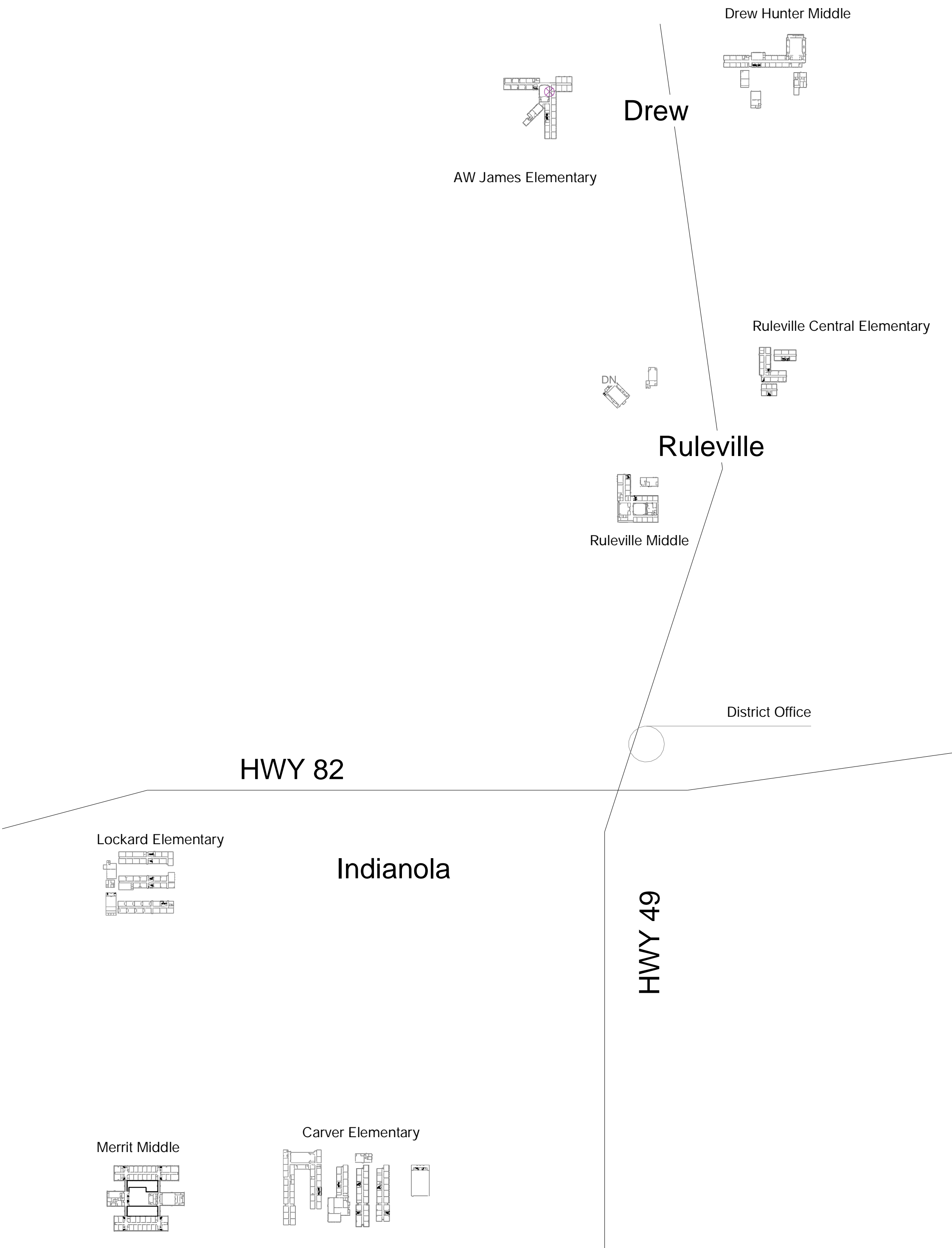


ESSER 2&3 Phase I



Sunflower Consolidated School District ESSER 2&3 Phase I

196 Martin Luther King Dr N,
Indianola, MS 38751

DBA PN: 21027
Construction Documents
12/16/2021

Owner	Sunflower Consolidated School District
Architect	Dale Bailey, an Association
Mechanical	GSK Mechanical, Inc.
Electrical	The Power Source, PLLC

