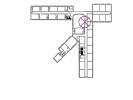
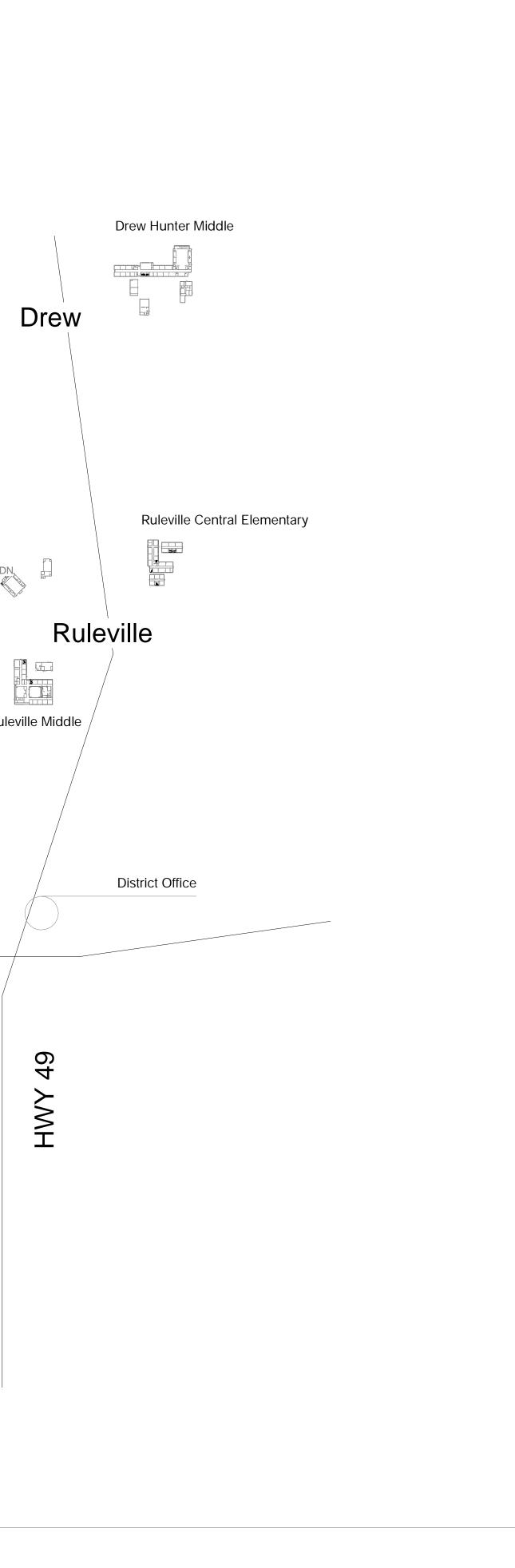
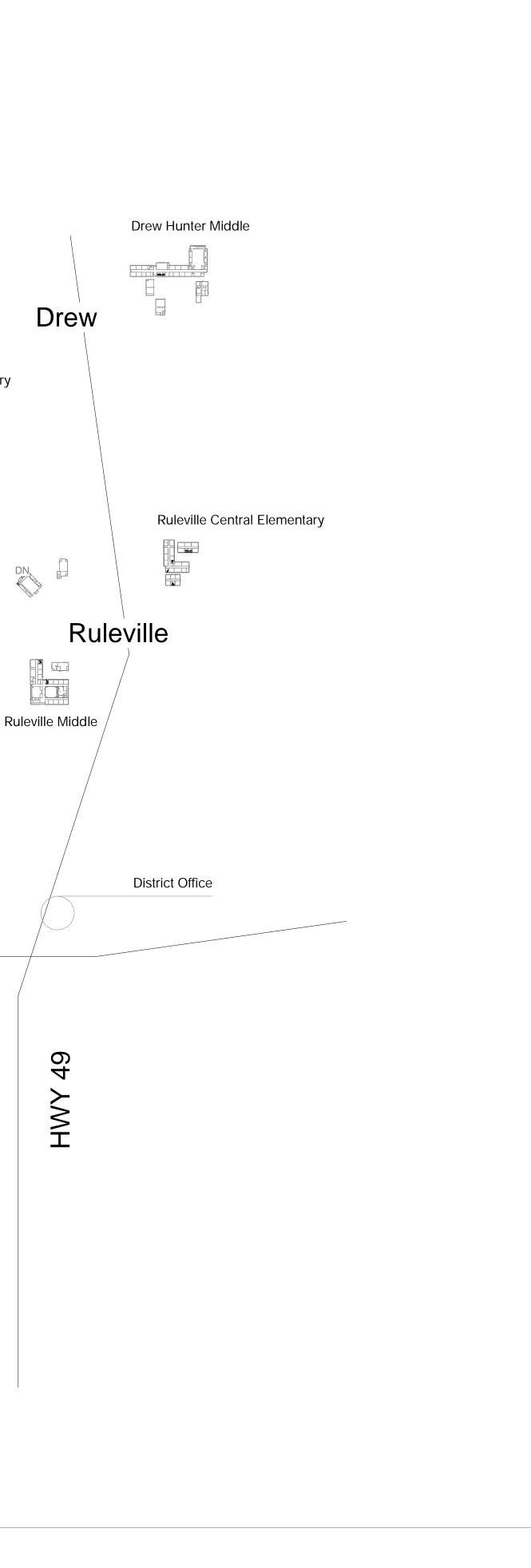
# ESSER 2&3 Phase I

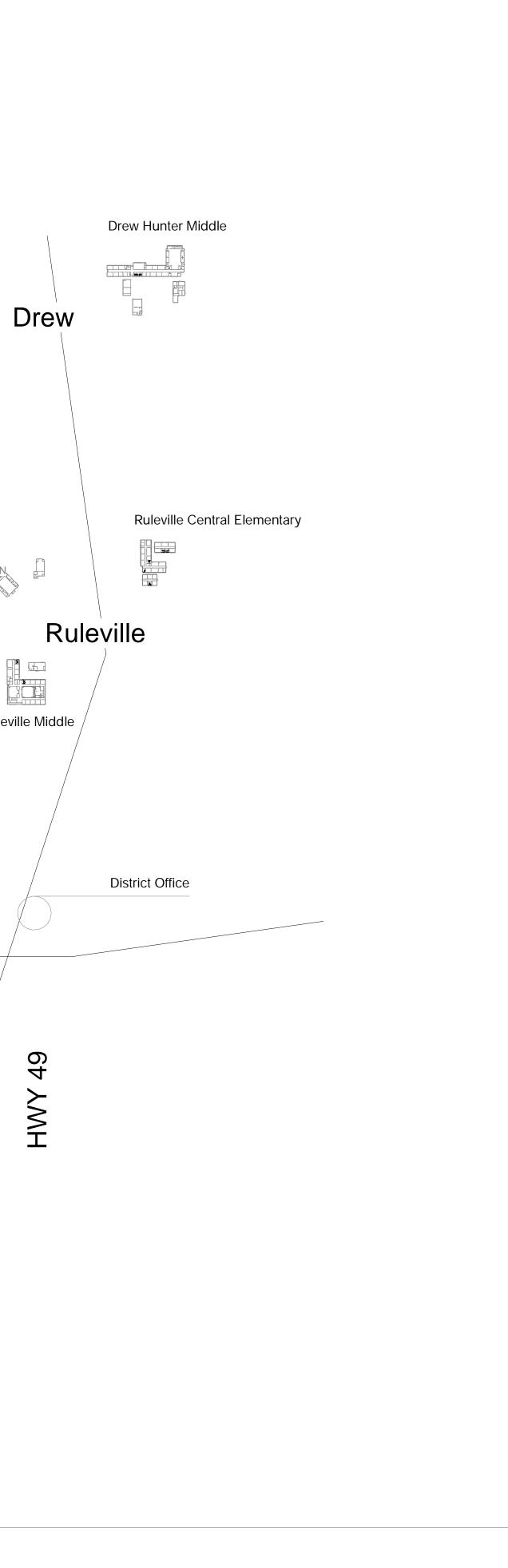
# DALE | BAILEY



AW James Elementary









Indianola

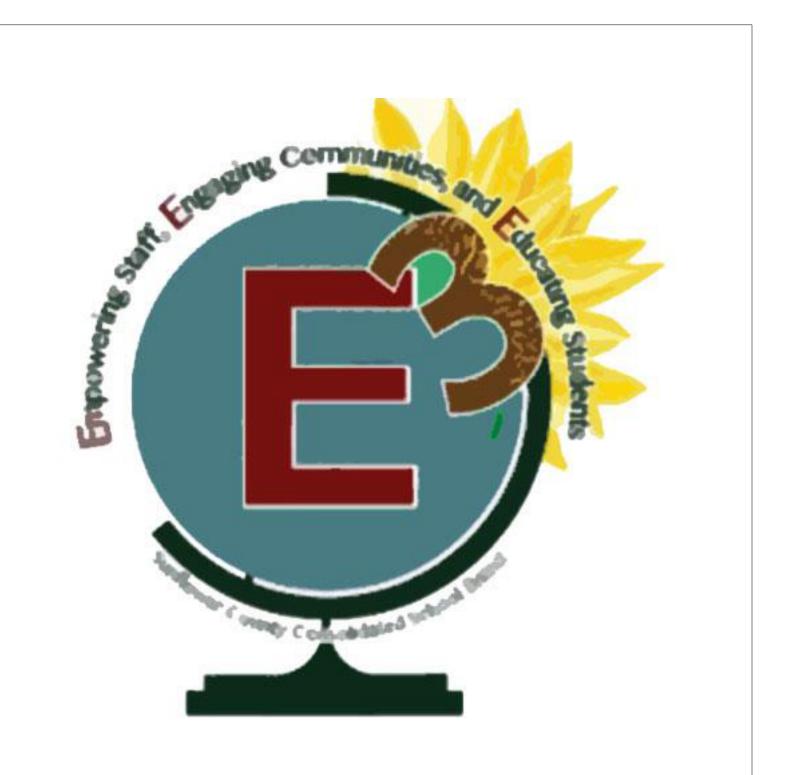
Lockard Elementary

Carver Elementary 

Merrit Middle



# AN ASSOCIATION



# Sunflower Consolidated School District ESSER 2&3 Phase I

196 Martin Luther King Dr N, Indianola, MS 38751 21027 **DBA PN: Construction Documents** 12/16/2021

Sunflower Consolidated School District Owner Architect Dale Bailey, an Association GSK Mechanical, Inc. Mechanical The Power Source, PLLC Electrical



# 00.01 General G-002

# Project Directory

# Project Information

lame:	Sunflower Consolidated School District ESSR 2&3
roject #:	21027
ddress:	196 Martin Luther King Dr N, Indianola, MS 38751
lient	

Sunflower Consolidated School District 196 Martin Luther King Dr N Indianola, MS 38751 (662) 887-4919 Contact: Dr. Miskia Davis, Superintendent of Education

# Architect

Dale | Bailey, an Association One Jackson Place / Suite 250 188 East Capitol Street Jackson, MS 39201-2100 (601) 352-5411 Contact: Russ Blount \_\_\_\_\_\_\_\_ (russblount@dalepartners.com)

# Fire Protection, Plumbing, & Mechanical

*GSK Mechanical, Inc.* 201 Park Ct, Ridgeland, MS 39157 (601) 605-2930 Contact: Jason Kackley (jkackley@gskmech.com)

### Electrical

The Power Source, PLLC. 945 Madison Ave, Madison, MS 39110 Contact: Freddie Borganelli (fborganelli@thepowersource.us)

Graphic Symbols

# General Project Notes

Project Alternates

- 1. Ruleville Elementary Multi-Purpose Building New Construction
- Ruleville Elementary Window Rehabilitation
   Lockard Elementary Hardware & Fenestrations

Project Phasing Requirements

1. N/A

# Energy Code Requirements

- 1. IBC **2021** Energy Code is the mandatory energy code
- standard for this project.All mechanical and electrical building system installed

should meet all requirements of the energy code.

- Thermal Envelope Requirements
- 1. Roofs = R-20 ci (insulation entirely above deck)
- 2. Walls = R-7.6ci (mass walls)
- Walls = R-13 + R-7.5ci (metal framed walls)
   Below Grade Walls = no requirement
- 5. Slab on Grade = no requirement

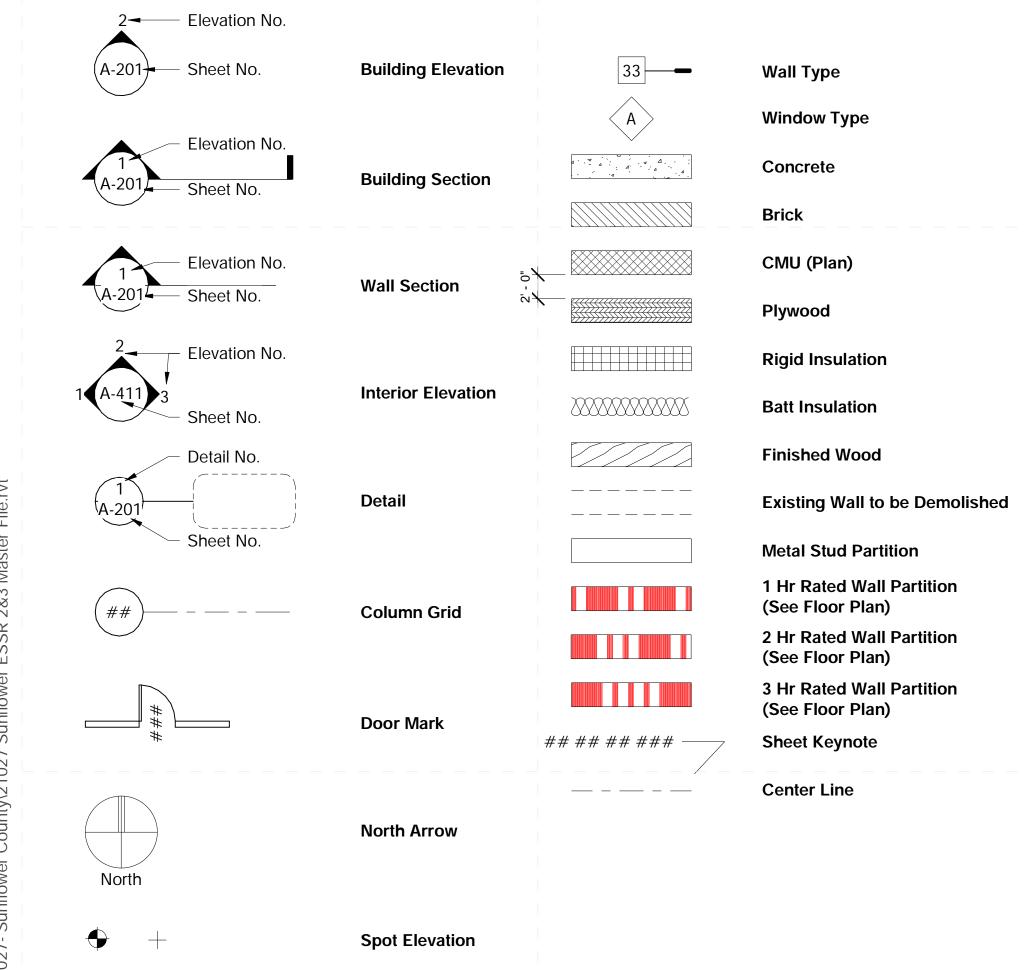
### Fenestration Requirements (U-factor)

1.	Fixed	= U-Factor 0.46
2.	Operable	= U-Factor 0.60
3.	Entrances	= U-Factor 0.77

5.	LIMANCES	
4.	SHGC	= U-Factor 0.25

## **General Information**

- Do not scale drawings. If dimensions are in question, the contractor shall be responsible for obtaining clarification from the architect before continuing with the construction
- 2. Contractors shall verify, on the site, all dimensions and equipment locations, and notify architect
- promptly in writing of any discrepancies3. Contractors shall be responsible to determine the on site conditions and perform all necessary work to
- complete the project4. Contractors shall maintain safe methods of egress for occupied buildings and in site area during
- construction5. All casework dimensions shall be field verified before
- unit fabrication or installation -6. — Dimensions, notes, finishes, and fixtures shown on – typical floor plans shall apply to similar, symmetrical,
- or opposite hand plans, sections, or details7. Typical, or typ., shall mean that condition is
- representative for similar conditions throughout,
  U.N.O. Details are usually keyed and noted "Typ." only one time when they first occur
  8. Partitions are dimensioned from finish face U.N.O.
- Dimensions to masonry are to actual finish face U.N.O.
- 9. Owner to have right of refusal for all materials, furniture, fixtures and good within the limits of the construction contract.



Room name
1001
/-- View On Sheet

1-1/2" = 1'-0"

Scale

(C4)

**View Name** 

Room Name and Number

Drawing Title with Drawing Scale

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12/16/. D:\my

					Drawing Inday			
Genera AC	al Abbreviations	MAX	MAXIMUM	VWC VINYL WALL COVERING	Drawing Index Sheet No	Sheet Name Buildir	ng Name	Sheet Organization
ABV ACT	ABOVE ACOUSTICAL CEILING TILE	MB MC	MARKER BOARD MEDICINE CABINET	W WEST W/ WITH	G-001 Cover Sheet G-002 Index & General Proj	iect Information		00.01 General 00.01 General
ADJ AFF ALT	ADJUSTABLE ABOVE FINISH FLOOR ALTERNATE	MCT MECH MFG	MARBLE COUNTER TOP MECHANICAL MANUFACTURER/MANUFACTURED	WB WOOD BASE WC WATER CLOSET WCT WOOD COUNTER TOP	G-001a General Sheet			00.01 General
ALM AND	ALUMINUM ANODIZED	MG MIN	MEDICAL GAS MINIMUM	WD WOOD BASE WDT WIDTH	A-041a Composite RCP A-101a Floor Plans	AW James	s Elementary	00.08 Architectural 00.08 Architectural
APRX AV AVD	APPROXIMATE AUDIO VISUAL AUDIO VISUAL DISPLAY	MIR MISC MLDG	MIRROR MISCELLANEOUS MOULDING	WDW WINDOW WG WALL GUARD WH WATER HEATER	A-141a Composite RCP A-401a North Toilets			00.08 Architectural 00.08 Architectural
BD BLDG	BOARD BUILDING		MASONRY OPENING MOP RACK	WP WATER RESISTANT	A-402a South Toilets	AW James	s Elementary	00.08 Architectural
BLKG BOC	BLOCKING BOTTOM OF CURB	MT MTL	METAL THRESHOLD METAL	WSCT WAINSCOT	G-002b General Sheet A-041b East Composite RCP			00.01 General 00.08 Architectural
BOS BW CAB	BOTTOM OF STEEL BOTH WAYS CABINET	MWK N NAT	MILLWORK NORTH NATURAL		A-042b West Composite RCF A-101b East Composite Floo			00.08 Architectural 00.08 Architectural
CB CC	CATCH BASIN CENTER TO CENTER	NIC NO	NOT IN CONTRACT NUMBER		A-102b West Composite Floo A-141b New RCP		-	00.08 Architectural 00.08 Architectural
CCT CG CH	CONCRETE COUNTER TOP CORNER GUARD COAT/CLOTHES HOOK	NOM NRC NTE	NOMINAL NOISE REDUCTION COEFFICIENT NOT TO EXCEED		<ul><li>A-401b Cafe Building Toilets</li><li>A-402b Central North Toilets</li></ul>		<b>3</b>	00.08 Architectural 00.08 Architectural
CHM CJ	CHAMFER CONTROL JOINT	NTS	NOT TO SCALE OXYGEN		A-403b Central South Toilets A-404b East Toilets N	Carver E	Elementary – –	00.08 Architectural 00.08 Architectural
CLG CLO	CEILING CLOSET		OUTSIDE AIR ON CENTER		A-405b East Toilets S A-406b Gym Toilets		<b>y</b>	00.08 Architectural 00.08 Architectural
CMU CO COL	CONCRETE MASONRY UNIT CLEAN OUT COLUMN	OD	ON CENTER EACH WAY OUTSIDE DIAMETER OWNER FURNISHED / CONTRACTOR INSTALLED		G-003c General Sheet			00.01 General
CONC	CONCRETE CONTINUOUS	OPNG OPP	OPENING OPPOSITE		A-041c Composite RCP A-101c Composite Floor Plan	n Drew Hu	nter Middle	00.08 Architectural 00.08 Architectural
CORR CPT	CORRIDOR CARPET	P PAR PBD	PAINT/PAINTED PARALLEL PARTICLE BOARD		A-141c Composite RCP A-401c Central Toilets	Drew Hu	nter Middle	00.08 Architectural 00.08 Architectural
CR CT CTR	CRASH RAIL CERAMIC TILE CENTERED		PRESSED/PATTERNED CONCRETE FLOOR PLASTIC COUNTER TOP		A-402c Northeast Toilets			00.08 Architectural
CYP DBH	CYPRESS DISPOSAL BAG HOLDER	PL	PERFORATED PLATE		G-004d General Sheet A-041d RCP - Demo	Lockard	Elementary	00.01 General 00.08 Architectural
DBL DET DF	DOUBLE DETAIL DRINKING FOUNTAIN	PLST	PLASTIC LAMINATE PLASTER PLYWOOD		A-101d Floor Plans A-141d Composite RCP	Lockard	Elementary	00.08 Architectural 00.08 Architectural
DIA DIAG	DIAMETER DIAGONAL	PMR	PREFORMED METAL ROOFING PREFORMED METAL SIDING		<ul><li>A-401d Toilets (North)</li><li>A-402d Toilets (Central)</li><li>A-403d Toilets (South)</li></ul>	Lockard	Elementary	00.08 Architectural 00.08 Architectural 00.08 Architectural
DIM DISP DN	DIMENSION DISPENSER DOWN	PR PRT PSF	PAIR PORCELAIN CERAMIC TILE POUNDS PER SQUARE FOOT		A-403d Toilets (South) A-404d Toilets (Auditorium)		<b>y</b>	00.08 Architectural
DRW E	DECAY RESISTANT WOOD EAST		POUNDS PER SQUARE INCH PRESSURE TREATED		G-005e General Sheet A-041e RCP - Demo			00.01 General 00.08 Architectural
EA EDF	EACH ELECTRIC DRINKING FOUNTAIN	PTD PTN	PAPER TOWEL DISPENSER PARTITION		A-101e Composite Floor Plan A-401e NW Toilets	n Robert L N	/lerrit Middle	00.08 Architectural 00.08 Architectural
EHD EIFS EJ	ELECTRIC HAND DRYER EXTERIOR INSULATING FINISH SYSTEM EXPANSION JOINT	PTR QRF QT	PAPER TOWEL RECPTACLE QUARTZ RESINOUS FLOORING QUARRY TILE		A-402e NE Toilets A-403e Central West Toilets	Robert L N	Aerrit Middle	00.08 Architectural 00.08 Architectural
ELEC ELEV	ELECTRICAL ELEVEATION	QTR R	QUARTER RISER		A-404e SW Toilets A-405e SE Toilets	Robert L N	/lerrit Middle	00.08 Architectural 00.08 Architectural
ELVR EQ	ELEVATOR EQUAL	RAD RB	RADIUS RUBBER BASE		A-441e RCP - New Construct			00.08 Architectural
EW EWF EXH	EACH WAY ENGINEERED WOOD FLOORING EXHUAST	RBR RCP RD	RUBBER REINFORCED CONCRETE PIPE ROOF DRAIN		G-006f General A-041f Composite RCP			00.01 General 00.08 Architectural
EXIST EXP	EXISTING EXPANSION	REF REFR	REFERENCE REFRIDGERATOR		A-101f Composite Floor Plan A-141f Composite RCP		5	00.08 Architectural 00.08 Architectural
EXT FCF FCO	EXTERIOR FINISHED CONCRETE FLOOR FLOOR CLEAN OUT	REINF REQ REV	REINFORCED REQUIRED REVISED		A-401f Toilets NW A-402f Toilets Central		<b>y</b>	00.08 Architectural 00.08 Architectural
FD FE	FLOOR DRAIN FIRE EXTINGUISHER	RH RM	RIGHT HAND ROOM		A-403f Toilets E	Ruleville Cen	tral Elementary	00.08 Architectural
FEC FFE FIN	FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FINISH	RND RO ROW	ROUND ROUHG OPENING RIGHT OF WAY		G-000g General Sheet A-041g Main Floor RCP			00.01 General 00.08 Architectural
FLG FLOR	FLOORING FLOURESCENT	RPS RR	ROOF PAVER SYSTEM RETURN REGISTER		A-042g Gym/Floor RCP A-101g Main School Floor Pl	lan Rulevil	le Middle	00.08 Architectural 00.08 Architectural
FLR FND	FLOOR FEMININE NAPKIN DISPENSER	S SC	SOUTH SOLID CORE		A-102g Gym/Cafe Floor Plan A-141g Main School RCP	Rulevil	le Middle	00.08 Architectural 00.08 Architectural
FOF FOM FOS	FACE OF FINISH FACE OF MASONRY FACE OF STUD	SCD SCF SCH	SEAT COVER DISPENSER STAINED/SEALED CONCRETE FLOOR SCHEDULE		A-142g Gym/Cafe RCP A-401g Central Toilets	Rulevil	le Middle	00.08 Architectural 00.08 Architectural
FP FRP	FIRE PROOF FIBERGLASS REINFORCED PANEL	SD SECT	SOAP DISPENSER SECTION	All School's Specific Notes	A-402g West Toilets A-403g Gym Toilets			00.08 Architectural 00.08 Architectural
FRT FT FTG	FIRE RETARDENT FOOT/FEET FOOTING	SHT SHTH SIM	SHEET SHEATHING SIMILAR	All School's Specific Notes				
FWC G	FABRIC WALLCOVERING GAS		SCORE JOINT SEAMLESS LIQUID WALL COVERING					
GA GB	GAUGE GRAB BAR		SANITARY NAPKIN DISPENSER SANITARY NAPKIN DISPOSAL UNIT					
GC GCT GL	GENERAL CONTRACTOR GRANITE COUNTER TOP GLASS/GLAZING	SNTD SP SPCR	SANITARY NAPKIN / TAMPON DISPENSER SOUNDPROOF SPACER					
GT GWB	GRANITE TILE GYPSUM DRYWALL	SPEC SPTC	SPECIFICATIONS SPECIMEN PASS THRU CABINET					
GYP HB HC	GYPSUM HOSE BIB HOLLOW CORE	SQ SS SSD	SQUARE SANITARY SEWER SHOWER SOAP DISPENSER					
HD HDR	HEAVY DUTY HEADER	SSTL STC	STAINLESS STEEL SOUND TRANSMISSION COEFFICIENT					
HDW HGT HM	HARDWARE HEIGHT HOLLOW METAL	STD STL STOR	STANDARD STEEL STORAGE					
HOW HR	HORIZONTAL HAND RAIL		SUPPLEMENTAL SHEET VINYL					
HTG HVAC	HEATING HEATING/VENTILATION/AIR CONDITIONING HYDRANT	SVSK SWR	SERVICE SINK SHOWER					
HYD ID INSUL	INSIDE DIAMETER INSULATION		SHOWER CURTAIN SOUTHERN YELLOW PINE TREAD					
INT INV	INTERIOR INVERT	T&G	TOP & BOTTOM TONGUE & GROOVE					
JAN JC JST	JANITOR JENITORS CLOSET JOIST	TB TBD TBR	TOWEL BAR TO BE DETERMINED TO BE REMOVED					
JT KD	JOINT KNOCK DOWN	TEL TEMP	TELEPHONE TEMPORARY					
KIT KO	KITCHEN KNOCK OUT	ТНК	THRESHOLD THICK/THICKNESS					
KPL L LAB	KICKPLATE LENGTH LABORATORY	TLT TME TOC	TOILET TO MATCH EXISTING TOP OF CURB					
LAD LAM	LADDER LAMINATE	TOS TPD	TOP OF STEEL TOILET PAPER DISPENSER					
LAV LAWP LBL	LAVATORY LIQUID APPLIED WATER PROOFING LABEL	TPH TR TV	TOILET PAPER HOLDER TRANSOM TELEVISION					
LBL LF LH	LINEAR FEET LEFT HAND	TYP UC	TYPICAL UNDERCOUNTER					
LIN LL I PP	LINOLEUM LIVE LOAD	VB	UNLESS NOTED OTHERWISE VAPOR BARRIER VISUAL DISPLAY					
LPP LT LTG	LAVATORY PIPING PROTECTION LIGHT LIGHTING	VD VCB VCT	VISUAL DISPLAY VISUAL COMMUNICATION BOARD VINYL COMPOSITE TILE					
LVT LWC	LUXURY VINYL TILE LIGHTWEIGHT CONCRETE	VIF VT	VERIFY IN FIELD VINYL TILE					
MAS	MASONRY	VTR	VENT THROUGH ROOF					



