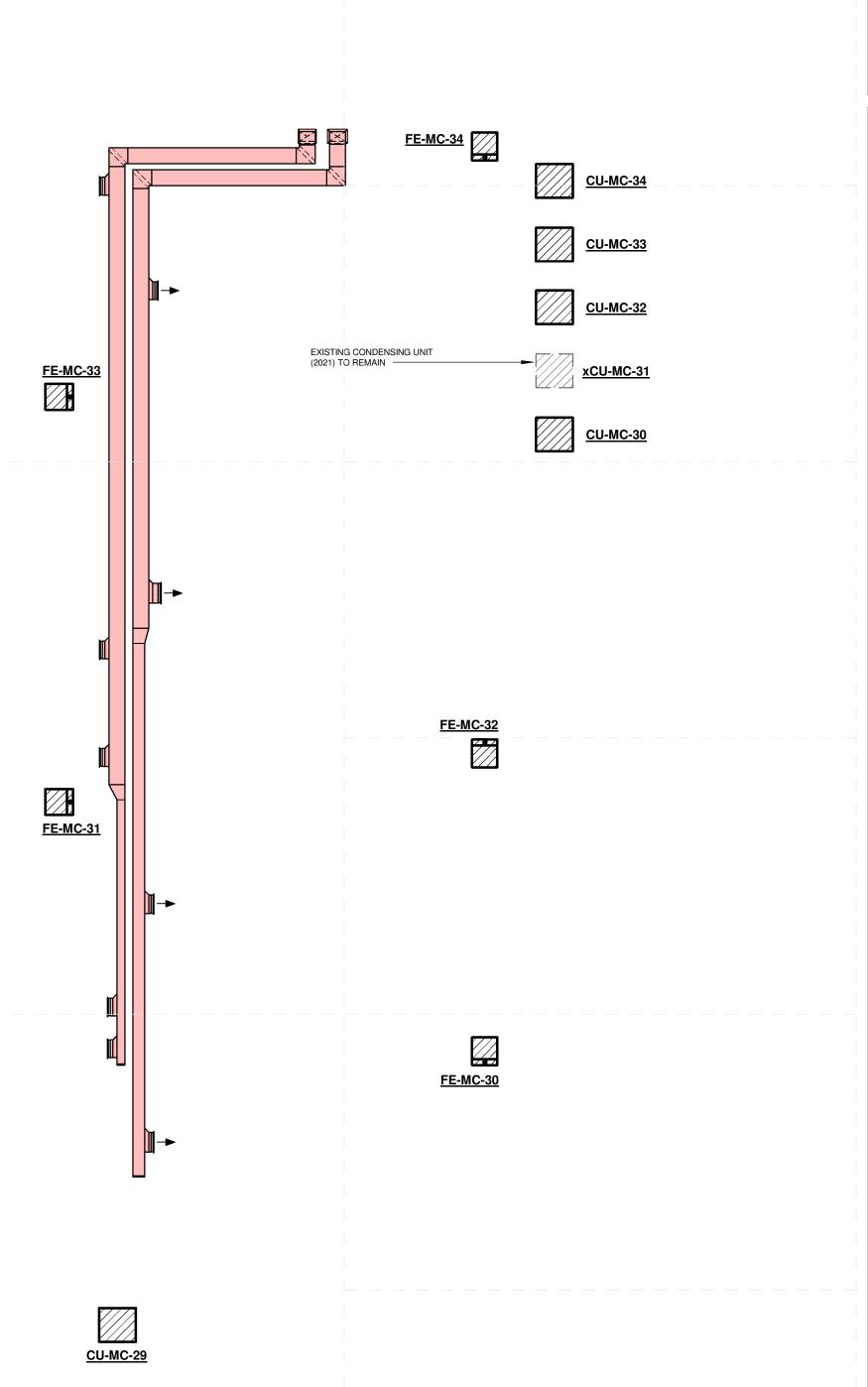
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McLaurin Lower Level - Partial New Work Plan (3)

McLaurin Upper Level - Partial New Work Plan (3)