Project Directory

Project Information
Name: Sunflower Consolidated School District
Project #: 21027
Address: 196 Martin Luther King Dr N, Indianola, MS 38751

Client
Sunflower Consolidated School District
196 Martin Luther King Dr N
Indianola, MS 38751
(662) 887-4919
Contact: Dr. Miskia Davis, Superintendent of Education

Architect
Dale J. Bailey, an Association
One Jackson Place / Suite 250
188 East Capitol Street
Jackson, MS 39201-2100
(601) 352-5411
Contact: Russ Blount (russblount@dalepartners.com)

Fire Protection, Plumbing, & Mechanical
GSK Mechanical, Inc.
201 Park Ct, Ridgeland, MS 39157
(601) 605-2930
Contact: Jason Kackley (jkackley@gskmech.com)

Electrical
The Power Source, PLLC.
945 Madison Ave, Madison, MS 39110
Contact: Freddie Borganeli (fborganeli@thepowersource.us)

General Project Notes

- Project Alternates
1. Ruleville Elementary Multi-Purpose Building New Construction
2. Ruleville Elementary Window Rehabilitation
3. Lockard Elementary Hardware & Fenestrations

- Project Phasing Requirements
1. N/A

- Energy Code Requirements
1. IBC 2021 Energy Code is the mandatory energy code standard for this project.
2. All mechanical and electrical building system installed should meet all requirements of the energy code.

- Thermal Envelope Requirements
1. Roofs = R-20 ci (insulation entirely above deck)
2. Walls = R-7.6ci (mass walls)
3. Walls = R-13 + R-7.5ci (metal framed walls)
4. Below Grade Walls = no requirement
5. Slab on Grade = no requirement

- Fenestration Requirements (U-factor)
1. Fixed = U-Factor 0.46
2. Operable = U-Factor 0.60
3. Entrances = U-Factor 0.77
4. SHGC = U-Factor 0.25

- General Information
1. Do not scale drawings. If dimensions are in question, the contractor shall be responsible for obtaining clarification from the architect before continuing with the construction
2. Contractors shall verify, on the site, all dimensions and equipment locations, and notify architect promptly in writing of any discrepancies
3. Contractors shall be responsible to determine the on site conditions and perform all necessary work to complete the project
4. Contractors shall maintain safe methods of egress for occupied buildings and in site area during construction
5. All casework dimensions shall be field verified before unit fabrication or installation
6. Dimensions, notes, finishes, and fixtures shown on typical floor plans shall apply to similar, symmetrical, or opposite hand plans, sections, or details
7. Typical, or typ., shall mean that condition is representative for similar conditions throughout, U.N.O. Details are usually keyed and noted "Typ." only one time when they first occur
8. Partitions are dimensioned from finish face U.N.O. Dimensions to masonry are to actual finish face U.N.O.
9. Owner to have right of refusal for all materials, furniture, fixtures and good within the limits of the construction contract.