# Architects

One Jackson Place 250 188 East Capitol Street Jackson, MS 39201 p 601.352.5411

201 Park Court Suite B Ridgeland, MS 39157 p 601.790.9432

161 Lameuse St. Suite 201 Biloxi, MS 39530 p 228.374.1409

dalebaileyplans.com

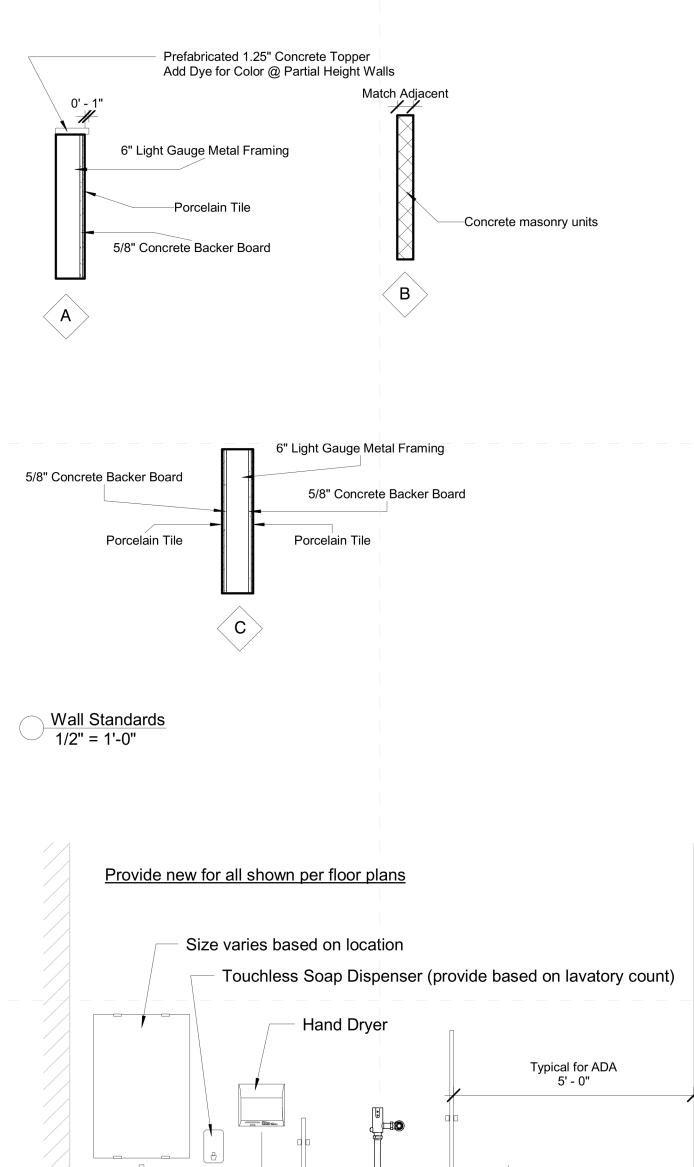


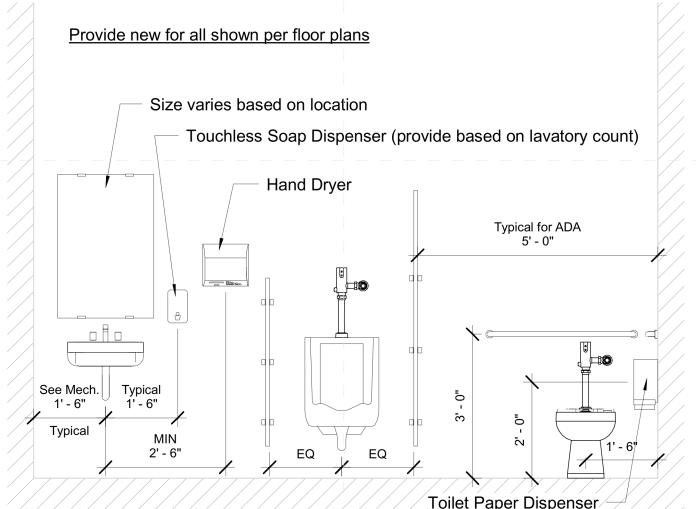


**G-002** Index & General Project Information

# All School's Specific Notes

02 41 19 002Dashed lines indicated extent of demoed work08 11 13 001Install metall door and frame to match existing for corrected swing08 71 00 001Replace all door hardware with new at existing leaf08 71 00 002Fill Hinges Recessions with blank plates & paint09 30 13 001Install new floor tile; slope to floor drain is drain provided10 21 13.19 001Install new toilet partitions (typical)10 28 13 001Install wall hung mirror here; center over fixture unless noted otherwise10 28 13 002Install hand dryer here; coordinate with electrical & mechanical22 40 00 001New fixtures throughout (typical); see plumbing22 42 00 001Coordinate new fixture installations with mechanical, typical for new22 42 00 002New fixtures only in this toilet room; coordinate with mechanical22 42 00 003New touchless faucet at sink/cabinet; coordinate with mechanical22 47 13 001Install double drinking fountain here; coordinate with mechanical & electrical drawings		
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coordinate with mechanical & electrical	22 42 00 003	
	22 47 13 001	coordinate with mechanical & electrical





1 Typical Toilet Room Wall 1/2" = 1'-0"





Mens 193



Girls 127

Front of School



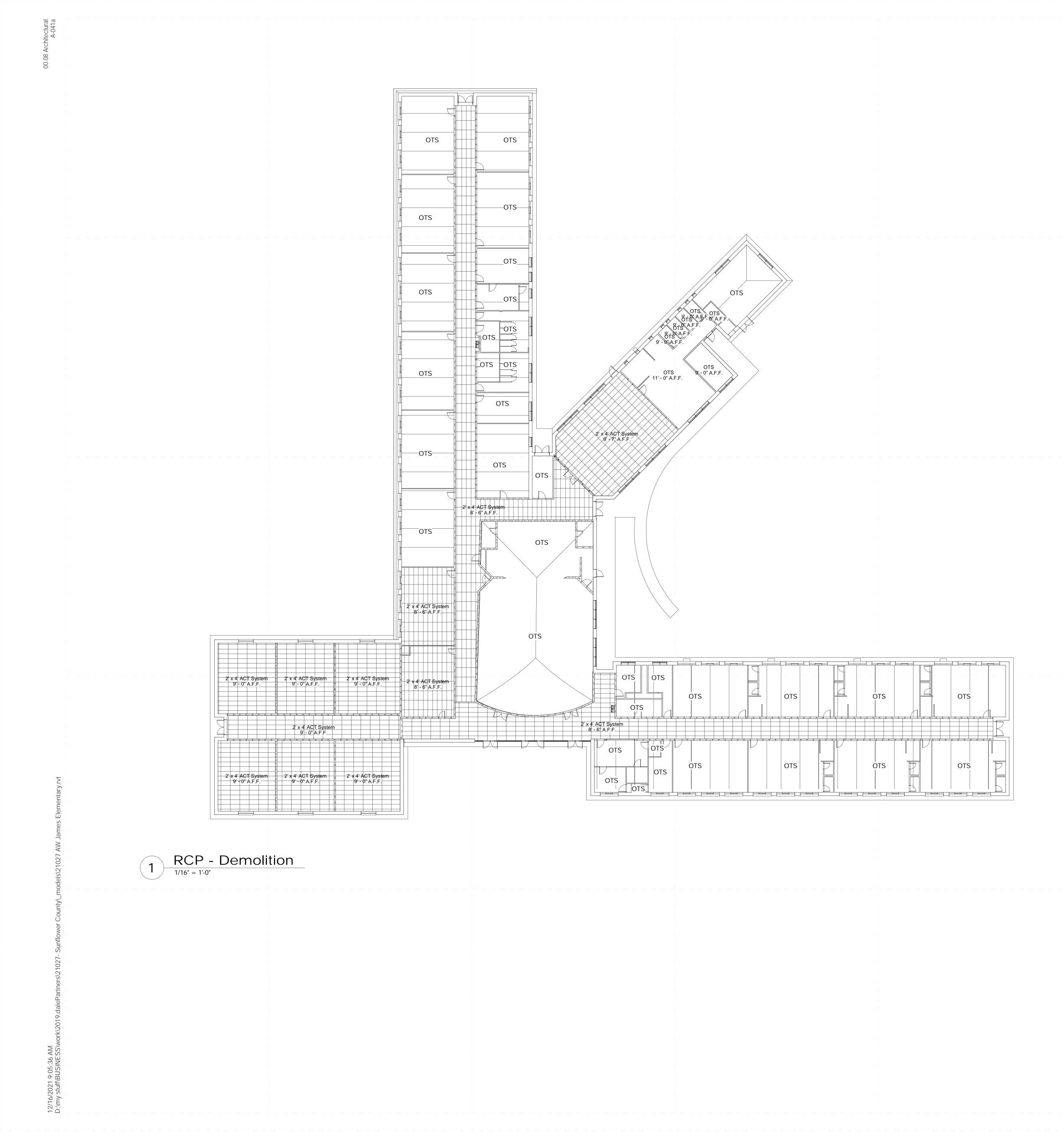
Womens 191



Boys 159



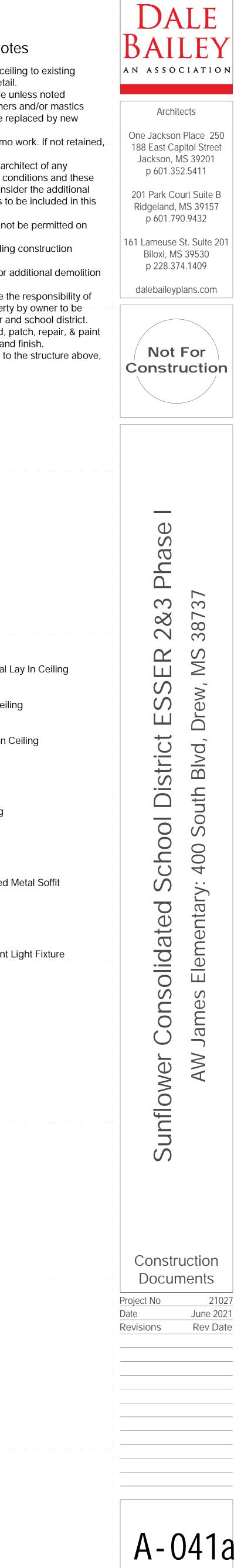




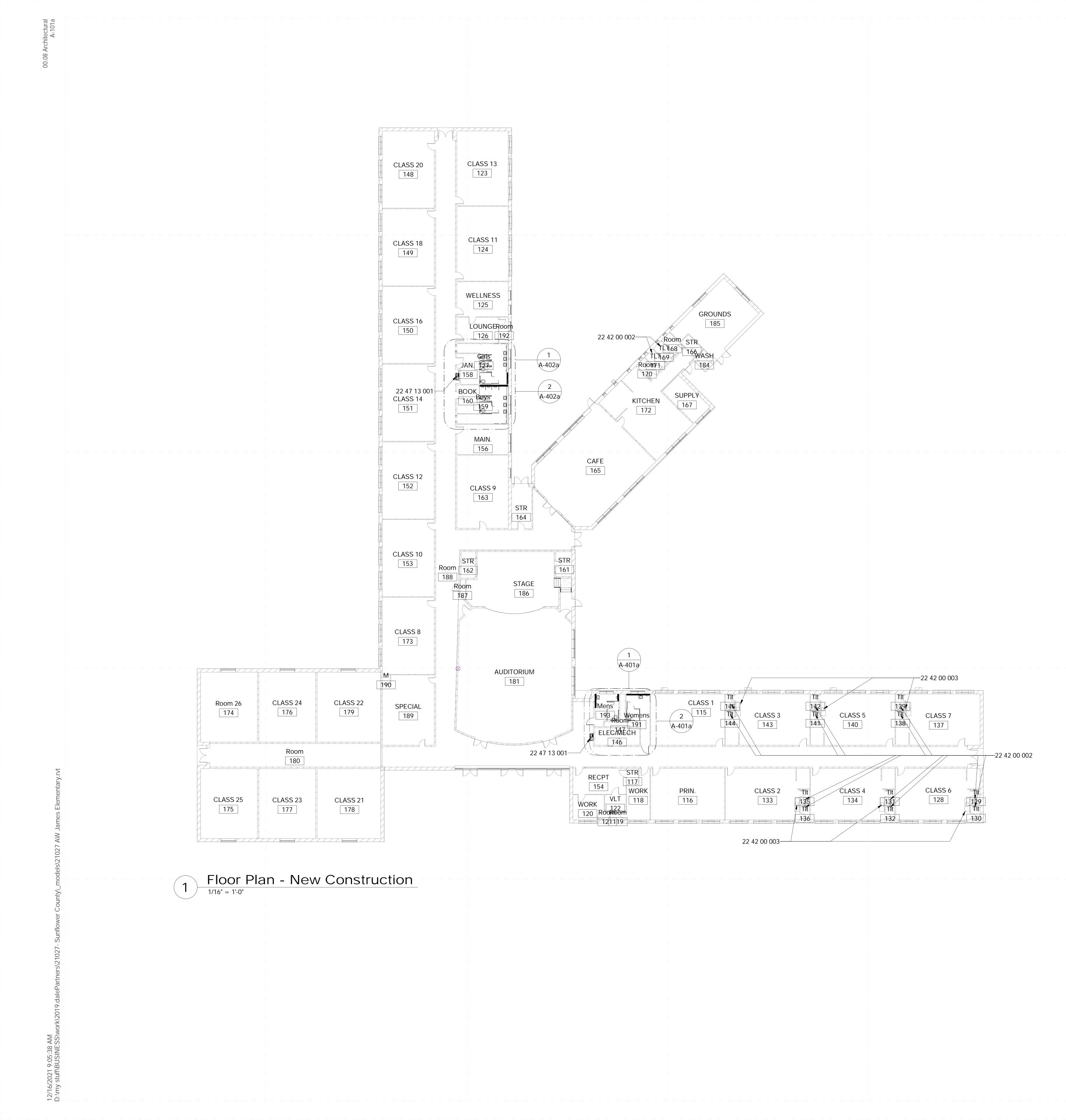
- 1. Where ceiling transitions from new ceiling to existing
- ceiling, coordinate with Architect detail.
  2. Remove all existing ceiling grid & tile unless noted otherwise, as well as any wall fasteners and/or mastics attached therein where shown to be replaced by new
- materials. 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- Burying or Burning of materials will not be permitted on site.
- Repair any damage caused to building construction identified to remain.
- 7. Refer to other discipline drawings for additional demolition information as noted.
- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- 9. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
  10. No work in rooms with ceiling open to the structure above, unless noted otherwise.

# Ceiling Legend

	Moisture Resistant Acoustical
	Colored Acoustical Lay In Cei
	Vinyl Faced Acoustical Lay In
	Gypsum Board Ceiling
	2x2 Acoustical Lay In Ceiling
	Plaster/Stucco
	Concealed Fastender Paintec
$\boxtimes$	2x2 Fluorescent Fixture
	Surface-Mounted Fluorescen
0	Recessed Can Light Fixture
	HVAC Supply Grille
	HVAC Return Grille
E	Exterior Wall Light
$\otimes$	Interior Wall Light
	Open to Structure (OTS)

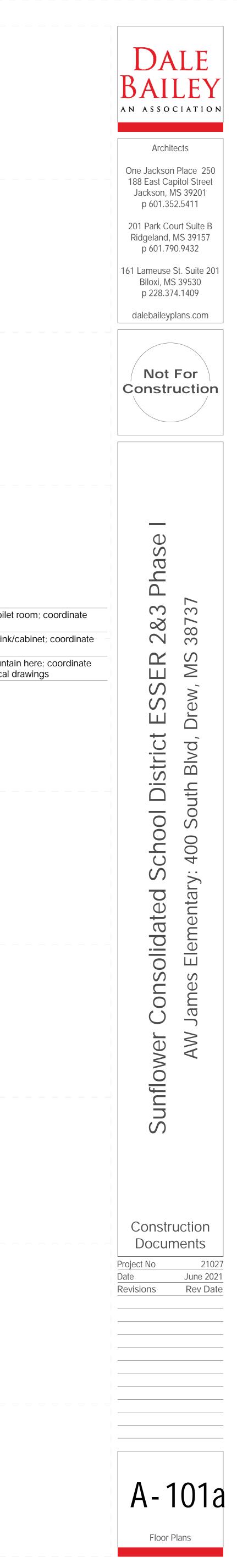


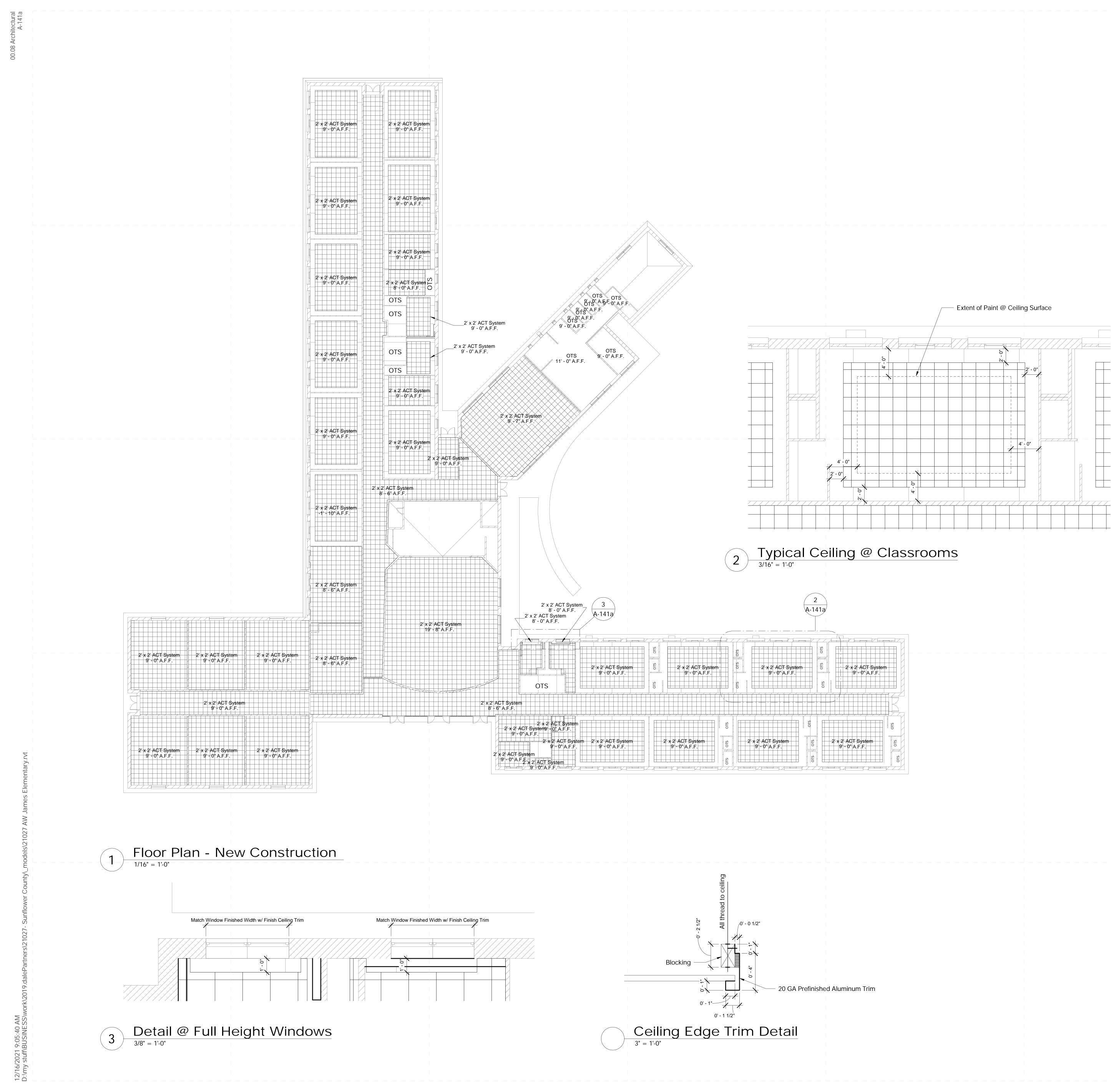
Composite RCP



# Specific Notes

22 42 00 002	New fixtures only in this toile with mechanical
22 42 00 003	New touchless faucet at sink with mechanical
22 47 13 001	Install double drinking fount with mechanical & electrical





# General RCP Notes

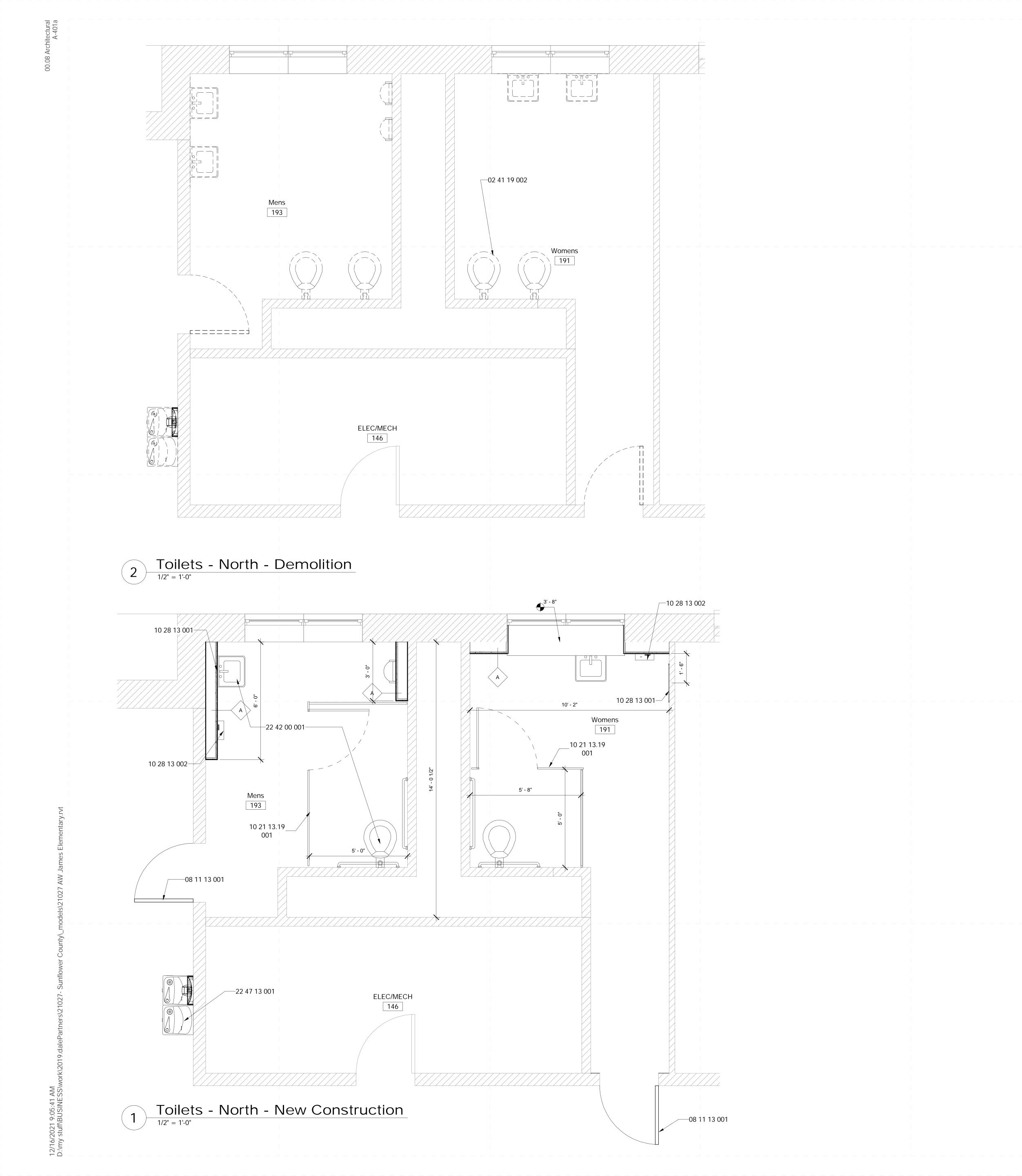
- 1. All ceiling heights shall be same as existing or lower, unless noted otherwise.
- 2. Contractor shall paint all surfaces above 8'-8" at wall, roof, and ceiling, as well as anything attached therein at all exposed sections of ceilings where not covered by new 2x2 ACT, unless noted otherwise
- 3. Repair/replace any and all ceiling damaged due to construction activities. 4. Bent ceiling grid damaged due to construction activities shall
- be replaced or bent to appear as new in shape.