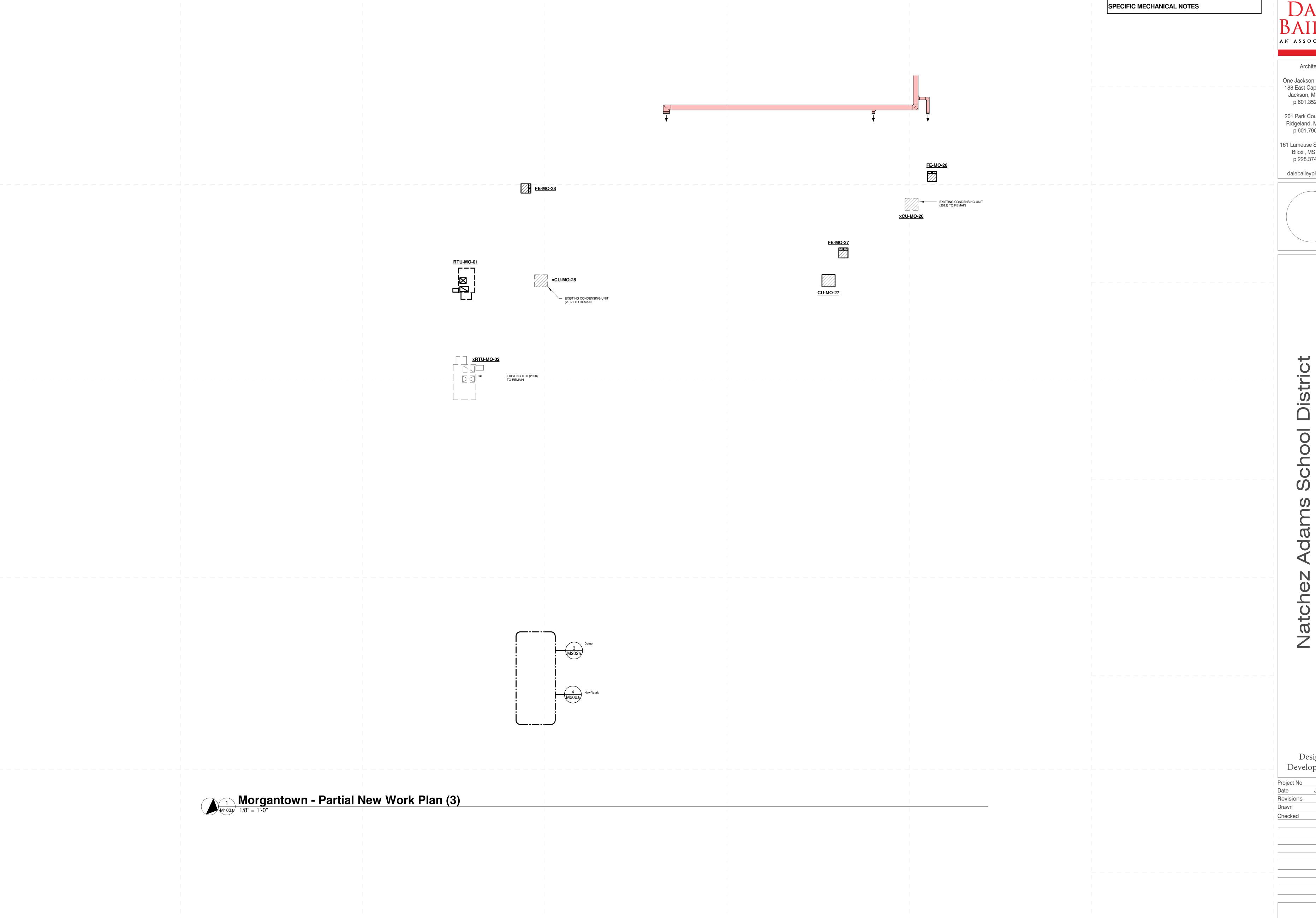
McLaurin Upper Level - Partial New Work Plan (3)

McLaurin Upper Level - Partial New Work Plan (3)