General Abbreviations

Table with 2 columns: Abbreviation and Full Name. Includes terms like AIR CONDITIONING, ABOVE, ACOUSTICAL CEILING TILE, ADJUSTABLE, ABOVE FINISH FLOOR, ALTERNATE, ALUMINUM, ANODIZED, APPROXIMATE, AUDIO VISUAL, AUDIO VISUAL DISPLAY BOARD, BUILDING, BLOCKING, BOTTOM OF CURB, BOTTOM OF STEEL, BOTH WAYS, CABINET, CATCH BASIN, CENTER TO CENTER, CONCRETE COUNTER TOP, CORNER GUARD, COAT/CLOTHES HOOK, CHAMFER, CONTROL JOINT, CEILING, CLOSET, CONCRETE MASONRY UNIT, CLEAN OUT, COLUMN, CONCRETE, CONTINUOUS, CORRIDOR, CARPET, CRASH RAIL, CERAMIC TILE, CENTERED, CYPRESS, DISPOSAL BAG HOLDER, DOUBLE, DETAIL, DRINKING FOUNTAIN, DIAMETER, DIAGONAL, DIMENSION, DISPENSER, DOWN, DECAY RESISTANT WOOD, EAST, EACH, ELECTRIC DRINKING FOUNTAIN, ELECTRIC HAND DRYER, EXTERIOR INSULATING FINISH SYSTEM, EXPANSION JOINT, ELECTRICAL, ELEVATION, ELEVATOR, EQUAL, EACH WAY, ENGINEERED WOOD FLOORING, EXHUAUST, EXISTING, EXPANSION, EXTERIOR, FINISHED CONCRETE FLOOR, FLOOR CLEAN OUT, FLOOR DRAIN, FIRE EXTINGUISHER, FIRE EXTINGUISHER CABINET, FINISH FLOOR ELEVATION, FINISH, FLOORING, FLOURESCENT, FLOOR, FEMININE NAPKIN DISPENSER, FACE OF FINISH, FACE OF MASONRY, FACE OF STUD, FIRE PROOF, FIBERGLASS REINFORCED PANEL, FIRE RETARDANT, FOOT/FEET, FOOTING, FABRIC WALLCOVERING, GAS, GAUGE, GRAB BAR, GENERAL CONTRACTOR, GRANITE COUNTER TOP, GLASS/GLAZING, GRANITE TILE, GYPSUM DRYWALL, GYP, HOSE BIB, HOLLOW CORE, HEAVY DUTY, HEADER, HARDWARE, HEIGHT, HOLLOW METAL, HORIZONTAL, HAND RAIL, HEATING, HEATING/VENTILATION/AIR CONDITIONING, HYDRANT, INSIDE DIAMETER, INSULATION, INTERIOR, INVERT, JANITOR, JENITORS CLOSET, JOIST, JOINT, KNOCK DOWN, KITCHEN, KNOCK OUT, KICKPLATE, LENGTH, LABORATORY, LADDER, LAMINATE, LAVATORY, LIQUID APPLIED WATER PROOFING, LABEL, LINEAR FEET, LEFT HAND, LINOLEUM, LIVE LOAD, LAVATORY PIPING PROTECTION, LIGHT, LIGHTING, LUXURY VINYL TILE, LIGHTWEIGHT CONCRETE, MASONRY, MAXIMUM, MARKER BOARD, MEDICINE CABINET, MARBLE COUNTER TOP, MECHANICAL, MANUFACTURER/MANUFACTURED, MEDICAL GAS, MINIMUM, MIRROR, MISCELLANEOUS, MOLDING, MASONRY OPENING, MOP RACK, METAL THRESHOLD, METAL, MILLWORK, NORTH, NATURAL, NOT IN CONTRACT, NUMBER, NOMINAL, NOISE REDUCTION COEFFICIENT, NOT TO EXCEED, NOT TO SCALE, OXYGEN, OUTSIDE AIR, ON CENTER, ON CENTER EACH WAY, OUTSIDE DIAMETER, OWNER FURNISHED / CONTRACTOR INSTALLED, OPENING, OPPOSITE, PAINT/PAINTED, PARALLEL, PARTICLE BOARD, PRESSED/PATTERNED CONCRETE FLOOR, PLASTIC COUNTER TOP, PERFORATED, PLATE, PLAM, PLASTIC LAMINATE, PLASTER, PLYWOOD, PREFORMED METAL ROOFING, PREFORMED METAL SIDING, PAIR, PORCELAIN CERAMIC TILE, POUNDS PER SQUARE FOOT, POUNDS PER SQUARE INCH, PRESSURE TREATED, PAPER TOWEL DISPENSER, PARTITION, PAPER TOWEL RECPTACLE, QUARTZ RESINOUS FLOORING, QUARRY TILE, QUARTER, RISER, RADIUS, RUBBER BASE, RUBBER, REINFORCED CONCRETE PIPE, ROOF DRAIN, REFERENCE, REFRIGERATOR, REINFORCED, REQUIRED, REVISED, RIGHT HAND, ROOM, ROUND, ROUHG OPENING, RIGHT OF WAY, ROOF PAVER SYSTEM, RETURN REGISTER, SOUTH, SOLID CORE, SEAT COVER DISPENSER, STAINED/SEALED CONCRETE FLOOR, SCHEDULE, SOAP DISPENSER, SECTION, SHEET, SHEATHING, SIMILAR, SCORE JOINT, SEAMLESS LIQUID WALL COVERING, SANITARY NAPKIN DISPENSER, SANITARY NAPKIN DISPOSAL UNIT, SANITARY NAPKIN / TAMPON DISPENSER, SOUNDPROOF, SPACER, SPECIFICATIONS, SPECIMEN PASS THRU CABINET, SQUARE, SANITARY SEWER, SHOWER SOAP DISPENSER, STAINLESS STEEL, SOUND TRANSMISSION COEFFICIENT, STANDARD, STEEL, STORAGE, SUPPLEMENTAL, SHEET VINYL, SERVICE SINK, SHOWER, SHOWER CURTAIN, SOUTHERN YELLOW PINE, TREAD, TOP & BOTTOM, TOP GUE & GROOVE, TOWEL BAR, TO BE DETERMINED, TO BE REMOVED, TELEPHONE, TEMPORARY, THRESHOLD, THICK/THICKNESS, TOILET, TO MATCH EXISTING, TOP OF CURB, TOP OF STEEL, TOILET PAPER DISPENSER, TOILET PAPER HOLDER, TRANSOM, TELEVISION, TYPICAL, UNDERCOUNTER, UNLESS NOTED OTHERWISE, VAPOR BARRIER, VISUAL DISPLAY, VISUAL COMMUNICATION BOARD, VINYL COMPOSITE TILE, VERIFY IN FIELD, VINYL TILE, VENT THROUGH ROOF, VINYL WALL COVERING, WEST, WITH, WOOD BASE, WATER CLOSET, WOOD COUNTER TOP, WOOD BASE, WIDTH, WINDOW, WATER GUARD, WATER HEATER, WATERPROOFING, WATER RESISTANT, WAINSCOT.