# Ceiling Legend

	Moisture Resistant Acoustica
	Colored Acoustical Lay In Ce
	Vinyl Faced Acoustical Lay Ir
	Gypsum Board Ceiling
	2x2 Acoustical Lay In Ceiling
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Composite RCP



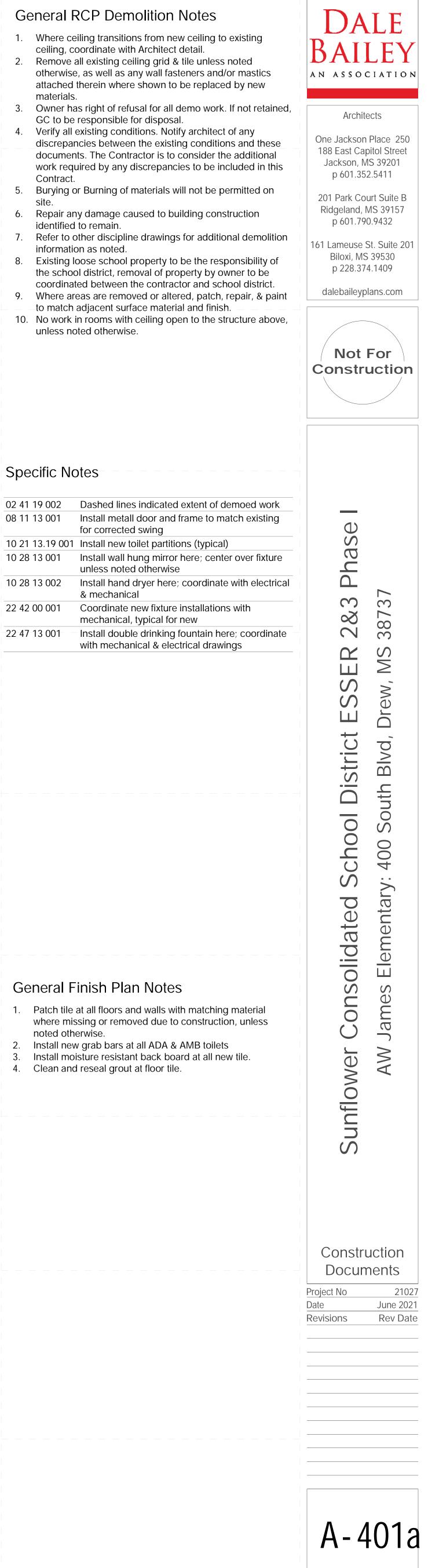
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- 6. Repair any damage caused to building construction identified to remain.
- 7. Refer to other discipline drawings for additional demolition information as noted.
- 8. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- 9. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- 10. No work in rooms with ceiling open to the structure above, unless noted otherwise.

# Specific Notes 02 41 19 002 Dashed lines indicated extent of demoed work 08 11 13 001 Install metall door and frame to match existing for corrected swing 10 21 13.19 001 Install new toilet partitions (typical) 10 28 13 001 Install wall hung mirror here; center over fixture unless noted otherwise 10 28 13 002 Install hand dryer here; coordinate with electrical & mechanical 22 42 00 001 Coordinate new fixture installations with mechanical, typical for new

# General Finish Plan Notes

- 1. Patch tile at all floors and walls with matching material where missing or removed due to construction, unless noted otherwise.
- 2. Install new grab bars at all ADA & AMB toilets 3. Install moisture resistant back board at all new tile.
- 4. Clean and reseal grout at floor tile.



North Toilets



- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- 2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule 3. Owner has right of refusal for all demo work. If not retained,
- GC to be responsible for disposal. 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this
- Contract. 5. Burying or Burning of materials will not be permitted on
- 6. Repair any damage caused to building construction identified to remain.
- 7. Refer to other discipline drawings for additional demolition information as noted
- 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolitionexposes weather to the interior of portions of buildings to remain.
- 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district. 10. Where areas are removed or altered, patch, repair, & paint

# to match adjacent surface material and finish.

# Specific Notes

02 41 19 002	Dashed lines indicated exte
08 71 00 002	Fill Hinges Recessions with
10 21 13.19 001	Install new toilet partitions (I
10 28 13 001	Install wall hung mirror here unless noted otherwise
10 28 13 002	Install hand dryer here; coo & mechanical
22 40 00 001	New fixtures throughout (typ

# General Finish Plan Notes

- 1. Patch tile at all floors and walls with matching material where missing or removed due to construction, unless noted otherwise.
- 2. Install new grab bars at all ADA & AMB toilets 3. Install moisture resistant back board at all new tile. 4. Clean and reseal grout at floor tile.

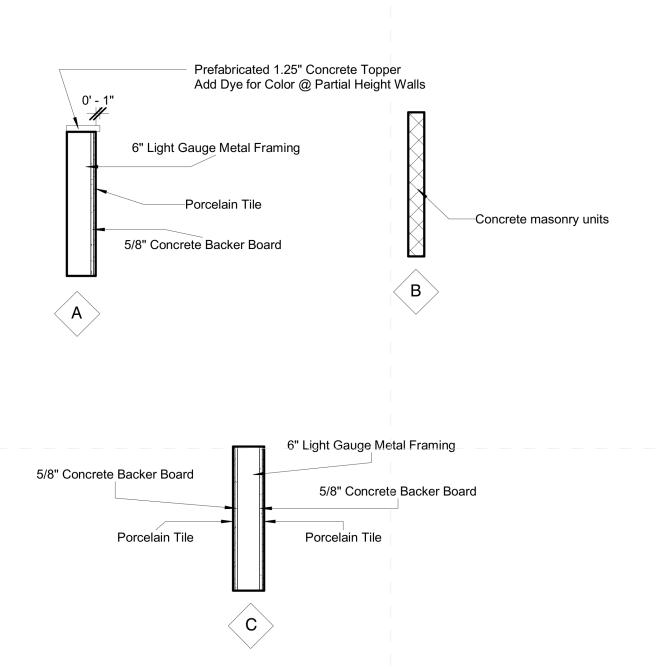
DALE BAILEY AN ASSOCIATION Architects One Jackson Place 250 188 East Capitol Street Jackson, MS 39201 p 601.352.5411 201 Park Court Suite B Ridgeland, MS 39157 p 601.790.9432 161 Lameuse St. Suite 201 Biloxi, MS 39530 p 228.374.1409 dalebaileyplans.com Not For Construction Phase  $\mathcal{O}$  $\mathcal{O}$ 2& 387 w, MS ent of demoed work h blank plates & paint  $\geq$ S (typical) Ш  $\square$ e; center over fixture District Blvd ordinate with electrical ypical); see plumbing uth School  $\bigcirc$ 00 4 >Consolidated enta Elem ar AW Sunflower Construction Documents 21027 Project No June 2021 Date Rev Date Revisions



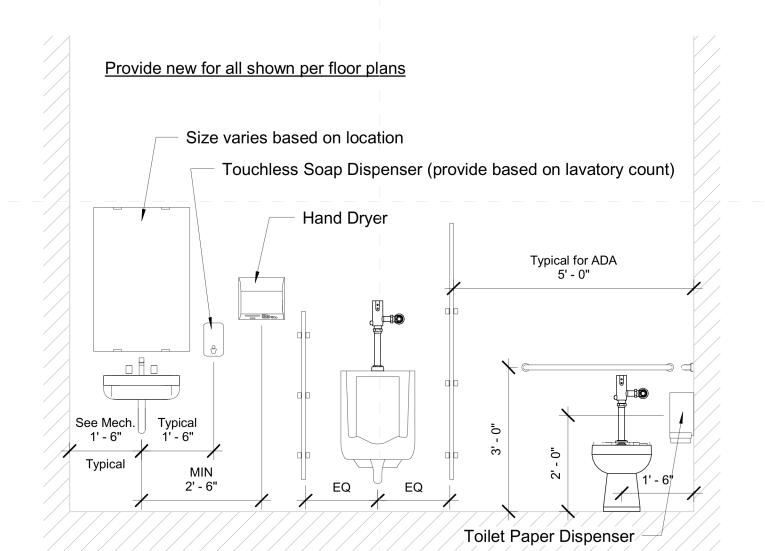
# All School's Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 009	Remove wood; patch and repair tile and substrate with matching
08 01 10 001	Remove Door Leaves; patch hinges recessions with plate covers & paint to match jamb
08 71 00 001	Replace all door hardware with new at existing leaf
09 91 23 001	Paint wall tile and CMU floor to ceiling in this room only
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 40 00 001	New fixtures throughout (typical); see plumbing
22 40 00 002	New touchless fixtures throughout (typical); see plumbing
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new
22 42 00 002	New fixtures only in this toilet room; coordinate with mechanical
22 47 13 001	Install double drinking fountain here; coordinate with mechanical & electrical drawings
22 47 13 002	Install single drinking fountain here with bottle filler attachment; coordinate with mechanical & electrical drawings

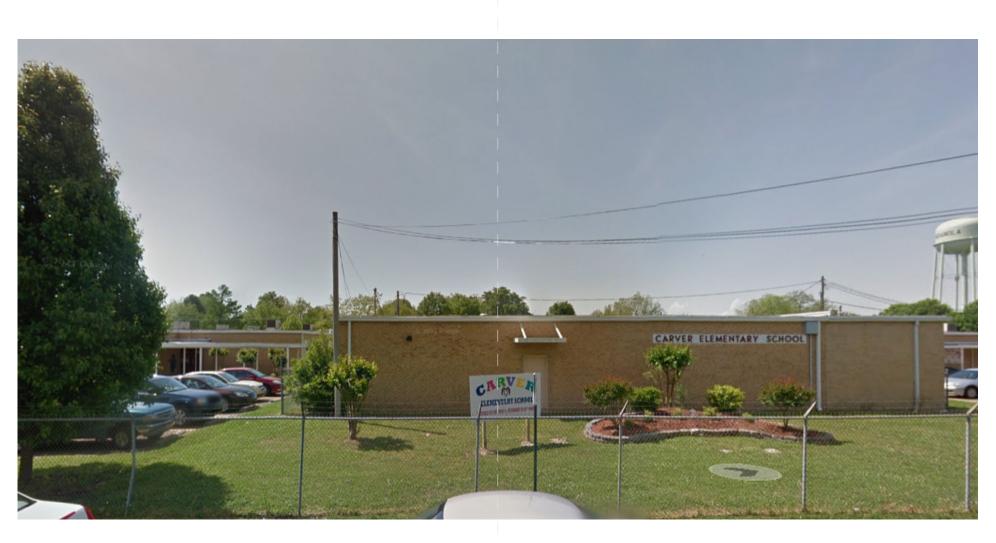
-



# Wall Standards 1/2" = 1'-0"



1 Typical Toilet Room Wall 1/2" = 1'-0"



Front of School



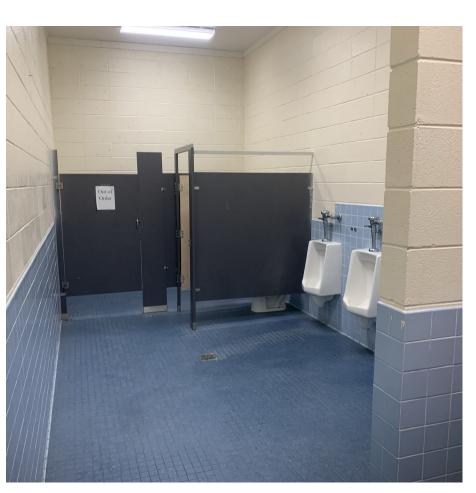


Gym Toilets

Typical Toilet Room



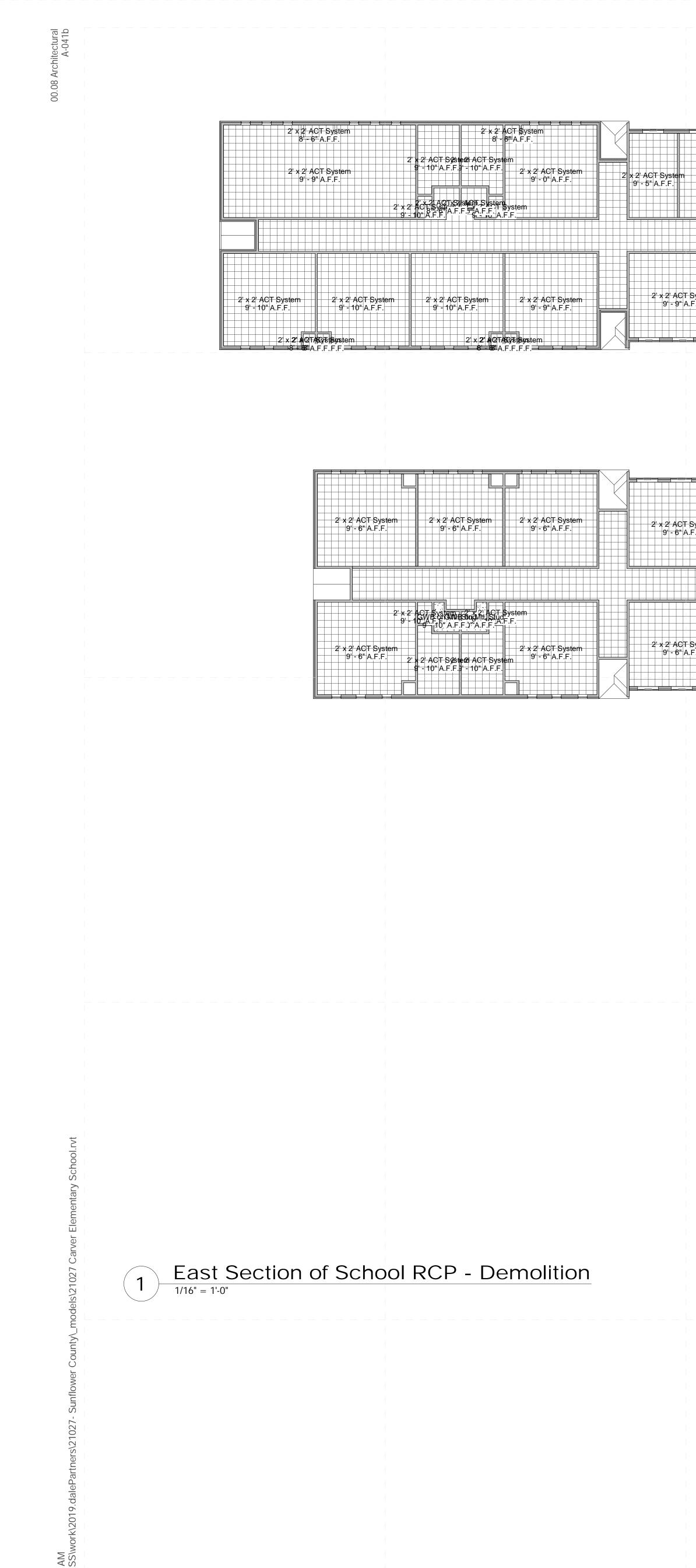
Typical Toilet Room



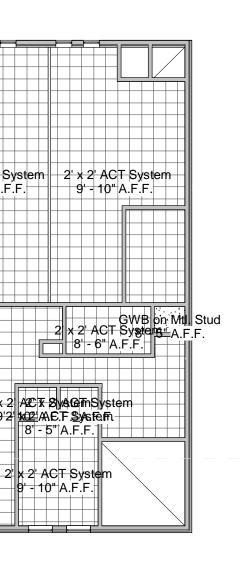
Gym Toilets







1       2' × 2' ACT System         9' - 9'' A.F.F.       9' - 9'' A.F.F.       9' - 9'' A.F.F.       2' × 2' ACT System       2' × 2' ACT System         2' × 2' ACT System       9' - 9'' A.F.F.       9' - 9'' A.F.F.       2' × 2' ACT System       2' × 2' ACT System         2' × 2' ACT System       9' - 9'' A.F.F.       9'' - 9'' A.F.F.       2' × 2' ACT System       2' × 2' ACT System         2' × 2' ACT System       2' × 2' ACT System       2' × 2' ACT System       2' × 2' ACT System       2' × 2' ACT System	System       2' × 2' ACT System         F.F.       9' - 6"A.F.F.         stem       2' × 2' ACT System         2' ACT System       9' - 6"A.F.F.         * 2' ACT System       2' × 2' ACT System         * 2' ACT System       2' × 2' ACT System         9' - 9"A.F.F.       9' - 9"A.F.F.	2' x 2' ACT Sys 9' - 10" A.F.F - 2' x 2 - 2' x 2 - 9'2 - 9'2
T System 2' × 2' ACT System 2 × 2' ACT System 2' ACT System 2 ACT System 2' ACT System 3' ACT System	System 2' × 2' ACT System 1em 1em 1em 2' × 2' ACT System 9' - 6" A.F.F. 1em 2' × 2' ACT System 2' × 2' ACT System 9' - 6" A.F.F. 9' - 6" A.F.F. 19' - 6" A.F.F.	
OTS	2' x 2 ACT System MR         10'-0'' A.F.F.         12' - 0'' A.F.F.         2' x 2 ACT System MR         12' - 0'' A.F.F.         2' x 2 ACT System MR         10'-0'' A.F.F.	2' x 2' ACT System 12' - 0" A.F.F.



# General RCP Demolition Notes

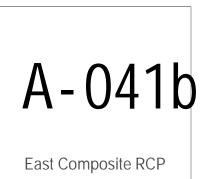
- Where ceiling transitions from new ceiling to existing ceiling, coordinate with Architect detail.
   Remove all existing ceiling grid & tile unless noted otherwise, as well as any wall fasteners and/or mastics attached therein where shown to be replaced by new
- attached therein where shown to be replaced by new materials.3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- Burying or Burning of materials will not be permitted on site.
   Repair any damage caused to building construction
- Repair any damage caused to building construction identified to remain.
   Refer to other discipline drawings for additional demolition
- information as noted.
  8. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
   No work in rooms with ceiling open to the structure above, unless noted otherwise.

# Ceiling Legend

	Moisture Resistant Acoustical
	Colored Acoustical Lay In Ceil
	Vinyl Faced Acoustical Lay In
	Gypsum Board Ceiling
	2x2 Acoustical Lay In Ceiling
	Plaster/Stucco
	Concealed Fastender Painted
	2x2 Fluorescent Fixture
⊨⊶	Surface-Mounted Fluorescent
0	Recessed Can Light Fixture
	HVAC Supply Grille
	HVAC Return Grille
▣	Exterior Wall Light
$\otimes$	Interior Wall Light

Open to Structure (OTS)



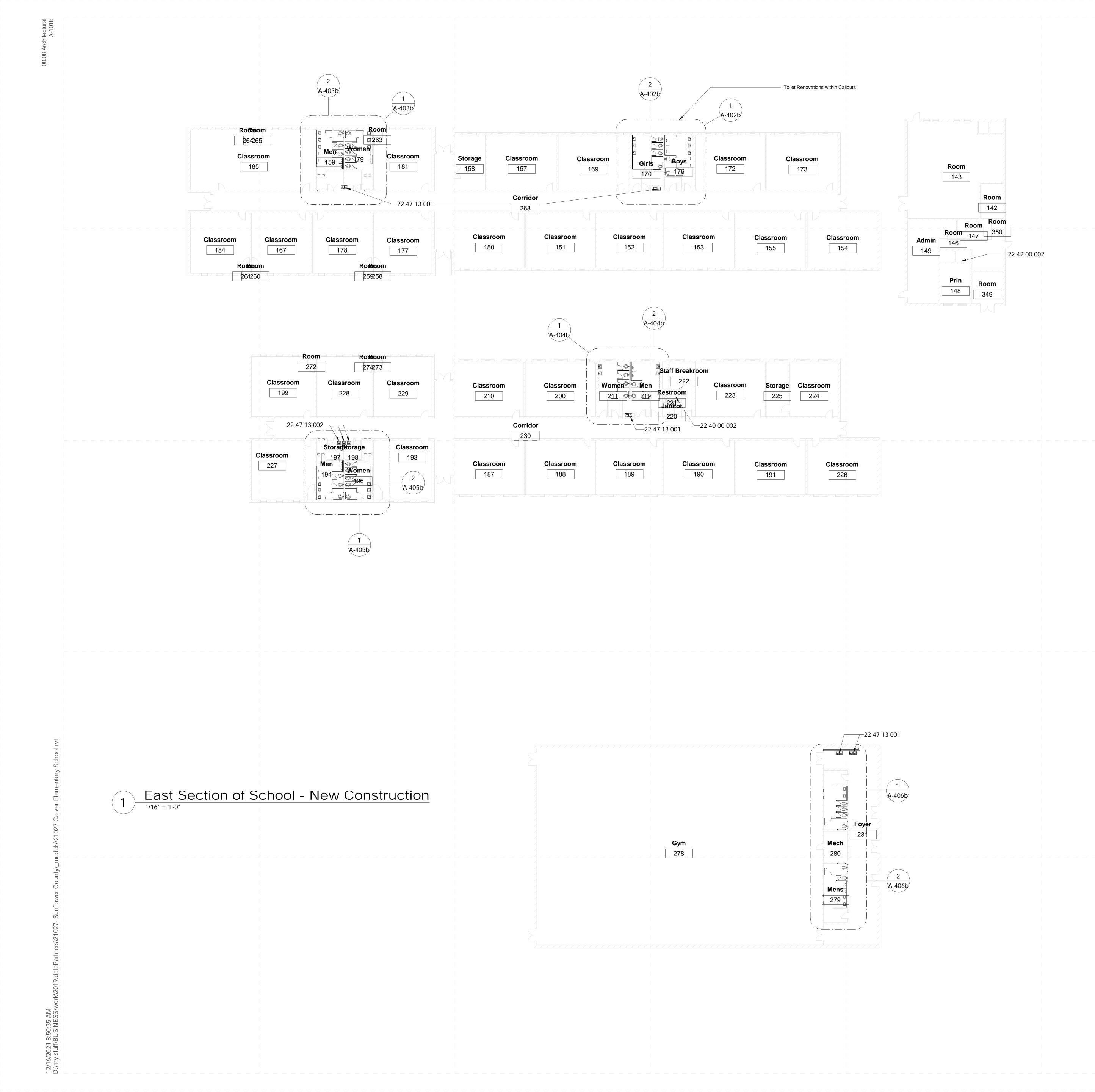




# DALE BAILEY General RCP Demolition Notes 1. Where ceiling transitions from new ceiling to existing ceiling, coordinate with Architect detail. Remove all existing ceiling grid & tile unless noted otherwise, as well as any wall fasteners and/or mastics AN ASSOCIATION attached therein where shown to be replaced by new materials. Architects 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal. One Jackson Place 250 4. Verify all existing conditions. Notify architect of any 188 East Capitol Street discrepancies between the existing conditions and these Jackson, MS 39201 documents. The Contractor is to consider the additional p 601.352.5411 work required by any discrepancies to be included in this Contract. 201 Park Court Suite B 5. Burying or Burning of materials will not be permitted on Ridgeland, MS 39157 p 601.790.9432 6. Repair any damage caused to building construction identified to remain. 161 Lameuse St. Suite 201 7. Refer to other discipline drawings for additional demolition Biloxi, MS 39530 information as noted. p 228.374.1409 8. Existing loose school property to be the responsibility of the school district, removal of property by owner to be dalebaileyplans.com coordinated between the contractor and school district. 9. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish. 10. No work in rooms with ceiling open to the structure above, unless noted otherwise. Not For Construction Phase Ω 87 $\mathcal{C}$ $\sim$ 2& S $\geq$ School District ESSER I: 404 Jefferson St. Indianola, Jeffer Ceiling Legend Lay In Ceiling chool: ling Consolidated Ceiling S Elementary Sunflower Ver d Metal Soffit ar t Light Fixture Construction Documents 21027 Project No Issue Date Date Rev Date Revisions