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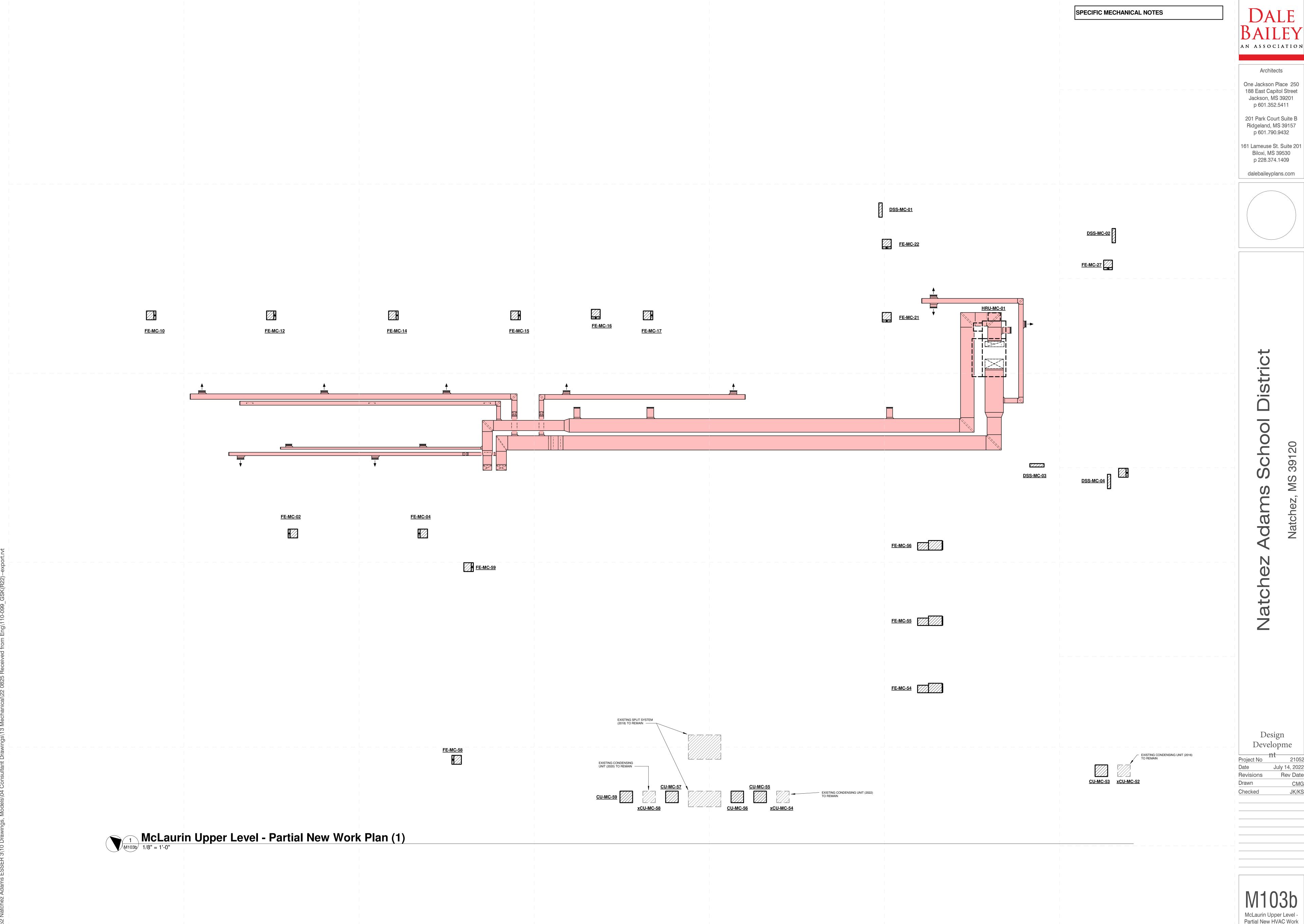
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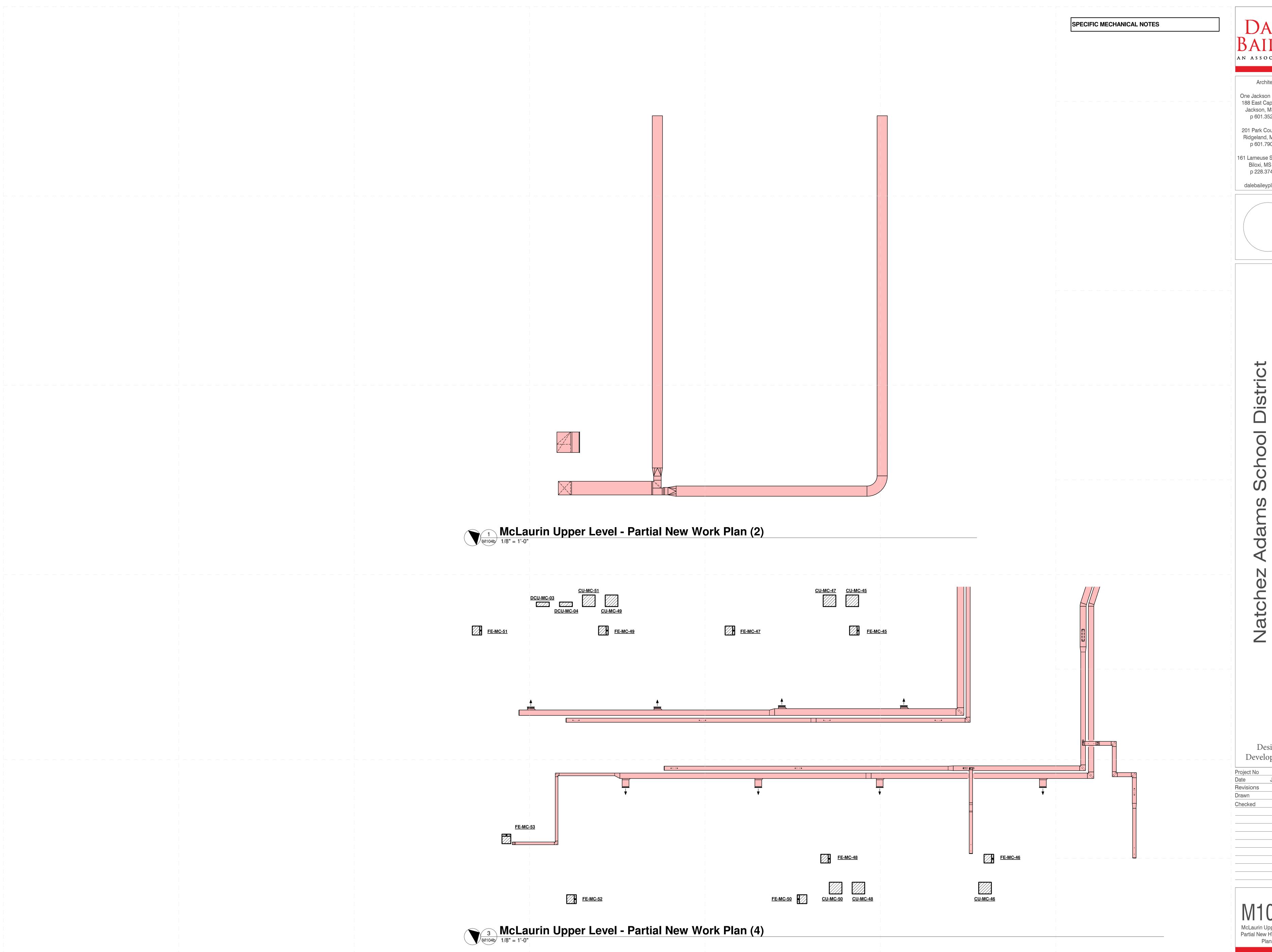