Drawing Index

Table with 4 columns: Sheet No, Sheet Name, Building Name, Sheet Organization. Lists sheets G-001 through G-403g, including Cover Sheet, Index & General Project Information, General Sheets, RCP, Floor Plans, Toilets, and various architectural details.

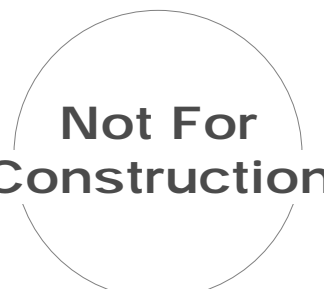
Graphic Symbols

Graphic Symbols section containing various architectural symbols and their corresponding labels: Building Elevation, Building Section, Wall Section, Interior Elevation, Detail, Column Grid, Door Mark, North Arrow, Spot Elevation, Room Name and Number, and View Name with Drawing Scale.

All School's Specific Notes



Architects
One Jackson Place- 250
188 East Capitol Street
Jackson, MS 39201
p 601.3525411
201 Park Court Suite B
Ridgeland, MS 39157
p 601.790.9432
161 Lameuse St. Suite 201
Biloxi, MS 39530
p 228.374.1409
dalebaileyplans.com



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196 Martin Luther King Dr N, Indianola, MS 38751

Construction Documents

Table with 2 columns: Project No, Date, Revisions, Rev Date. Project No: 21027, Date: 12/16/2021.

G-002
Index & General Project Information