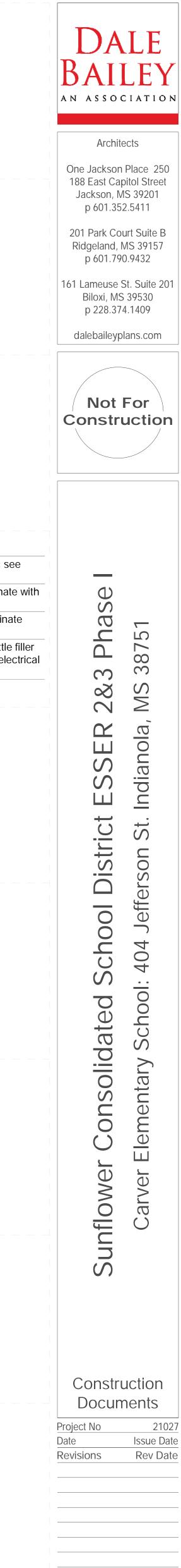
	Moisture Resistant Acoustical L
	Colored Acoustical Lay In Ceili
	Vinyl Faced Acoustical Lay In C
	Gypsum Board Ceiling
	2x2 Acoustical Lay In Ceiling
	Plaster/Stucco
	Concealed Fastender Painted I
X	2x2 Fluorescent Fixture
=)===	Surface-Mounted Fluorescent I
$\bigcirc$	Recessed Can Light Fixture
X	HVAC Supply Grille
	HVAC Return Grille
	Exterior Wall Light
$\bigotimes$	Interior Wall Light
	Open to Structure (OTS)

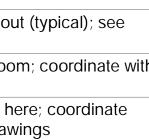


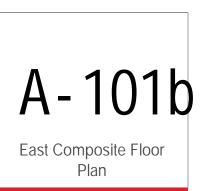


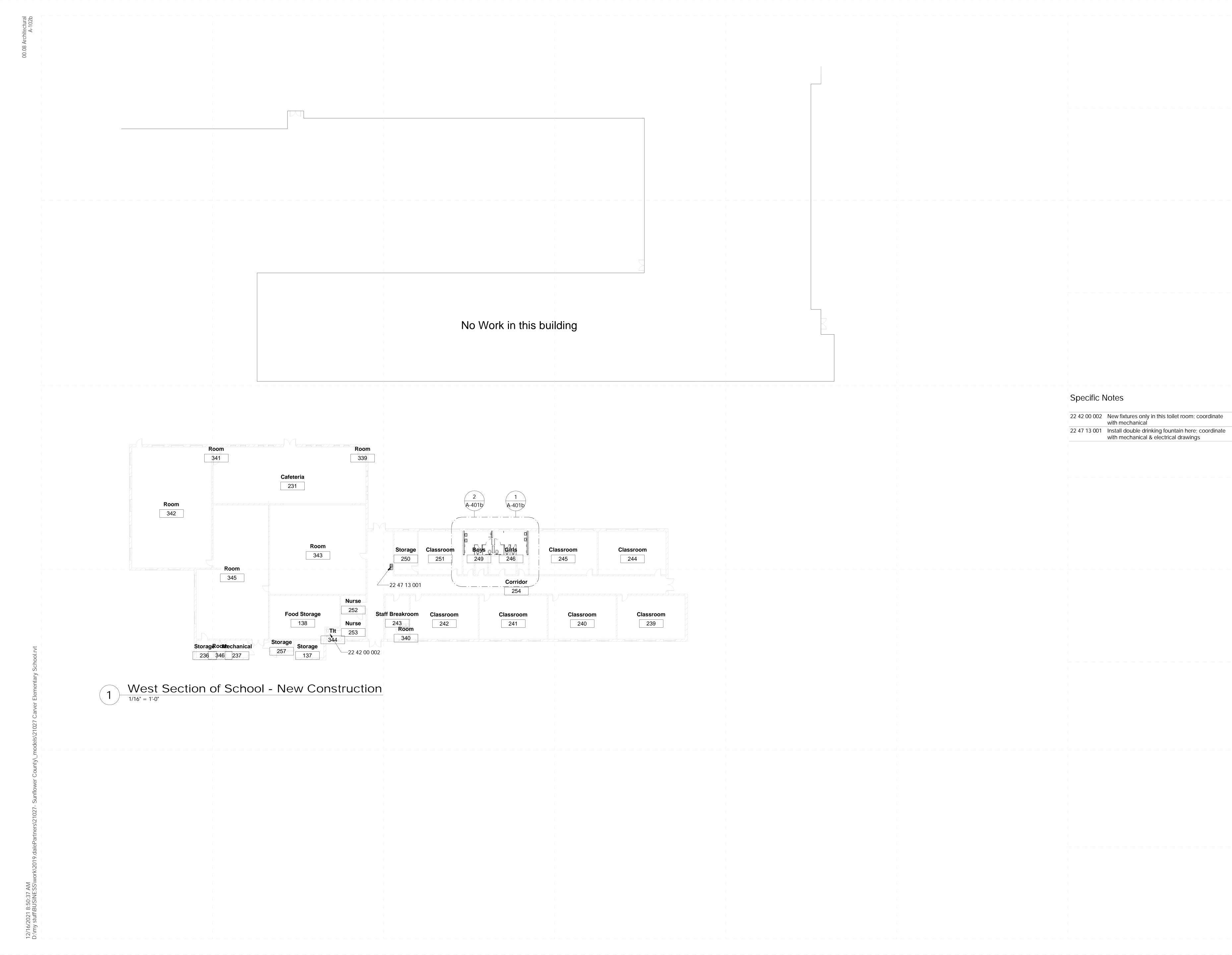
# Specific Notes

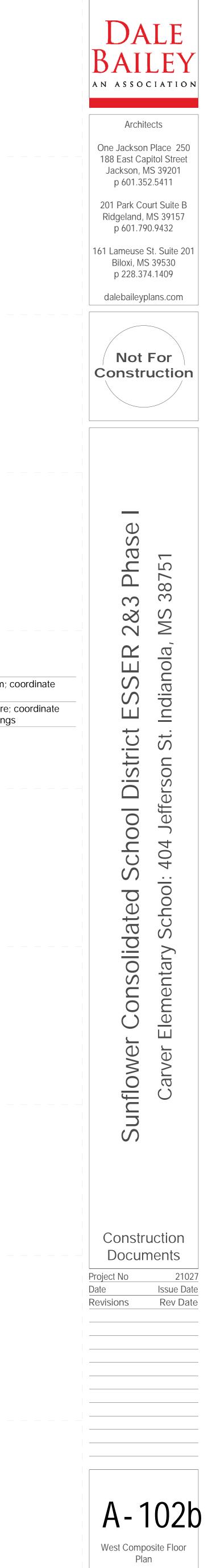
22 40 00 002 New touchless fixtures throughout (typical); see plumbing 22 42 00 002 New fixtures only in this toilet room; coordinate with mechanical 22 47 13 001 Install double drinking fountain here; coordinate with mechanical & electrical drawings 22 47 13 002 Install single drinking fountain here with bottle filler attachment; coordinate with mechanical & electrical drawings

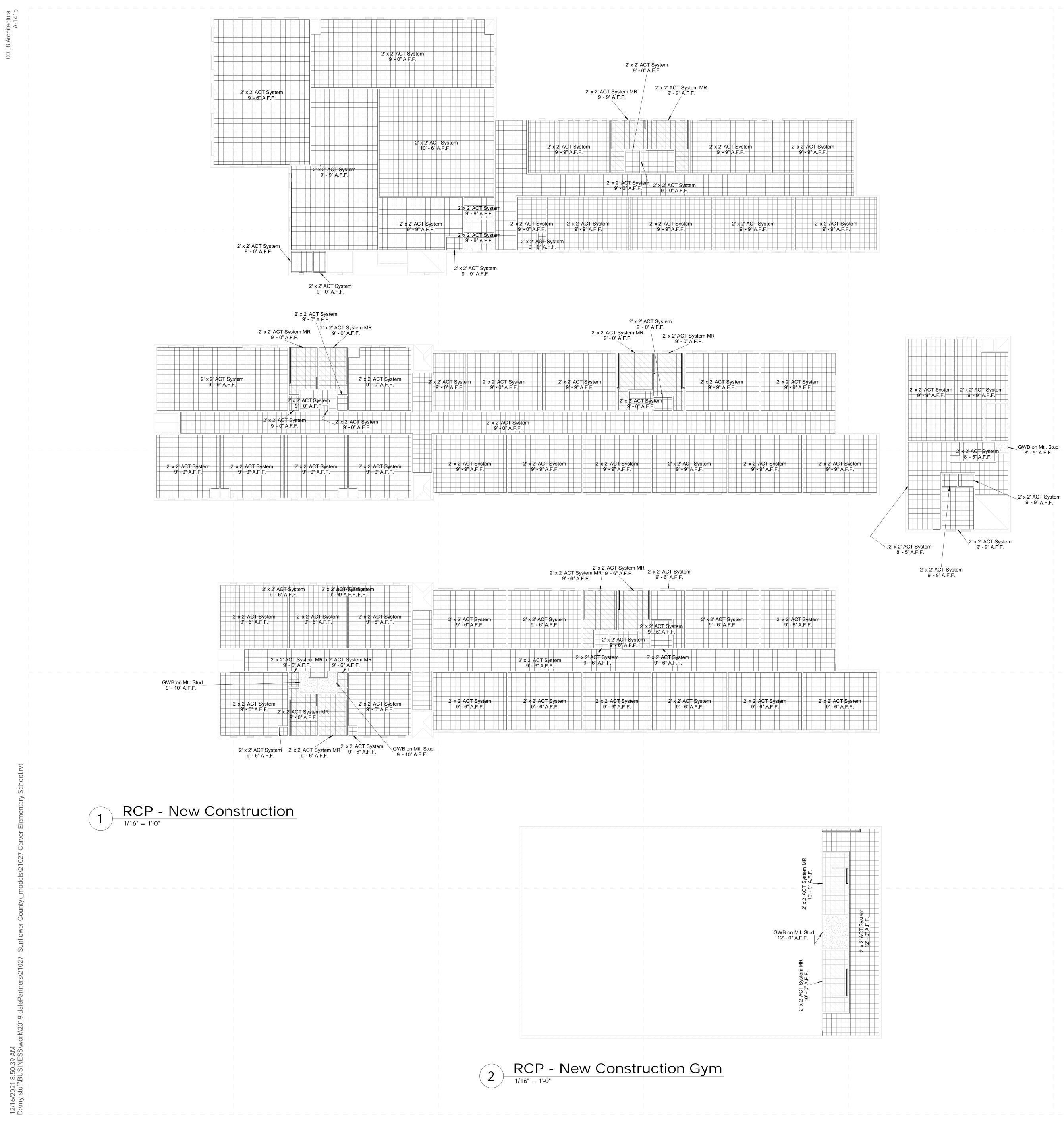












# General RCP Notes

- 1. All ceiling heights shall be same as existing or lower, unless noted otherwise.
- 2. Contractor shall paint all surfaces above 10'-0" at wall, roof, and ceiling, as well as anything attached therein at all exposed sections of ceilings where not covered by new 2x2 ACT, unless noted otherwise
- 3. Repair/replace any and all ceiling damaged due to construction activities.
- 4. Bent ceiling grid damaged due to construction activities shall be replaced or bent to appear as new in shape.

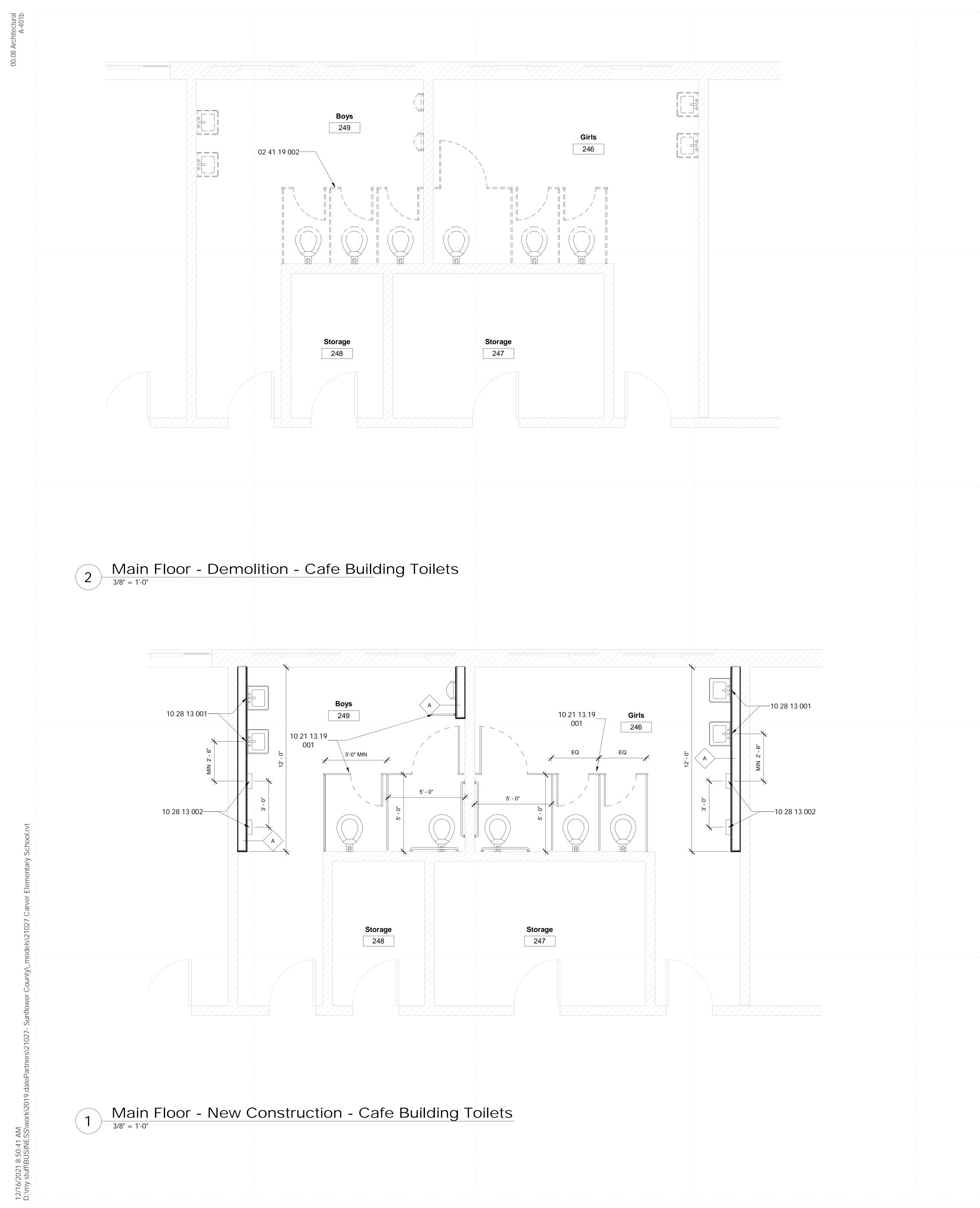
# Moisture Resistant Acoustical Lay In Ceiling

Ceiling Legend

	Colored Acoustical Lay In C
	Vinyl Faced Acoustical Lay
	Gypsum Board Ceiling
	2x2 Acoustical Lay In Ceilin
	Plaster/Stucco
	Concealed Fastender Painte
$\propto$	2x2 Fluorescent Fixture
	Surface-Mounted Fluoresce
0	Recessed Can Light Fixture
	HVAC Supply Grille
	HVAC Return Grille
▣	Exterior Wall Light
$\otimes$	Interior Wall Light

Open to Structure (OTS)





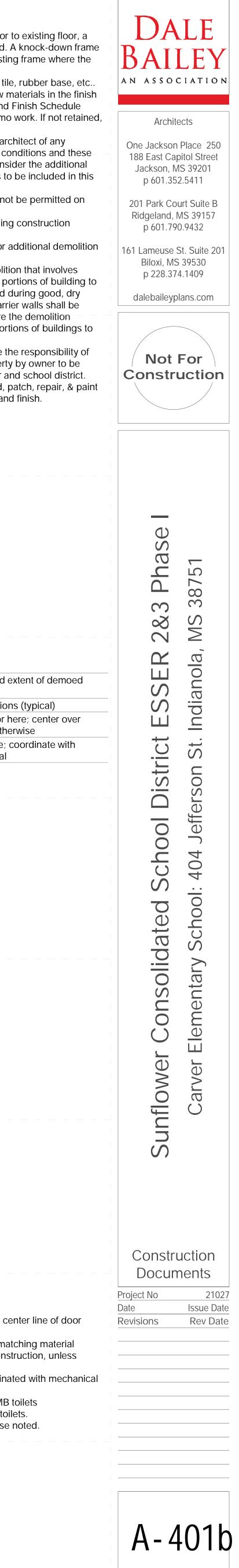
- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- 2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- 5. Burying or Burning of materials will not be permitted on site.
- 6. Repair any damage caused to building construction identified to remain.
- 7. Refer to other discipline drawings for additional demolition information as noted
- 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
- 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district. 10. Where areas are removed or altered, patch, repair, & paint
- to match adjacent surface material and finish.

# Specific Notes

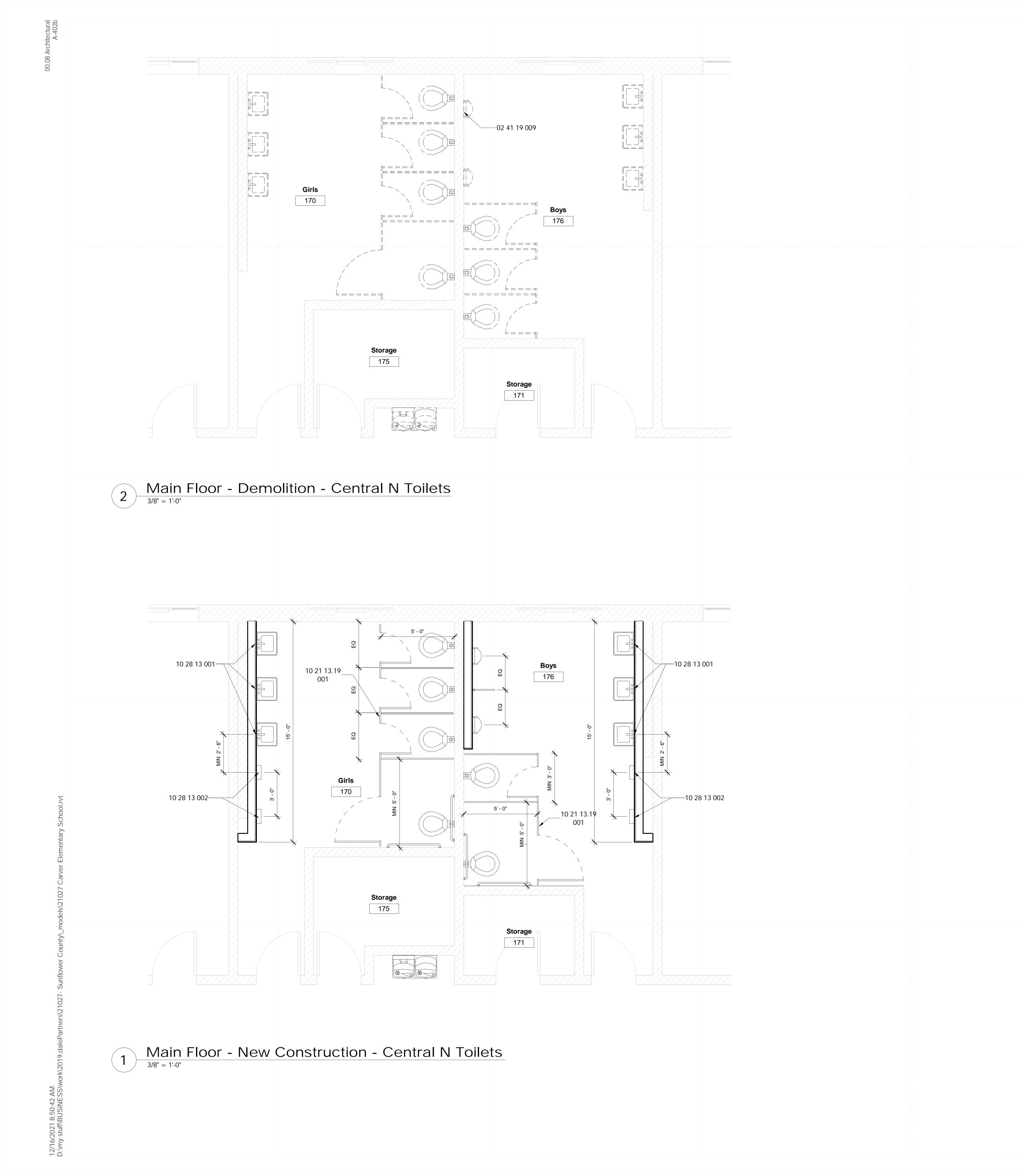
02 41 19 002	Dashed lines indicated work
10 21 13.19 001	Install new toilet partitio
10 28 13 001	Install wall hung mirror fixture unless noted oth
10 28 13 002	Install hand dryer here; electrical & mechanical

# General Finish Plan Notes

- 1. All flooring transitions are to occur at center line of door
- panel. 2. Patch tile at all floors and walls with matching material
- where missing or removed due to construction, unless noted otherwise. 3. New Fixture locations shall be coordinated with mechanical
- sheets.
- 4. Install new grab bars at all ADA & AMB toilets 5. Paint all exposed CMU at renovated toilets.
- 6. Paint all tile wainscot, unless otherwise noted.
- 7. Clean floor grout and reseal.



Cafe Building Toilets



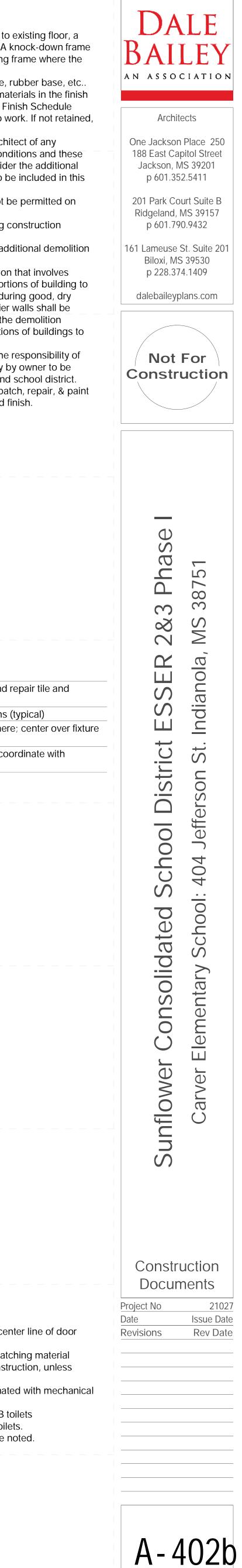
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# Specific Notes

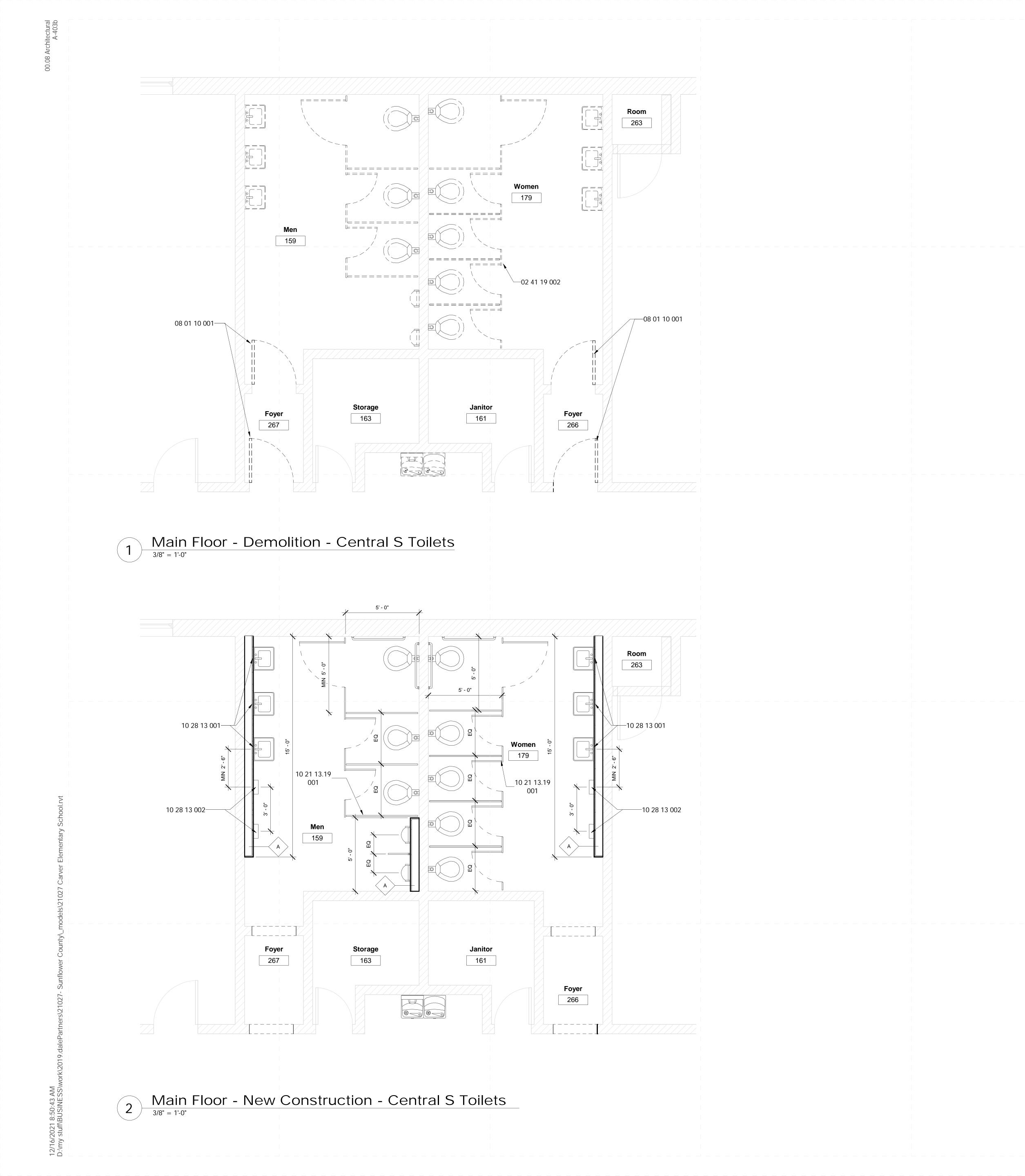
02 41 19 009	Remove wood; patch and substrate with matching
10 21 13.19 001	Install new toilet partitions
10 28 13 001	Install wall hung mirror her unless noted otherwise
10 28 13 002	Install hand dryer here; co electrical & mechanical

# General Finish Plan Notes

- 1. All flooring transitions are to occur at center line of door
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- Install new grab bars at all ADA & AMB toilets
   Paint all exposed CMU at renovated toilets.
- Faint all exposed Civit at renovated tollets.
   Paint all tile wainscot, unless otherwise noted.
   Clean floor grout and reseal.