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M103b McLaurin Upper Level -Partial New HVAC Work Plans



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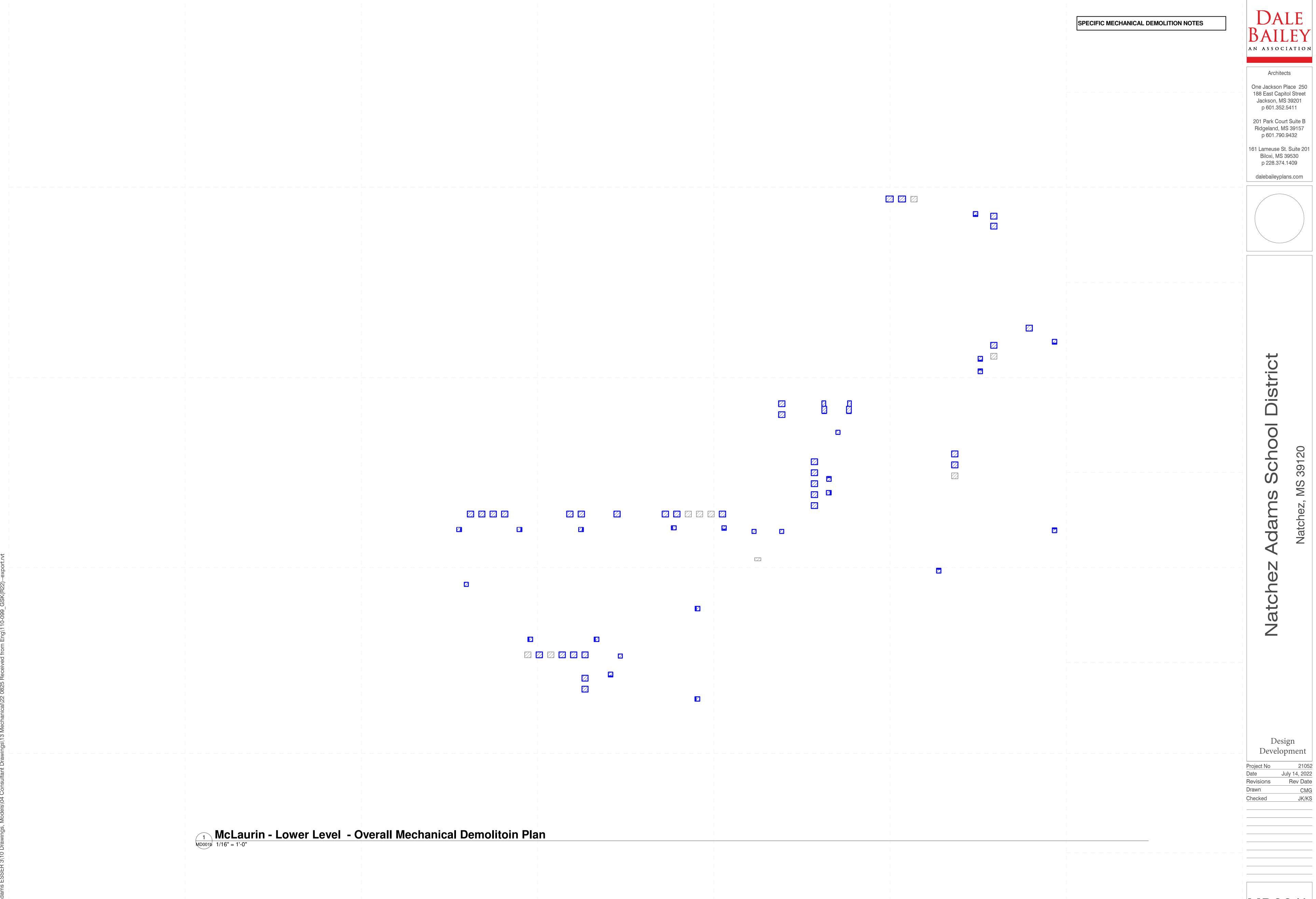