Central North Toilets



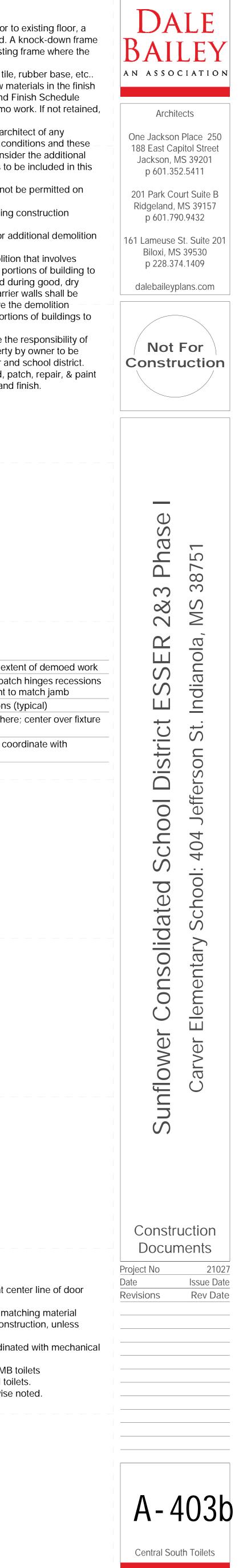
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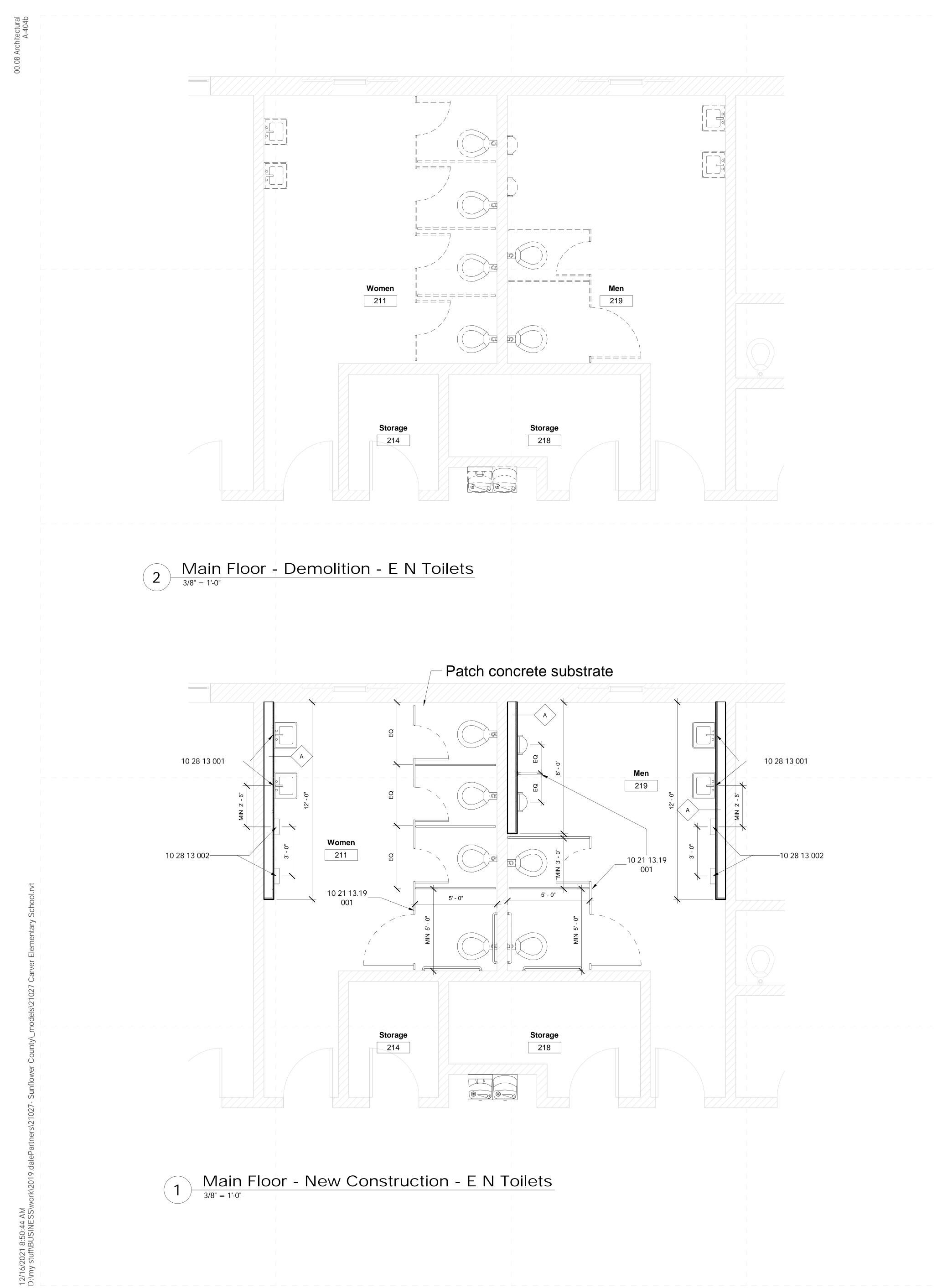
# Specific Notes

02 41 19 002	Dashed lines indicated ex
08 01 10 001	Remove Door Leaves; pat with plate covers & paint t
10 21 13.19 00	1 Install new toilet partitions
10 28 13 001	Install wall hung mirror he unless noted otherwise
10 28 13 002	Install hand dryer here; co electrical & mechanical

# General Finish Plan Notes

- 1. All flooring transitions are to occur at center line of door panel.
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- 4. Install new grab bars at all ADA & AMB toilets
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   Paint all tile wainscot, unless otherwise noted.
- Clean floor grout and reseal.





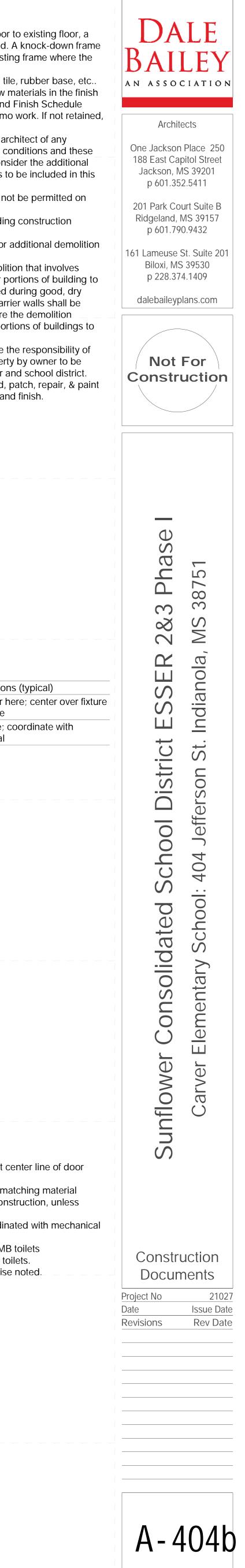
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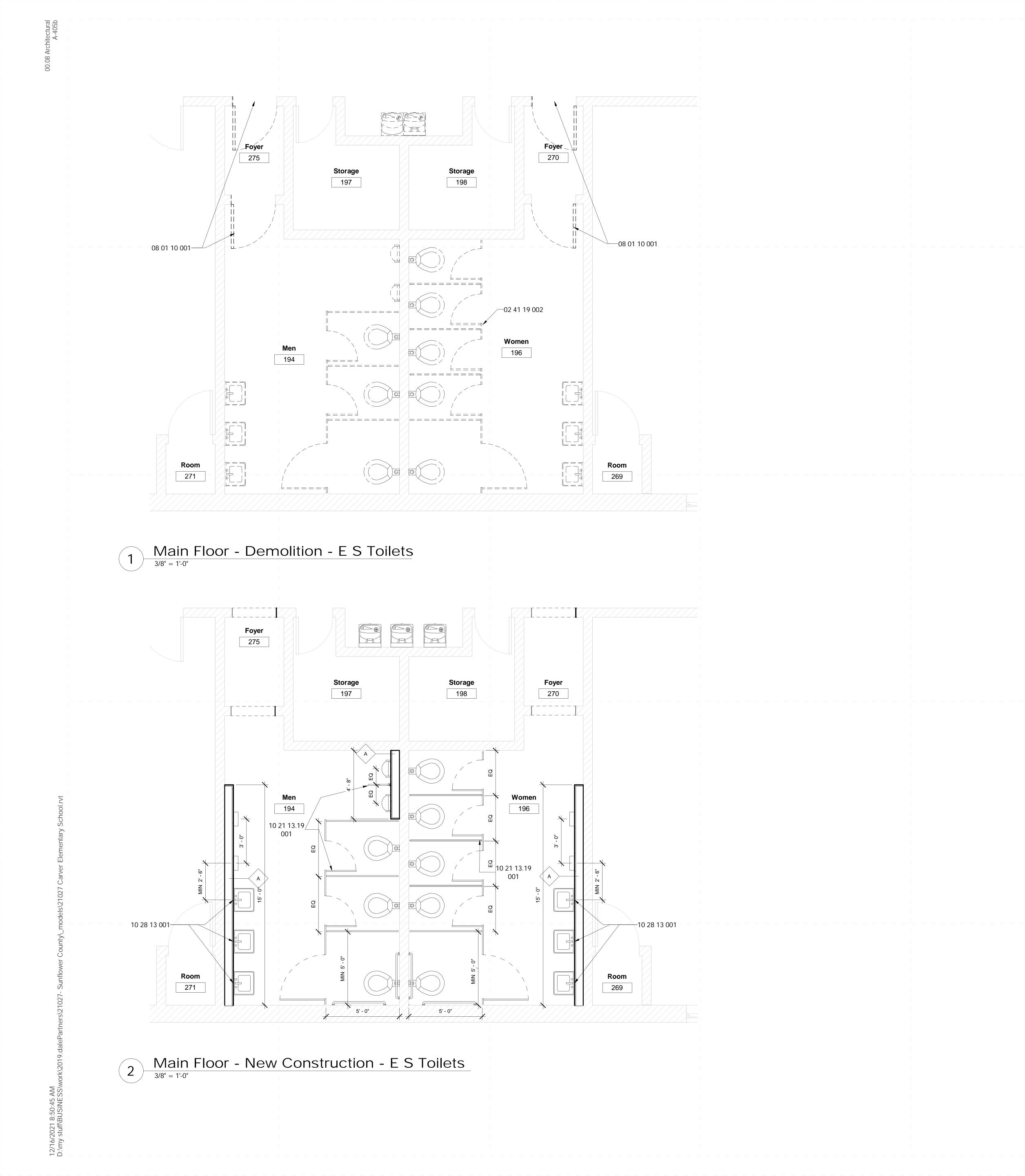
10 21 13.19 001	Install new toilet partition
10 28 13 001	Install wall hung mirror h unless noted otherwise
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- 4. Install new grab bars at all ADA & AMB toilets Paint all exposed CMU at renovated toilets. Paint all tile wainscot, unless otherwise noted. 7. Clean floor grout and reseal.



East Toilets N



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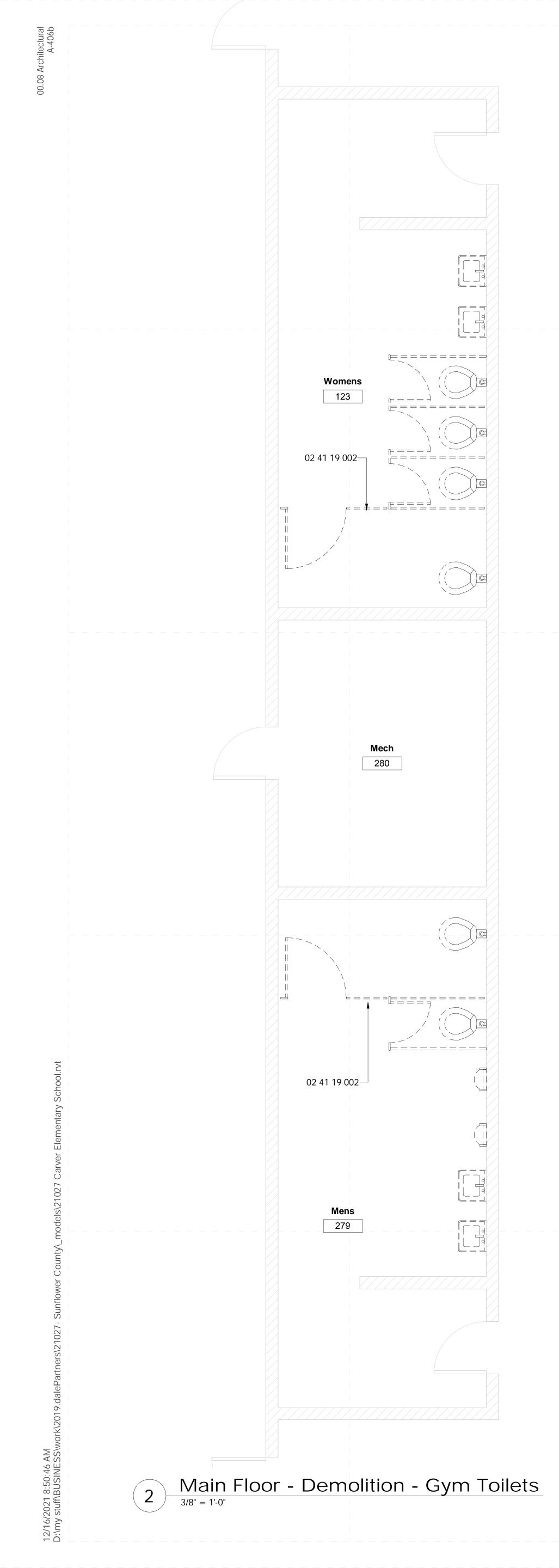
02 41 19 002	Dashed lines indicate work
08 01 10 001	Remove Door Leave recessions with plate match jamb
10 21 13.19 001	Install new toilet part
10 28 13 001	Install wall hung mirr fixture unless noted

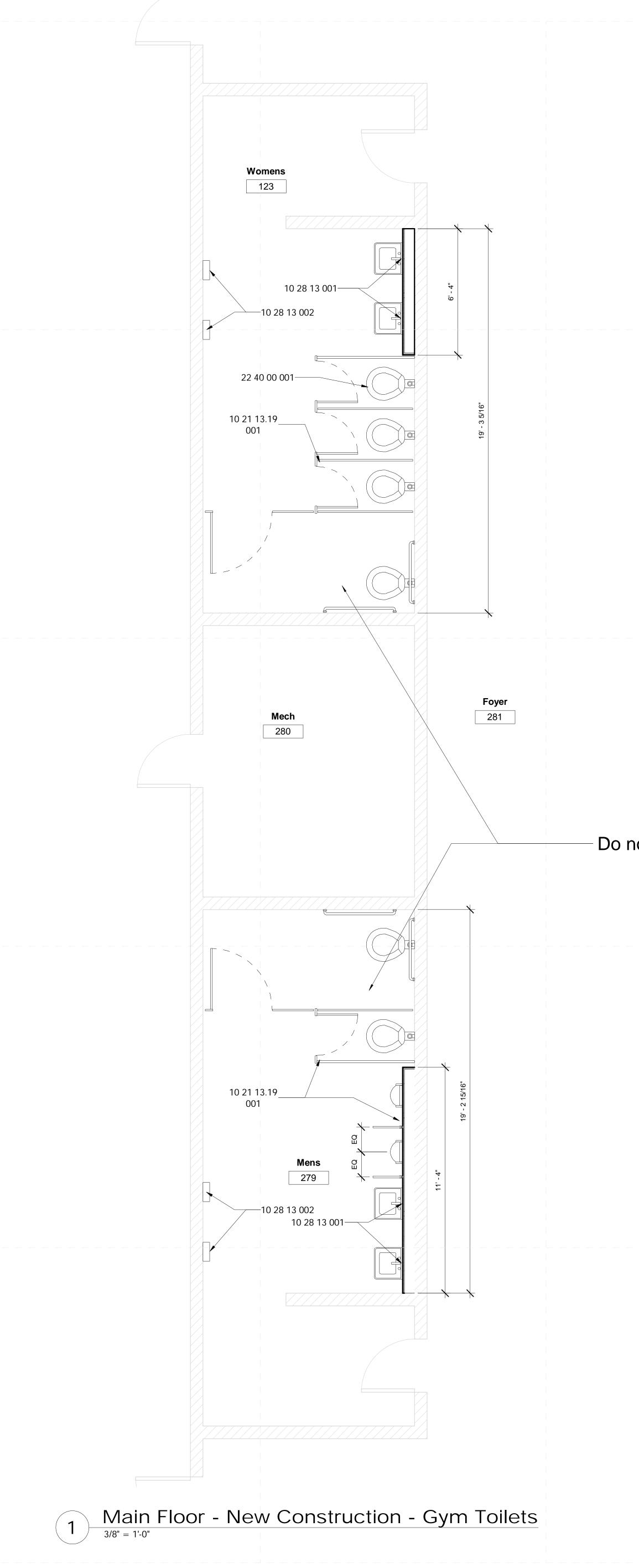
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   Paint all tile wainscot, unless otherwise noted.
- 7. Clean floor grout and reseal.









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- 10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

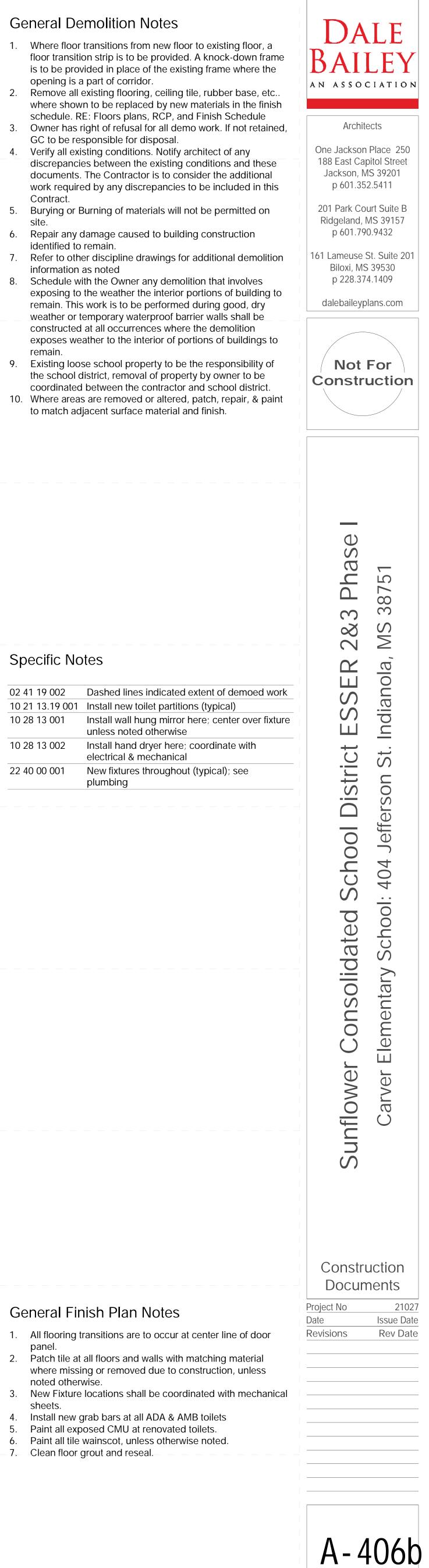
# Specific Notes

02 41 19 002	Dashed lines indicated ex
10 21 13.19 001	Install new toilet partition
10 28 13 001	Install wall hung mirror he unless noted otherwise
10 28 13 002	Install hand dryer here; c electrical & mechanical
22 40 00 001	New fixtures throughout ( plumbing

# - Do not paint wainscot in this room

# General Finish Plan Notes

- 1. All flooring transitions are to occur at center line of door
- panel. 2. Patch tile at all floors and walls with matching material
- where missing or removed due to construction, unless noted otherwise. 3. New Fixture locations shall be coordinated with mechanical
- sheets. 4. Install new grab bars at all ADA & AMB toilets
- 5. Paint all exposed CMU at renovated toilets. 6. Paint all tile wainscot, unless otherwise noted.
- 7. Clean floor grout and reseal.



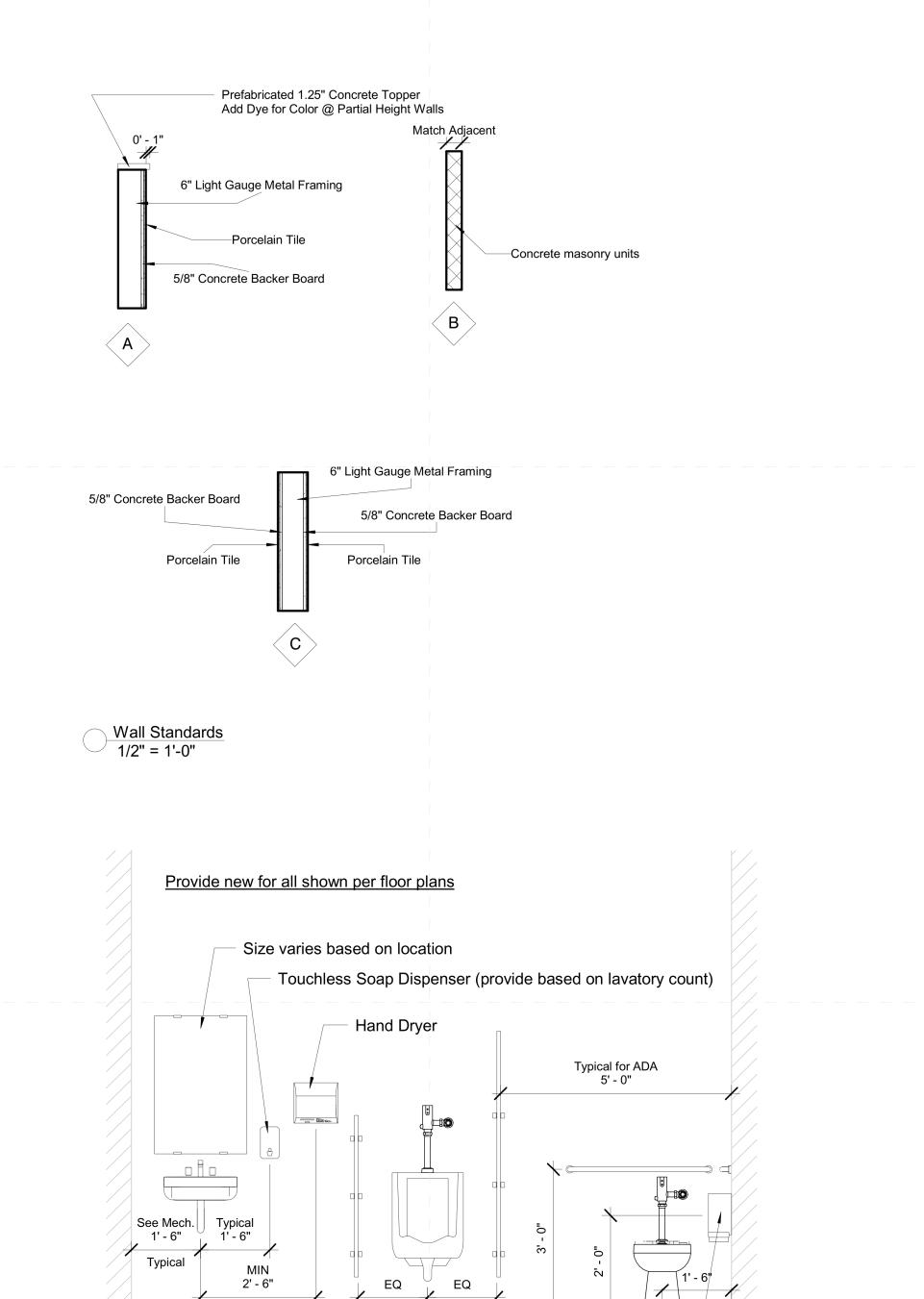
Gym Toilets

General	G-003c
00.01	

# All School's Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
08 11 13 001	Install metall door and frame to match existing for corrected swing
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 40 00 001	New fixtures throughout (typical); see plumbing
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new
22 42 00 002	New fixtures only in this toilet room; coordinate with mechanical
22 42 00 003	New touchless faucet at sink/cabinet; coordinate with mechanical
22 47 13 001	Install double drinking fountain here; coordinate with mechanical & electrical drawings
22 47 13 002	Install single drinking fountain here with bottle filler attachment; coordinate with mechanical & electrical drawings

-  $\Box$ 



**Toilet Paper** 

1 Typical Toilet Room Wall 1/2" = 1'-0"



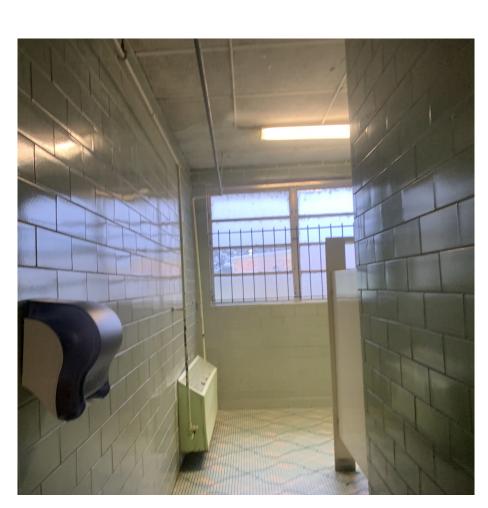


Front of School



Womens 65

Womens 119



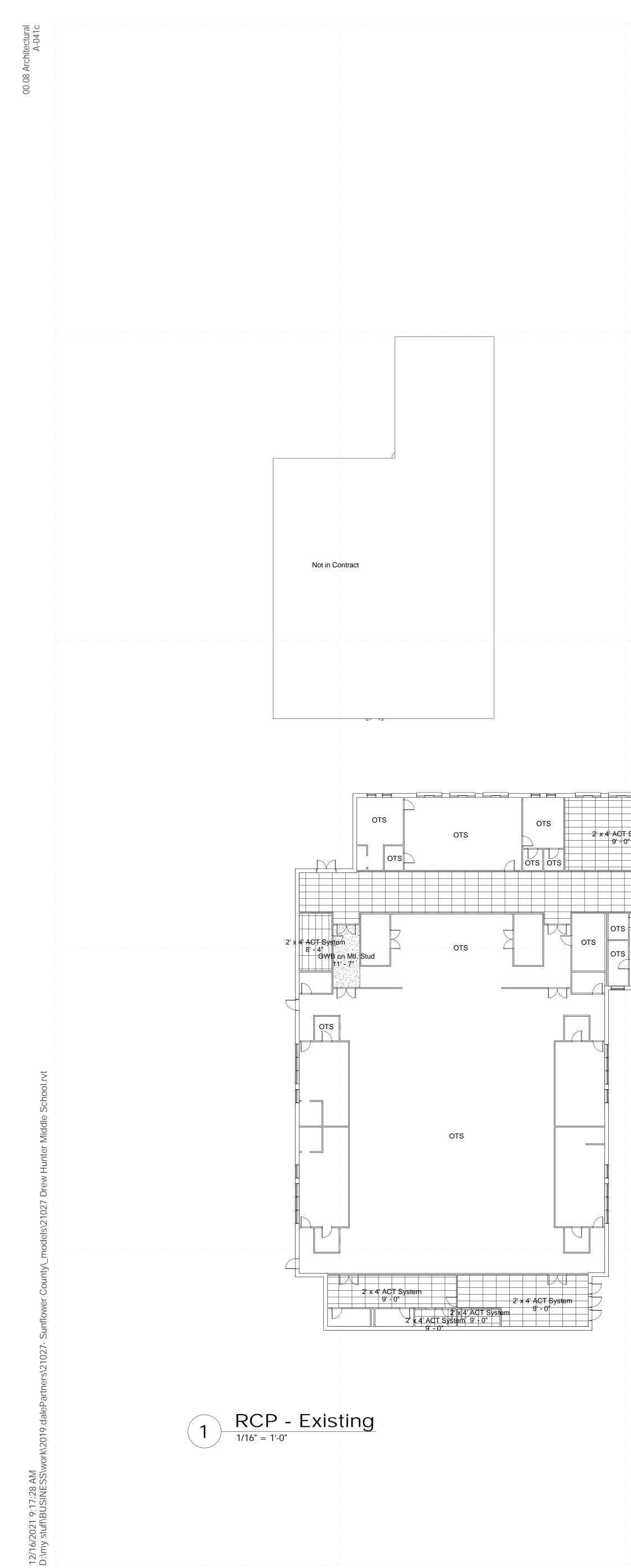
Mens 61

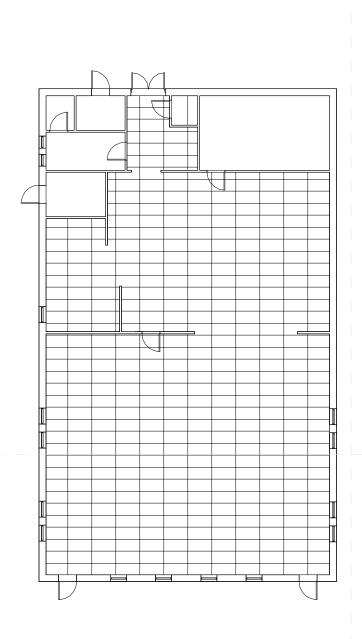


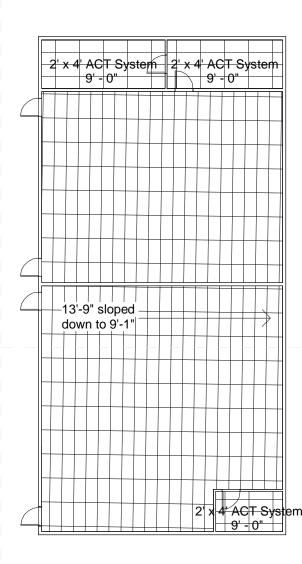
Mens 118











CT System	2' x 4' ACT Syst	tem 2' x 4' A6		ystem 2' x 4' ACT S 9' - 0"			T Systen2' x 4' ACT System 7" 8' - 11"		2' x 4' ACT System 8' - 11"	2' x 4' ACT System
				2' x 4' ACT System 9' - 0"			2' x 4' ACT System 8' - 11"			<u> </u>
S S	OTS	OTS	OTS *13'-9" to dec	2' x 4' ACT Syste 11' - 6" 2' x 4' ACT Syste 11' - 6" .k 2' x 4' ACT Syste 11' - 6"	em 2' x 4' ACT System 9' - 10"	2' x 4' ACT 9' - 0' 2' x 4' ACT Syste 9' - 0' 2' x 4' ACT Syste 9' - 0'' 2' x 4' ACT S	2' x 4' ACT System 2' x 9' - 0"	8' - 10"	2' x 4' ACT System	2' x 4' ACT System

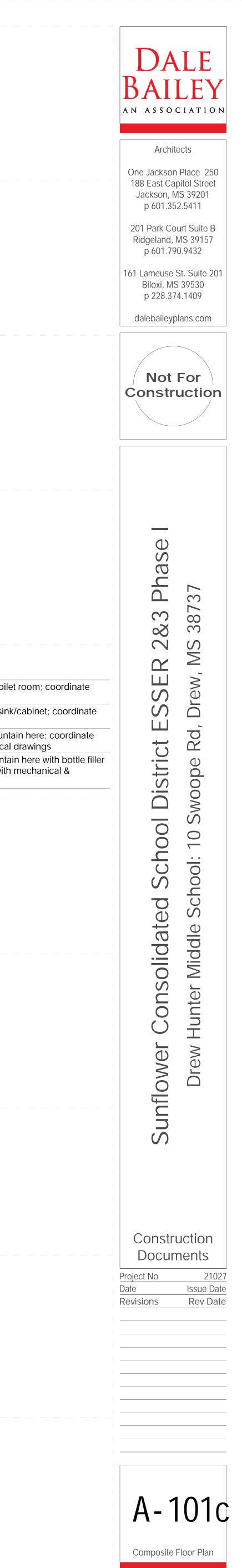
# DALE BAILEY General RCP Demolition Notes 1. Where ceiling transitions from new ceiling to existing ceiling, coordinate with Architect detail. AN ASSOCIATION 2. Remove all existing ceiling grid & tile unless noted otherwise, as well as any wall fasteners and/or mastics attached therein where shown to be replaced by new materials. Architects 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal. One Jackson Place 250 4. Verify all existing conditions. Notify architect of any 188 East Capitol Street discrepancies between the existing conditions and these Jackson, MS 39201 documents. The Contractor is to consider the additional p 601.352.5411 work required by any discrepancies to be included in this Contract. 201 Park Court Suite B 5. Burying or Burning of materials will not be permitted on Ridgeland, MS 39157 site p 601.790.9432 6. Repair any damage caused to building construction identified to remain. 161 Lameuse St. Suite 201 7. Refer to other discipline drawings for additional demolition Biloxi, MS 39530 information as noted. p 228.374.1409 8. Existing loose school property to be the responsibility of the school district, removal of property by owner to be dalebaileyplans.com coordinated between the contractor and school district. 9. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish. 10. No work in rooms with ceiling open to the structure above, unless noted otherwise. Not For Construction Ceiling Legend Moisture Resistant Acoustical Lay In Ceiling Phase Colored Acoustical Lay In Ceiling Vinyl Faced Acoustical Lay In Ceiling ŝ 387 Gypsum Board Ceiling $\mathcal{O}$ $\infty$ 2x2 Acoustical Lay In Ceiling $\sim$ S $\geq$ SER Plaster/Stucco $\geq$ S Concealed Fastender Painted Metal Soffit $\square$ ш 0 School District $\bigotimes$ 2x2 Fluorescent Fixture $\mathbf{C}$ oope Surface-Mounted Fluorescent Light Fixture Recessed Can Light Fixture $\bigcirc$ 10 HVAC Supply Grille :|00 HVAC Return Grille 5 Consolidated S Exterior Wall Light Middle $\bigotimes$ Interior Wall Light Open to Structure (OTS) Hunter Sunflower eW Construction Documents Project No 21027 Issue Date Date Rev Date Revisions

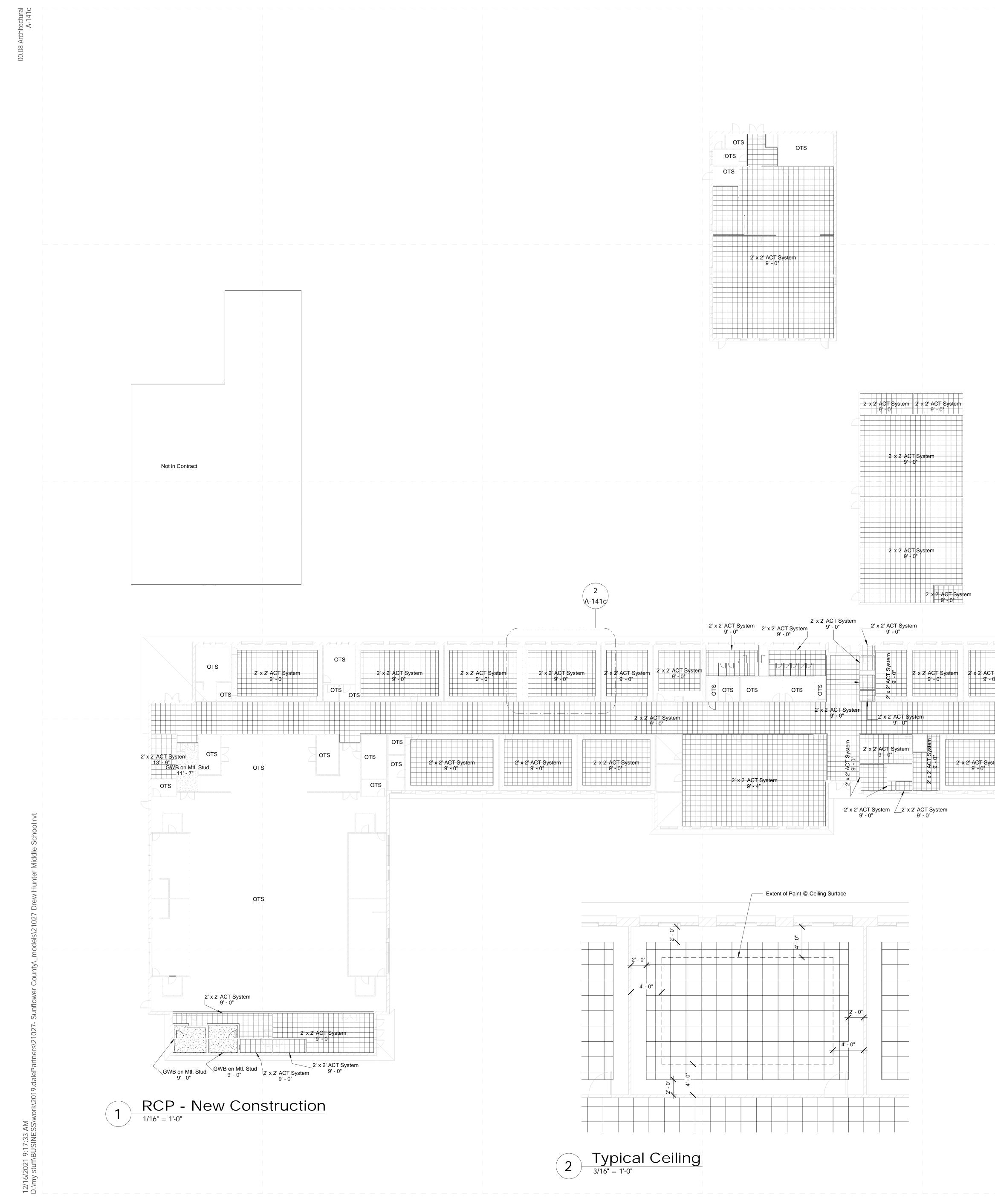






22 42 00 002	New fixtures only in this toile with mechanical
22 42 00 003	New touchless faucet at sin with mechanical
22 47 13 001	Install double drinking fount with mechanical & electrical
22 47 13 002	Install single drinking founta attachment; coordinate with electrical drawings





	G 1. 2. 3. 4.	noted otherwise. Contractor shall paint all surfaces above and ceiling, as well as anything attached exposed sections of ceilings where not of ACT, unless noted otherwise. Repair/replace any and all ceiling damage construction activities.
7 System       2 + 2 ACT System         9 - 0       2 + 2 ACT System         2 + 2 ACT System       2 + 2 ACT System         2 + 2 ACT System       2 + 2 ACT System         2 + 2 ACT System       2 + 2 ACT System		Ceiliry       Moisture Resistant Acoustical         Image: Colored Acoustical Lay In Ceiling         Image: Colored Fastender Painted         Image: Colored Fastender Painted         Image: Colored Fastender Fixture         Image: Color
	Blocking i T i T	20 GA Prefinished Aluminum Trir

sting or lower, unless e 8'-8" at wall, roof, ed therein at all covered by new 2x2 aged due to truction activities shall – n shape.

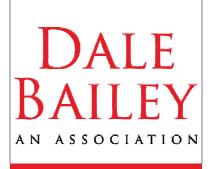
al Lay In Ceiling

eiling

n Ceiling

d Metal Soffit

nt Light Fixture



Architects

One Jackson Place 250 188 East Capitol Street Jackson, MS 39201 p 601.352.5411

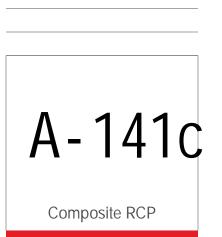
201 Park Court Suite B Ridgeland, MS 39157 p 601.790.9432

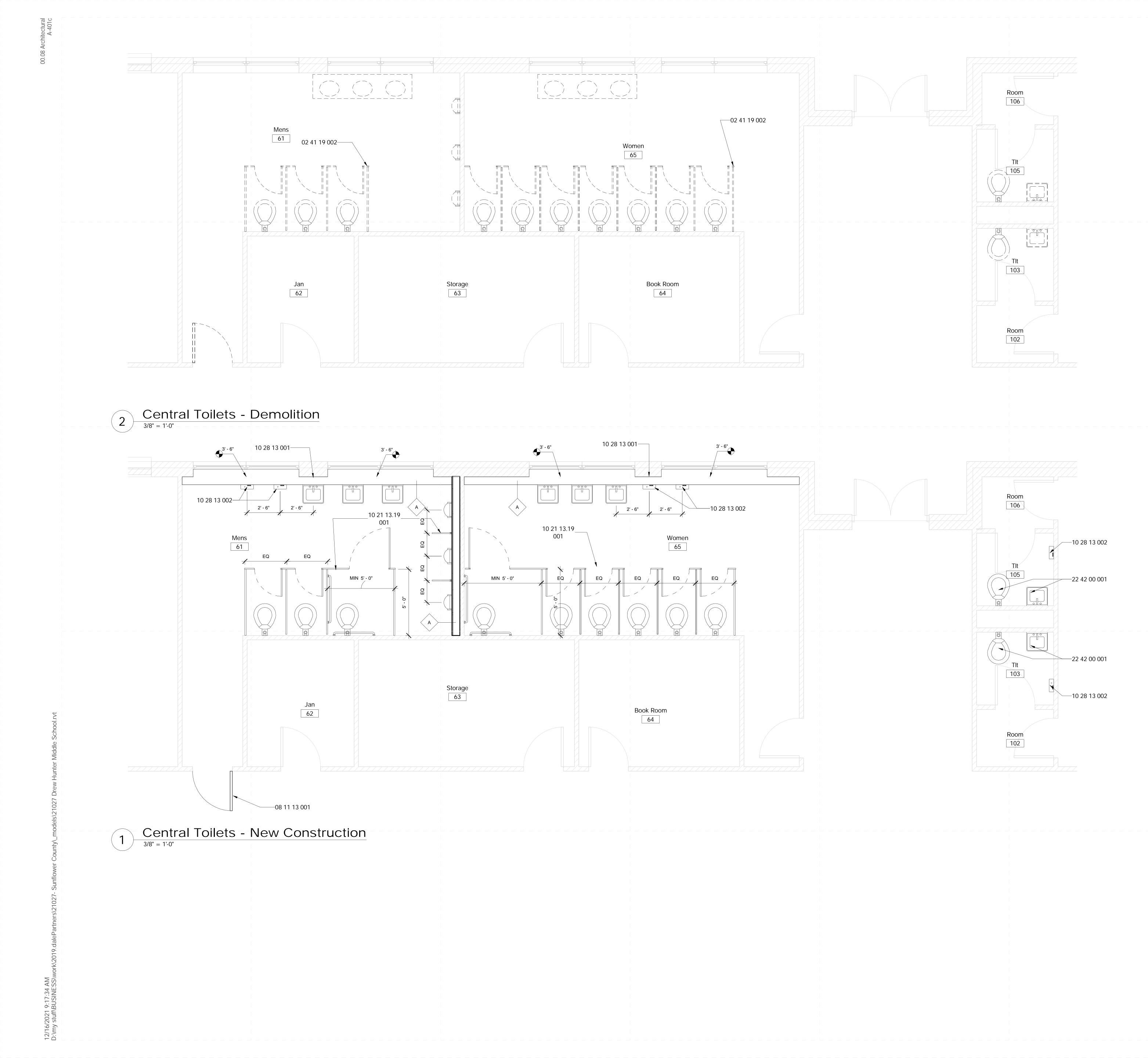
161 Lameuse St. Suite 201 Biloxi, MS 39530 p 228.374.1409

dalebaileyplans.com









- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- 2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- 5. Burying or Burning of materials will not be permitted on 6. Repair any damage caused to building construction
- identified to remain. 7. Refer to other discipline drawings for additional demolition
- information as noted 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to
- remain. 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- 10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

# Specific Notes

02 41 19 002	Dashed lines indicated exten
08 11 13 001	Install metall door and frame for corrected swing
10 21 13.19 001	Install new toilet partitions (ty
10 28 13 001	Install wall hung mirror here; unless noted otherwise
10 28 13 002	Install hand dryer here; coord electrical & mechanical
22 42 00 001	Coordinate new fixture install mechanical, typical for new

# General Finish Plan Notes

- 1. All flooring transitions are to occur at center line of door
- panel. 2. Patch tile at all floors and walls with matching material
- where missing or removed due to construction, unless noted otherwise. 3. New Fixture locations shall be coordinated with mechanical
- sheets. 4. Install new grab bars at all ADA & AMB toilets
- 5. Repair damaged glass at toilet room renovations with like material.
- 6. Clean floor grout and reseal.

xtent of demoed work me to match existing

s (typical) ere; center over fixture

coordinate with

stallations with



# Architects

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2&3 Phase 37 387 MS SSER  $\geq$ ш Rd, District ope School 10 :|00 5 Consolidated S Middle Hunter Sunflower Drew Construction

A-401c Central Toilets

Documents

Project No

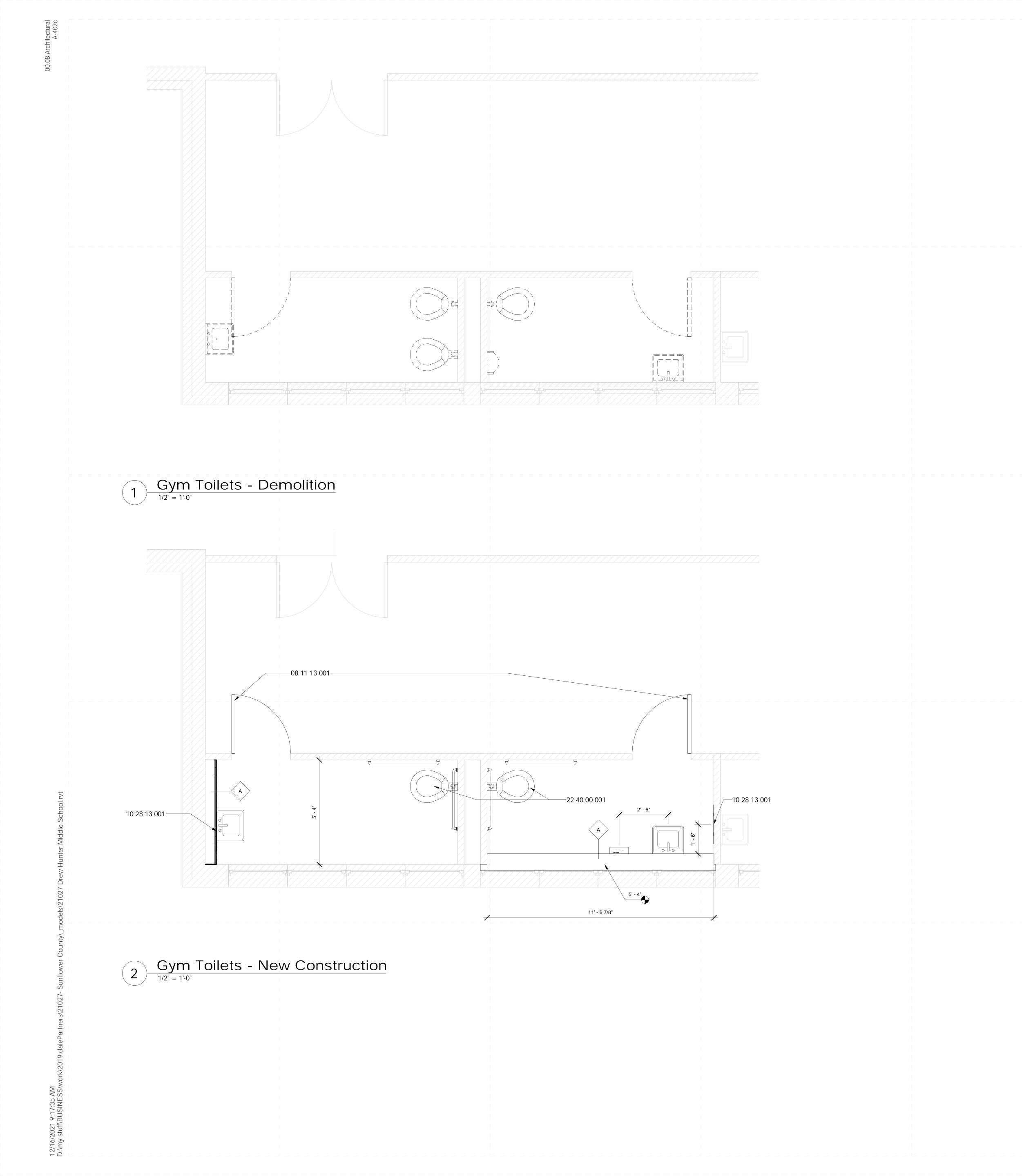
Revisions

Date

21027

Issue Date

Rev Date



- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
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- 6. Repair any damage caused to building construction
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- to match adjacent surface material and finish.