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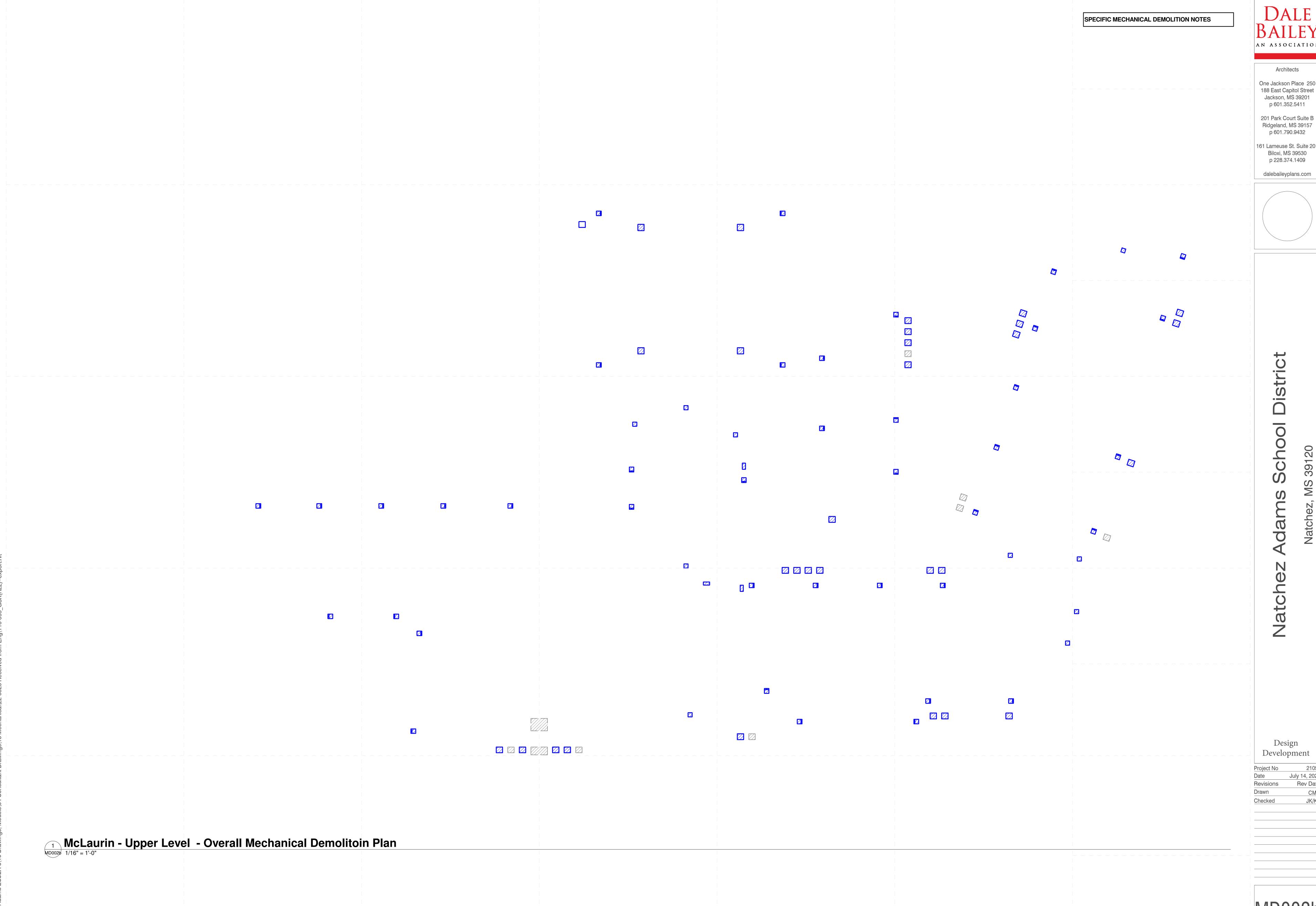
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Morgantown - Partial New HVAC Work Plans



McLaurin - Lower Level Overall Mechanical
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McLaurin - Upper Level Overall Mechanical
Demolitoin Plan