# Specific Notes

08 11 13 001	Install metall door and fram corrected swing
10 28 13 001	Install wall hung mirror here unless noted otherwise
22 40 00 001	New fixtures throughout (ty

# General Finish Plan Notes

- 1. All flooring transitions are to occur at center line of door panel. 2. Patch tile at all floors and walls with matching material where missing or removed due to construction, unless noted otherwise.
- 3. New Fixture locations shall be coordinated with mechanical sheets.
- 4. Install new grab bars at all ADA & AMB toilets 5. Repair damaged glass at toilet room renovations with like
- material. 6. Clean floor grout and reseal.

ame to match existing for ere; center over fixture (typical); see plumbing



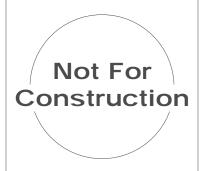
# Architects

One Jackson Place 250 188 East Capitol Street Jackson, MS 39201 p 601.352.5411

201 Park Court Suite B Ridgeland, MS 39157 p 601.790.9432

161 Lameuse St. Suite 201 Biloxi, MS 39530 p 228.374.1409

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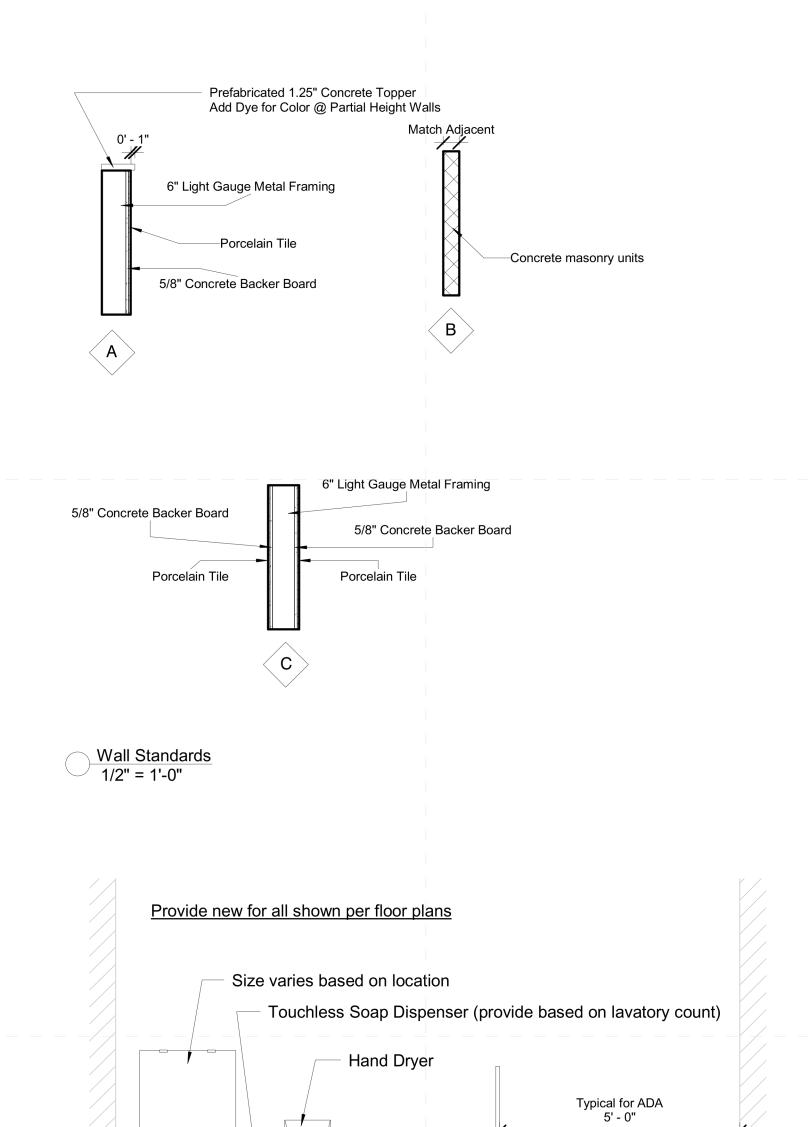
Issue Date Date Rev Date Revisions



# All School's Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
08 11 13 002	Install new 36" HM Door and Frame with new hardware
08 11 13 003	Remove Door jambs and finish masonry edge; ensure MIN 32" wide opening; paint to match CMU
09 30 13 005	Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new
22 42 00 002	New fixtures only in this toilet room; coordinate with mechanical
22 42 00 003	New touchless faucet at sink/cabinet; coordinate with mechanical
22 47 13 001	Install double drinking fountain here; coordinate with mechanical & electrical drawings
22 47 13 002	Install single drinking fountain here with bottle filler attachment; coordinate with mechanical & electrical drawings

-  $\Box$ 



\_\_\_\_ (Mas.

See Mech. Typical 1' - 6" 1' - 6" Typical MII

1 Typical Toilet Room Wall 1/2" = 1'-0"

MIN 2' - 6"

EQ

Toilet

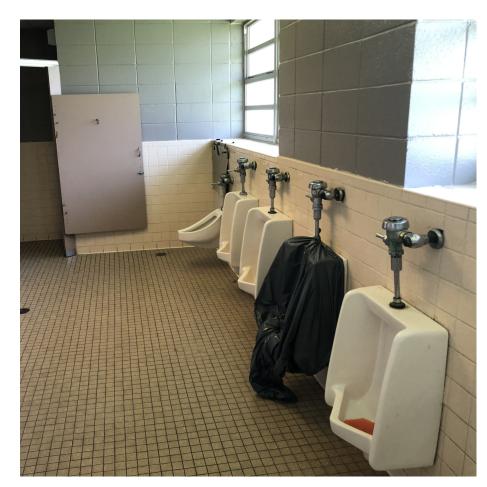
EQ



Front of School



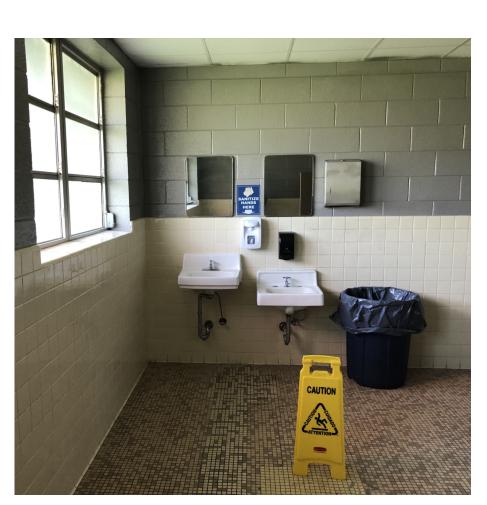
Toilets South



**Toilets Central** 



**Toilets North** 



**Toilets South** 



Toilets Central



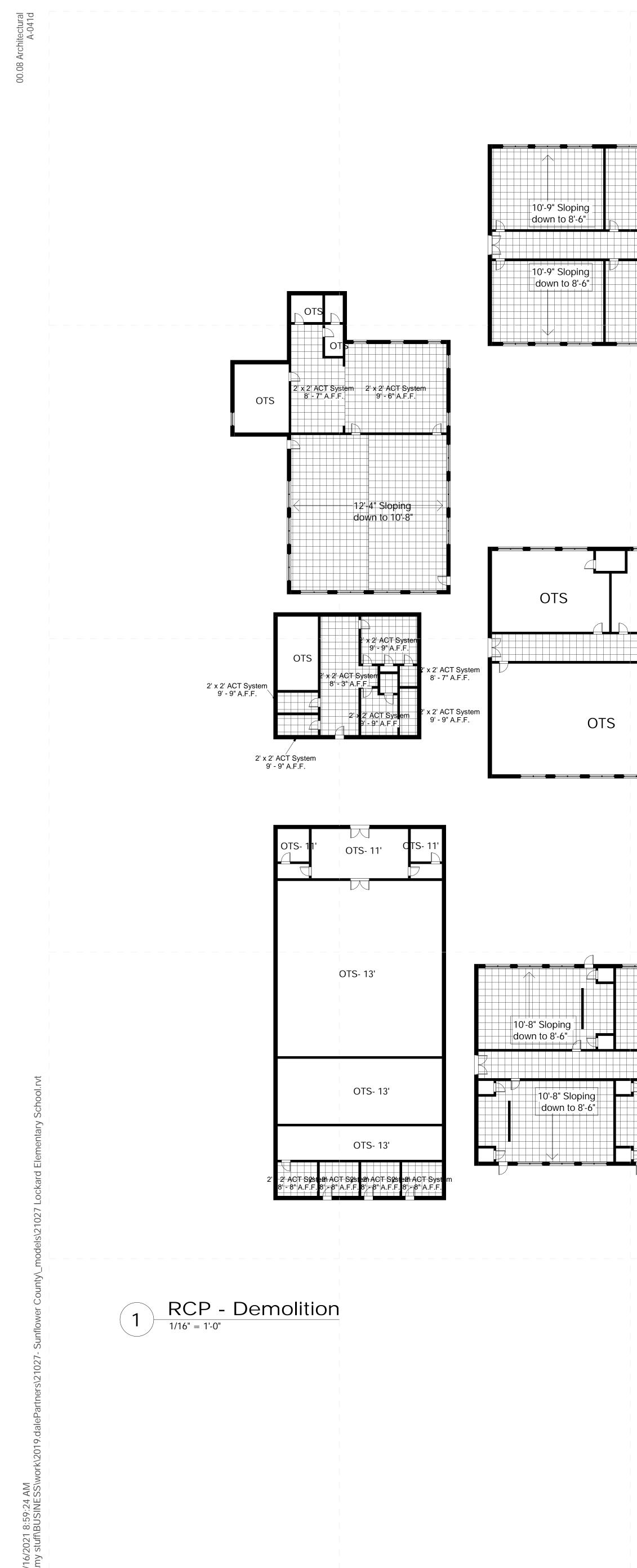
Toilets North



# Construction Documents 21027 Project No

Issue Date Rev Date Date Revisions



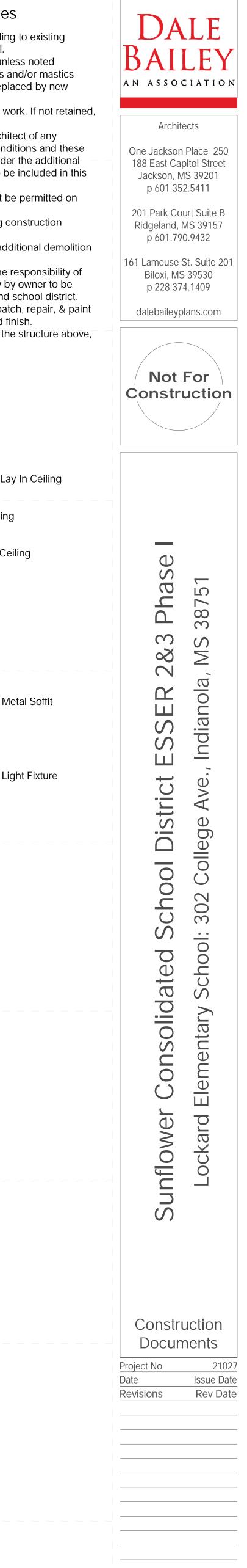


				<u> </u>		
10'-9" Sloping down to 8'-6"	10'-9" Sloping down to 8'-6"		2' x 2' ACT Syster 8' - 4" A.F.F. 10" A.F.F. 2' x 2' ACT System 10" A.F.F. 2' x 2' ACT System 10" - 0" A.F.F. 10' t	CT System CA.F.F. Cown to 8'-6"	10'-9" Sloping down to 8'-6"	
		2'x	2' ACT System 8' - 9" A.F.F.			
	10'-9" Sloping down to 8'-6"	-10'-9" Sloping down to 8'-6" 2' x : 7'	2' ACT System 10' - 0" A.F.F. 10' A.F.F.	10'-9" Sloping down to 8'-6"	10'-9" Sloping down to 8'-6"	
			2' x 2' ACT System 8' - 4" A.F.F.			

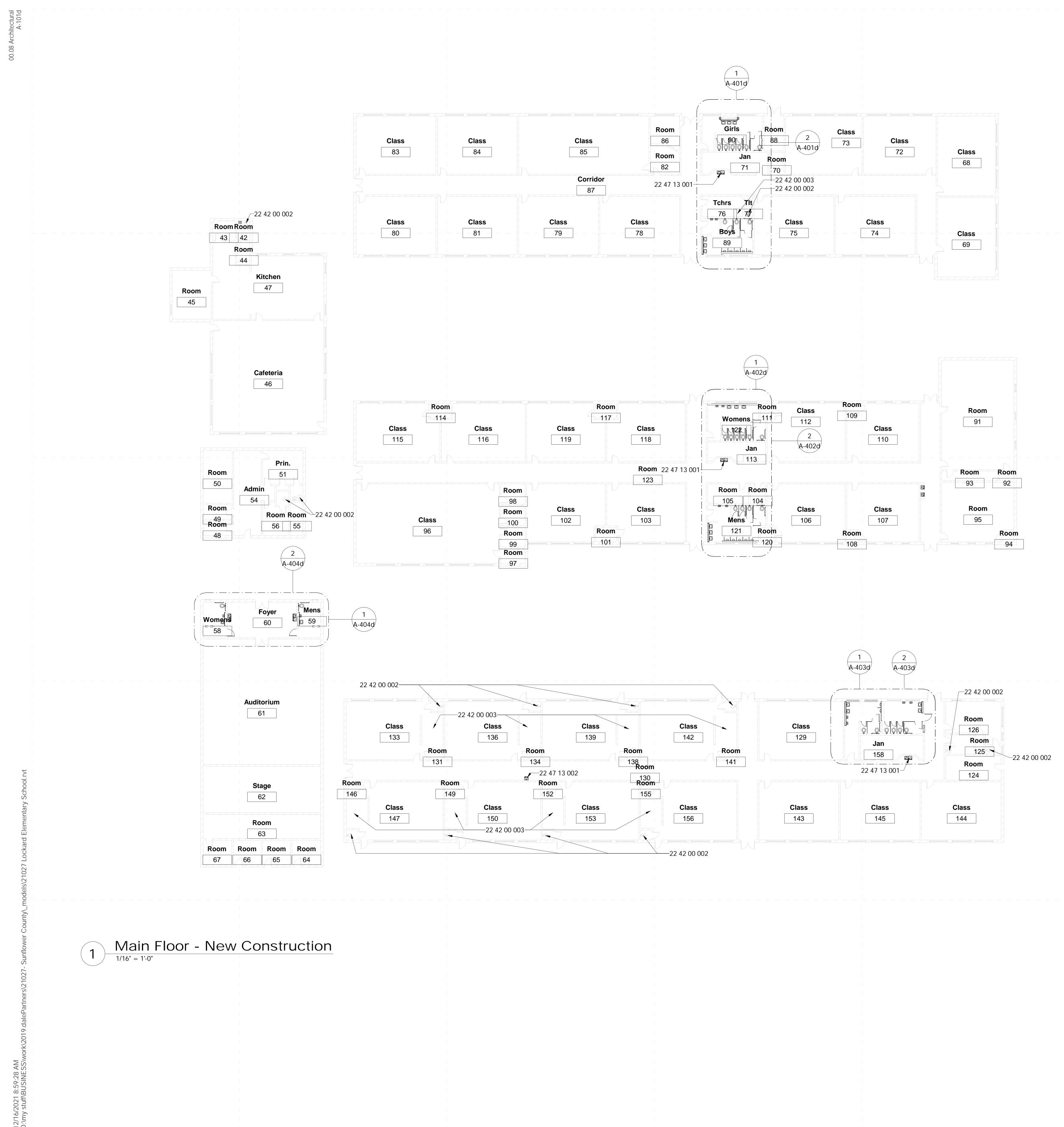
OTS	OTS	OTS	2' x 2' ACT System 8'- 1" A.F.F.	OTS	2' x 2' ACT System 9' - 5" A.F.F.
		2' ×	2' ACT System 9' - 5" A.F.F.		
			OTS		
OTS	OTS	OTS		OTS	2' x 2' ACT System 9' - 6" A.F.F.
OTS			2' x 2' ACT System 8' - 1" A.F.F.		

		-8" Sloping	2' x 2' ACT System 2' x 2' ACT System 10'-8" Sloping down to 8'-6" 2' x 2' ACT System 2' x 2' ACT System 9'-3" A.F.F.	
	2' x 2' ACT Syste 8' - 10" A.F.F.			OTS <
10'-8" Sloping down to 8'-6"	10'-8" Sloping down to 8'-6"	10'-8" Sloping down to 8'-6"	10'-8" Sloping down to 8'-6" down to 8'-6"	
				OTS

	General RCP Demolition Notes
4 ACT System 8' - 4" A.F.F.	<ol> <li>Where ceiling transitions from new ceiling ceiling, coordinate with Architect detail.</li> <li>Remove all existing ceiling grid &amp; tile unles otherwise, as well as any wall fasteners an attached therein where shown to be replat materials.</li> <li>Owner has right of refusal for all demo woil GC to be responsible for disposal.</li> <li>Verify all existing conditions. Notify archite discrepancies between the existing conditions documents. The Contractor is to consider work required by any discrepancies to be Contract.</li> <li>Burying or Burning of materials will not be site.</li> <li>Repair any damage caused to building co identified to remain.</li> <li>Refer to other discipline drawings for addition as noted.</li> <li>Existing loose school property to be the re the school district, removal of property by coordinated between the contractor and s</li> <li>Where areas are removed or altered, patch to match adjacent surface material and fin</li> <li>No work in rooms with ceiling open to the unless noted otherwise.</li> </ol>
	Ceiling Legend
	Moisture Resistant Acoustical Lay
	Colored Acoustical Lay In Ceiling
	Vinyl Faced Acoustical Lay In Ceil
2' x 2' ACT System	Gypsum Board Ceiling
	2x2 Acoustical Lay In Ceiling
	Plaster/Stucco
	Concealed Fastender Painted Met
2' x 2' ACT System 9'-3" A.F.F.	2x2 Fluorescent Fixture
	Surface-Mounted Fluorescent Light
	O Recessed Can Light Fixture
	HVAC Supply Grille
	HVAC Return Grille
	Exterior Wall Light
	Interior Wall Light
	Open to Structure (OTS)
OTS OTS OTS OTS	

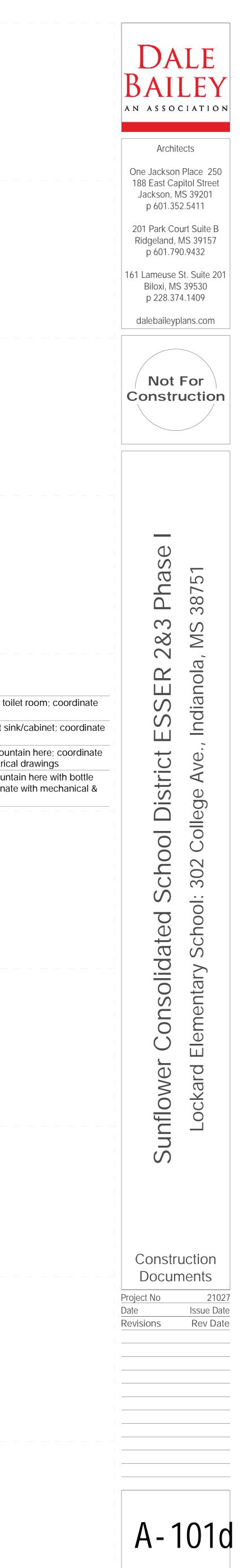




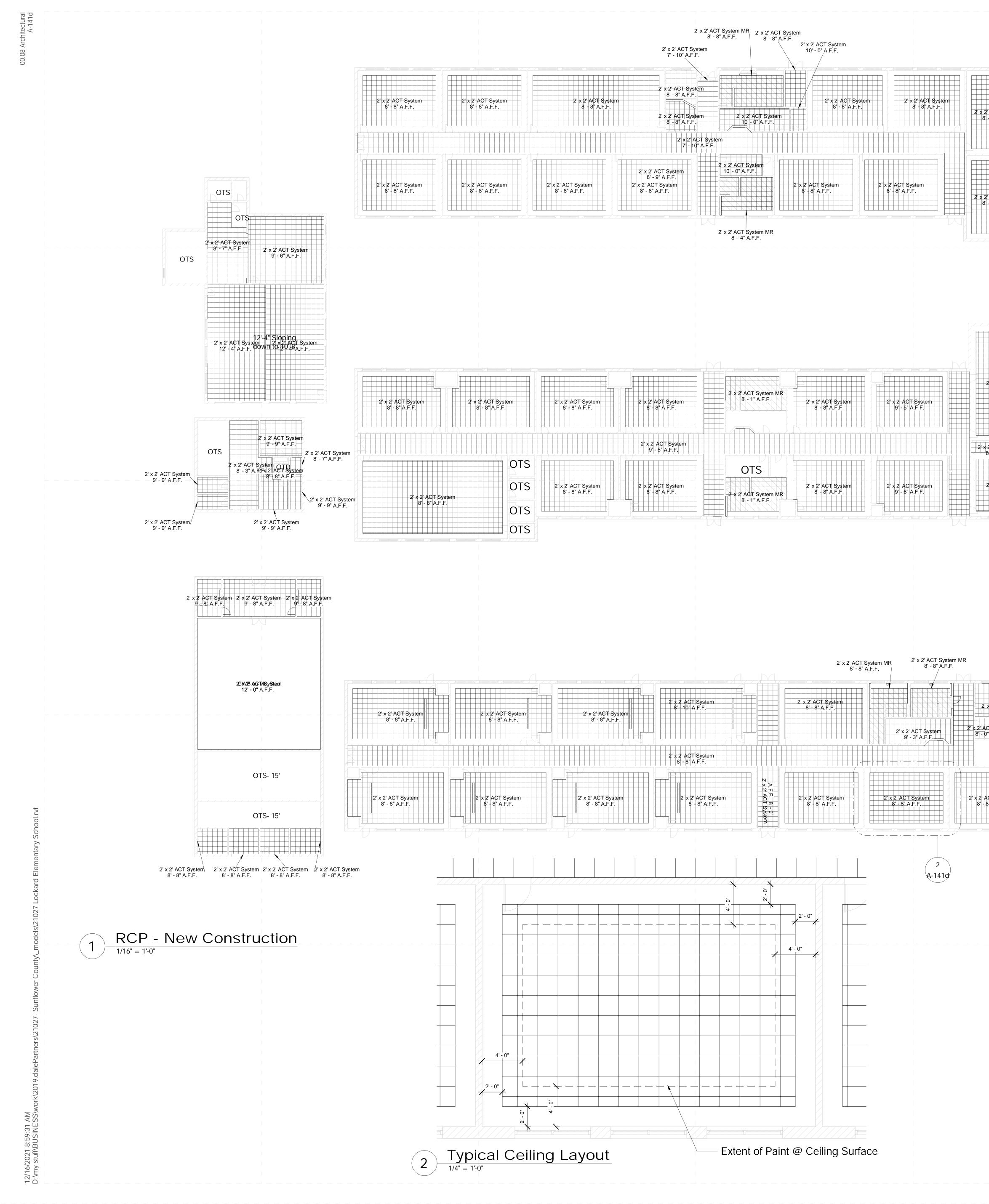


# Specific Notes

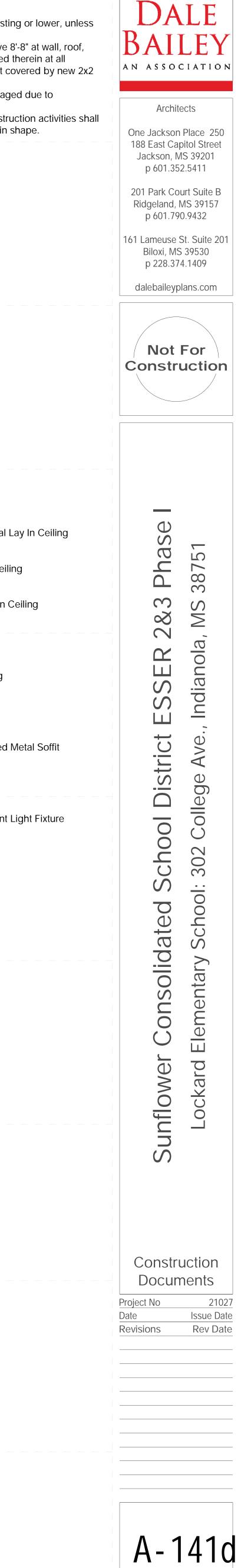
22 42 00 002	New fixtures only in this to with mechanical
22 42 00 003	New touchless faucet at si with mechanical
22 47 13 001	Install double drinking fou with mechanical & electric
22 47 13 002	Install single drinking foun filler attachment; coordina electrical drawings



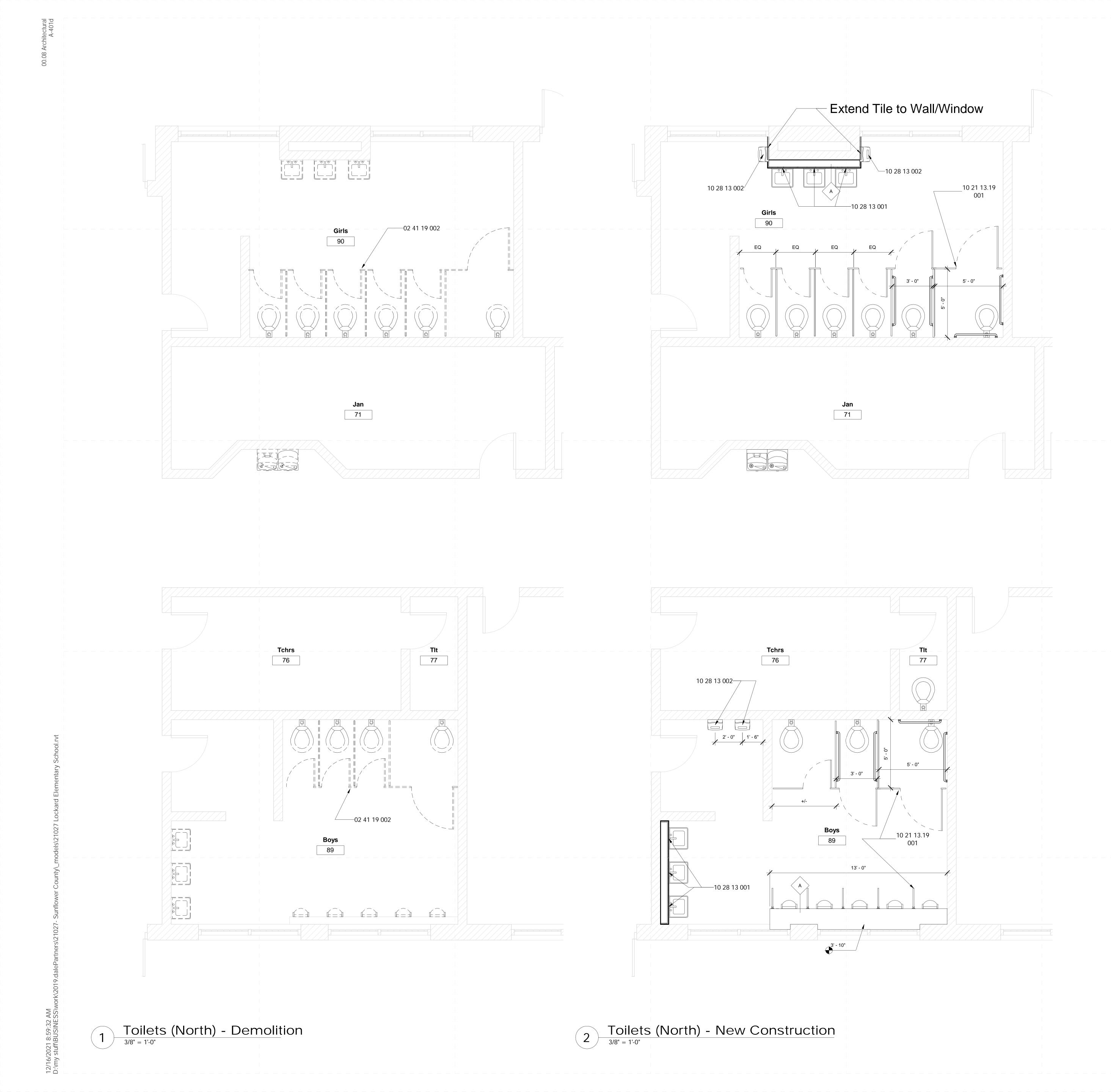
Floor Plans



ZACT System -4"A.F.F. -3"A.F.F.	<ol> <li>All ceiling heights shall be same as exist noted otherwise.</li> <li>Contractor shall paint all surfaces above and ceiling, as well as anything attached exposed sections of ceilings where not of ACT, unless noted otherwise</li> <li>Repair/replace any and all ceiling damage construction activities.</li> <li>Bent ceiling grid damaged due to constr be replaced or bent to appear as new in</li> </ol>
2' ACT System 2' ACT System 3"-1"A.F.F. 2' x 2' ACT System 9'- 3"A.F.F. 2' x 2' ACT System 9'- 4" A.F.F.	Ceiling Legend   Image: Second secon
x2 ACT System 81-0"AFF GT System 8'-0"AFF. OTS GT System 8'AFF.	<ul> <li>HVAC Supply Grille</li> <li>HVAC Return Grille</li> <li>Exterior Wall Light</li> <li>Interior Wall Light</li> <li>Open to Structure (OTS)</li> </ul>



Composite RCP



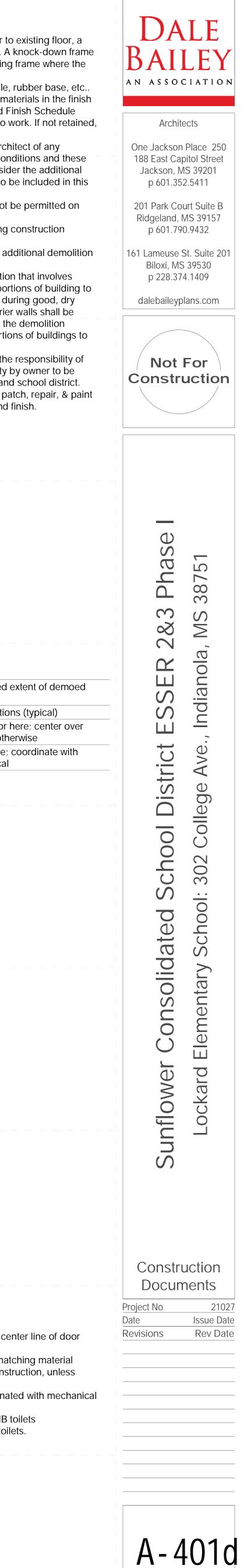
- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
   Owner has right of refusal for all demo work. If not retained,
- GC to be responsible for disposal.
  4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this
- Contract.
  5. Burying or Burning of materials will not be permitted on site.
- 6. Repair any damage caused to building construction identified to remain.
- Refer to other discipline drawings for additional demolition information as noted
- 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- 10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

# **Specific Notes**

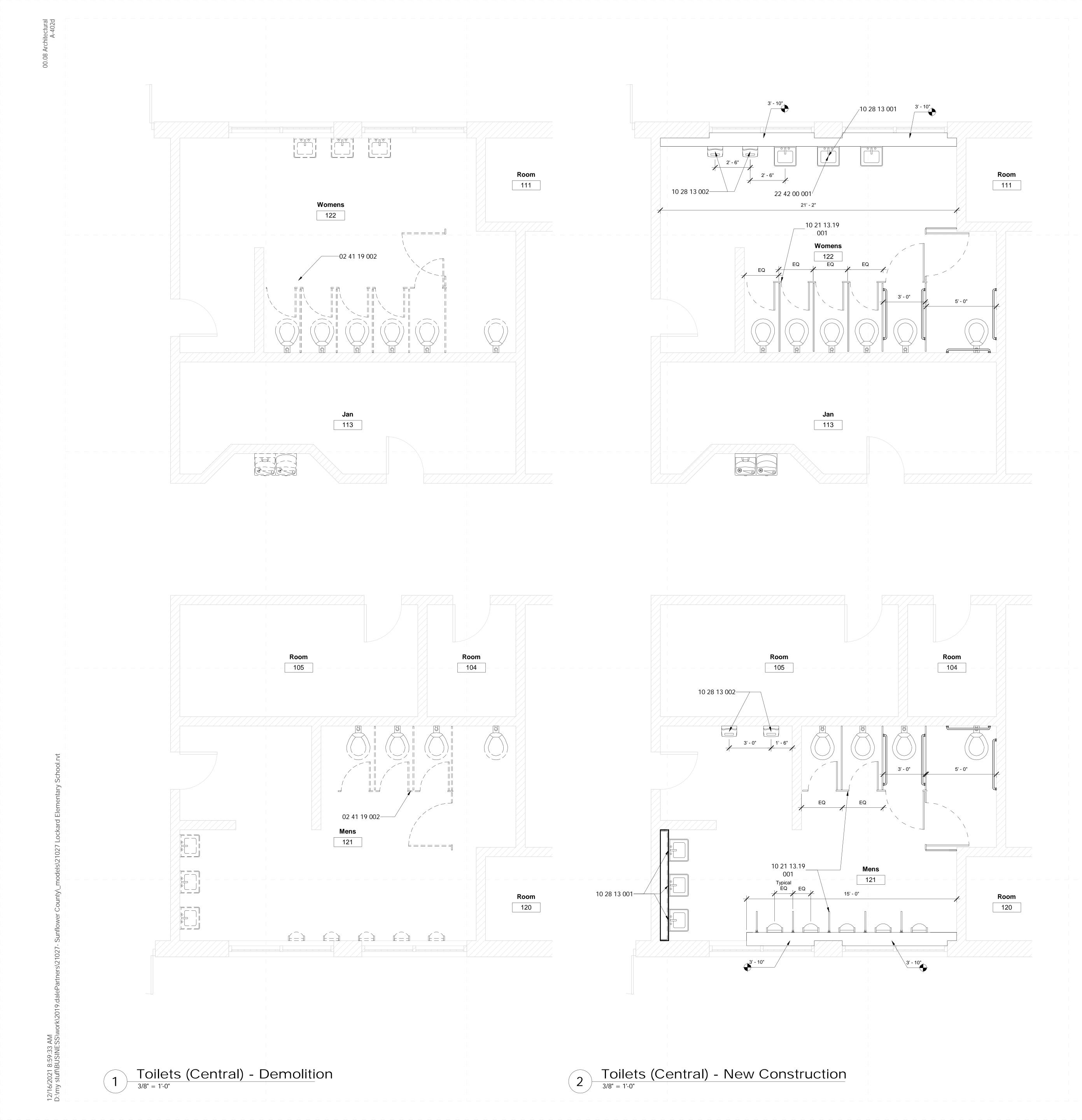
02 41 19 002	Dashed lines indicated work
10 21 13.19 001	Install new toilet partitio
10 28 13 001	Install wall hung mirror fixture unless noted oth
10 28 13 002	Install hand dryer here; electrical & mechanical

# General Finish Plan Notes

- 1. All flooring transitions are to occur at center line of door
- panel.2. Patch tile at all floors and walls with matching material
- where missing or removed due to construction, unless noted otherwise.3. New Fixture locations shall be coordinated with mechanical sheets.
- Install new grab bars at all ADA & AMB toilets
- Paint all exposed CMU at renovated toilets.
   Paint all tile wainscot.
- Paint all file wainscot.
   Clean floor grout and reseal.



Toilets (North)



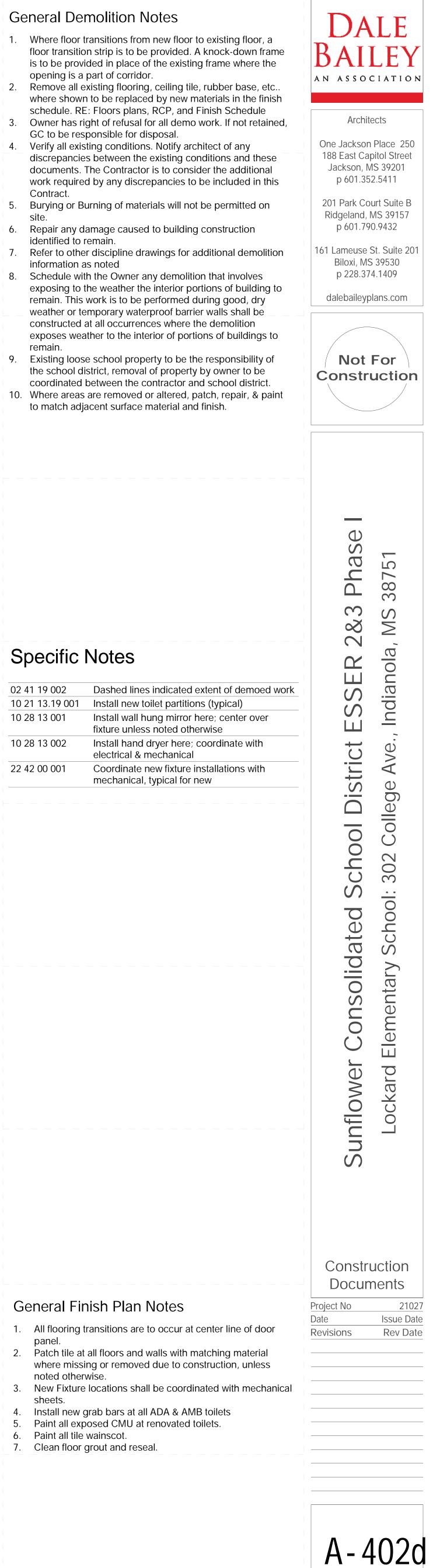
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# Specific Notes

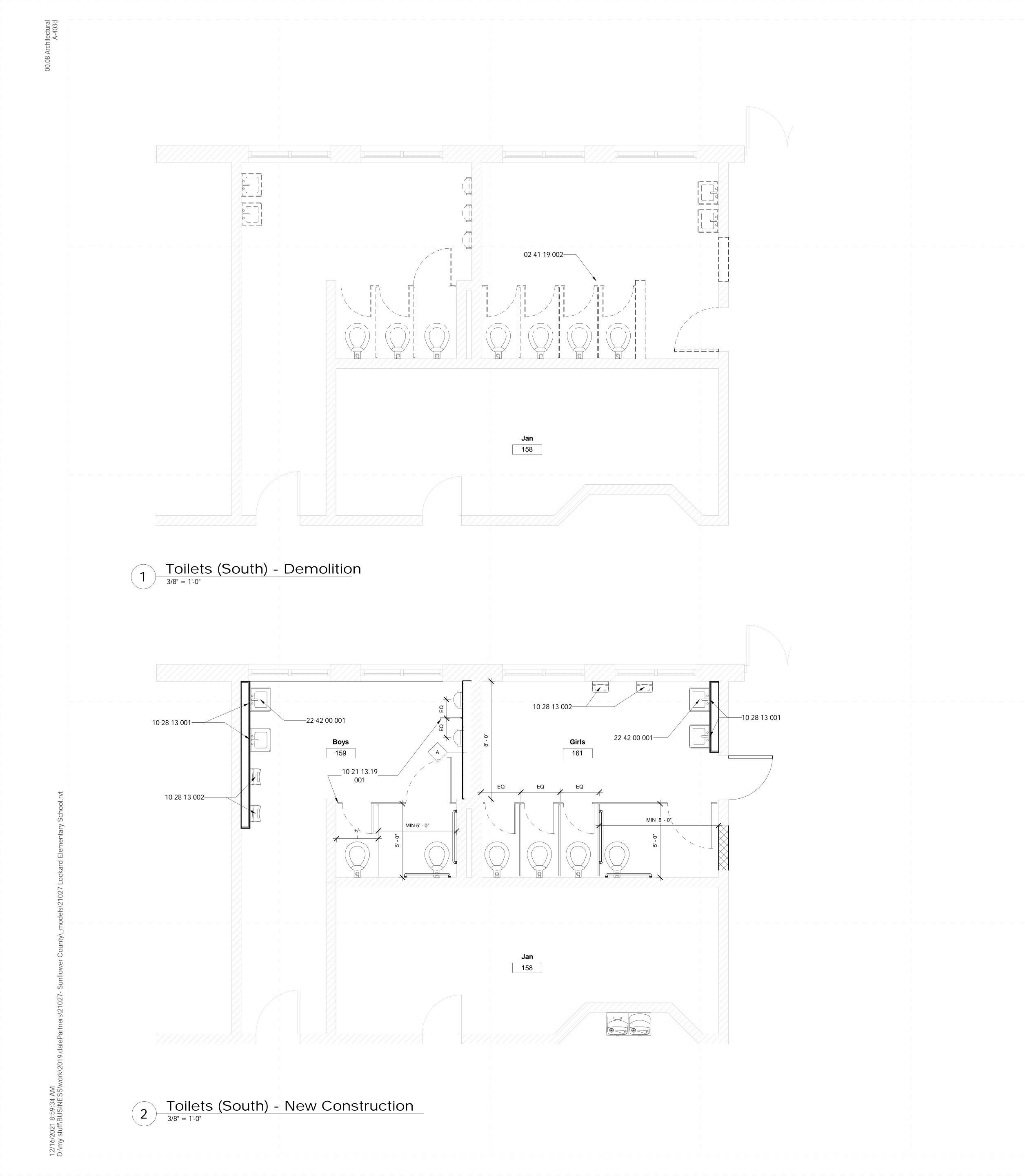
	02 41 19 002	Dashed lines indicated e
	10 21 13.19 001	Install new toilet partition
	10 28 13 001	Install wall hung mirror h fixture unless noted othe
	10 28 13 002	Install hand dryer here; electrical & mechanical
	22 42 00 001	Coordinate new fixture in mechanical, typical for n

# General Finish Plan Notes

- All flooring transitions are to occur at center line of door panel.
   Patch tile at all floors and walls with matching material
- where missing or removed due to construction, unless noted otherwise. 3. New Fixture locations shall be coordinated with mechanical
- sheets. 4. Install new grab bars at all ADA & AMB toilets
- 5. Paint all exposed CMU at renovated toilets.
- 6. Paint all tile wainscot.
- 7. Clean floor grout and reseal.



Toilets (Central)



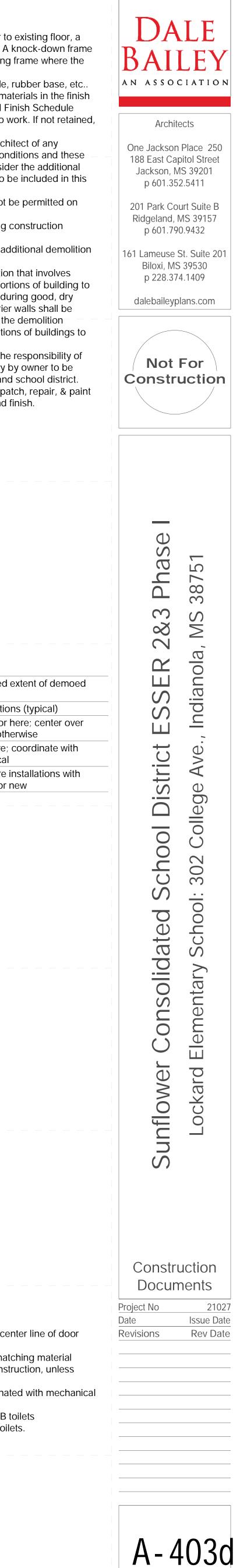
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- 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- 5. Burying or Burning of materials will not be permitted on site.
- 6. Repair any damage caused to building construction identified to remain.
- 7. Refer to other discipline drawings for additional demolition information as noted
- 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
- 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district. 10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

# Specific Notes

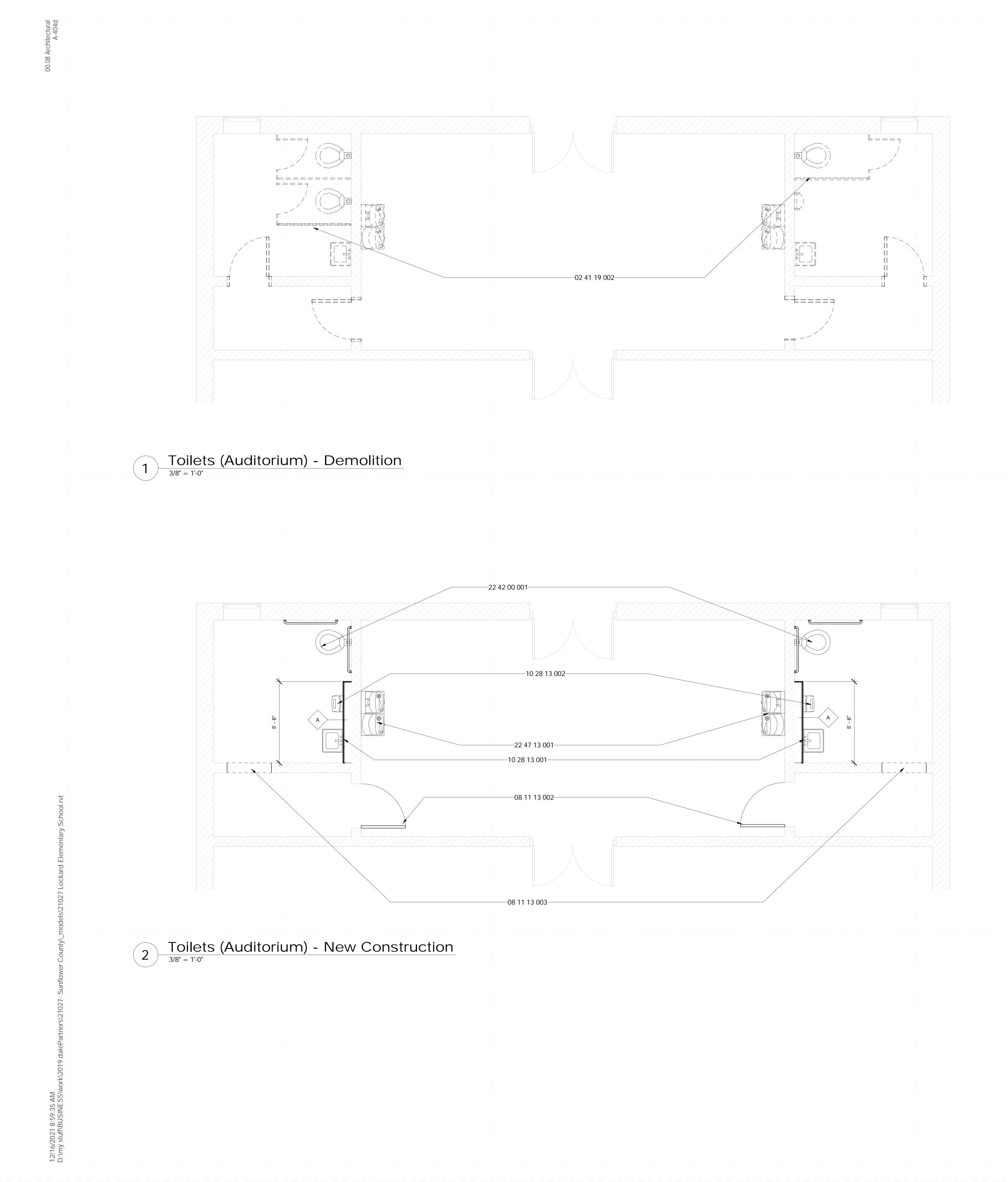
	02 41 19 002	Dashed lines indicated work
	10 21 13.19 001	Install new toilet partition
	10 28 13 001	Install wall hung mirror fixture unless noted oth
	10 28 13 002	Install hand dryer here electrical & mechanica
	22 42 00 001	Coordinate new fixture mechanical, typical for

# General Finish Plan Notes

- 1. All flooring transitions are to occur at center line of door
- panel. 2. Patch tile at all floors and walls with matching material
- where missing or removed due to construction, unless noted otherwise. 3. New Fixture locations shall be coordinated with mechanical
- sheets.
- 4. Install new grab bars at all ADA & AMB toilets 5. Paint all exposed CMU at renovated toilets.
- 6. Paint all tile wainscot.
- 7. Clean floor grout and reseal.



Toilets (South)



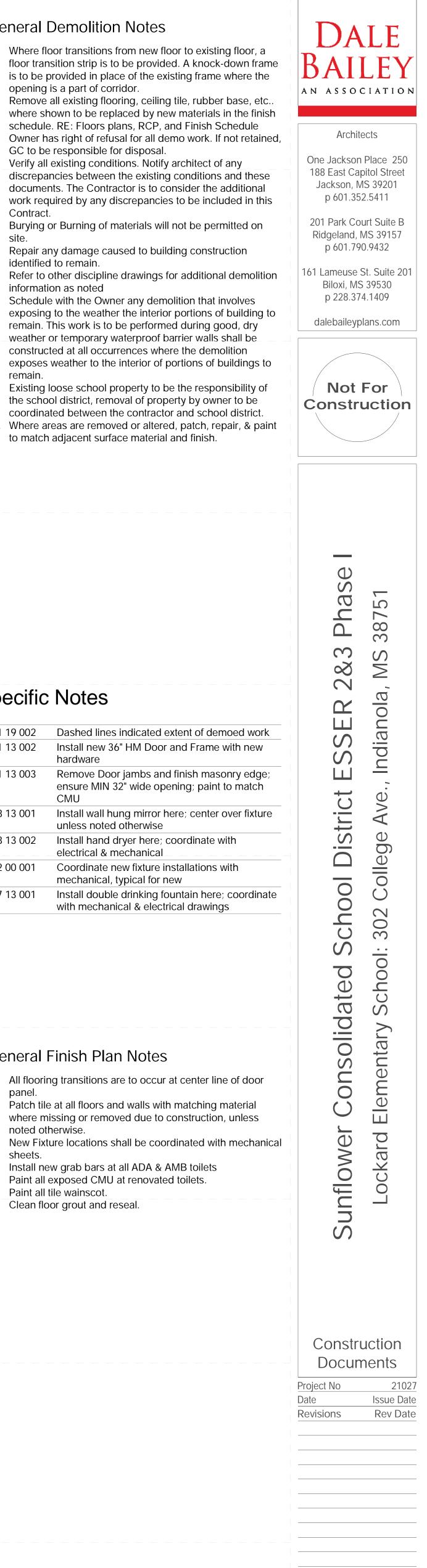
- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- 2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule 3. Owner has right of refusal for all demo work. If not retained,
- GC to be responsible for disposal. 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional
- Contract. 5. Burying or Burning of materials will not be permitted on site
- 6. Repair any damage caused to building construction identified to remain.
- 7. Refer to other discipline drawings for additional demolition information as noted
- 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
- 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- 10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

# Specific Notes

02 41 19 002	Dashed lines indicated exte
08 11 13 002	Install new 36" HM Door an hardware
08 11 13 003	Remove Door jambs and fine ensure MIN 32" wide openi CMU
10 28 13 001	Install wall hung mirror here unless noted otherwise
10 28 13 002	Install hand dryer here; coo electrical & mechanical
22 42 00 001	Coordinate new fixture insta mechanical, typical for new
22 47 13 001	Install double drinking foun

# General Finish Plan Notes

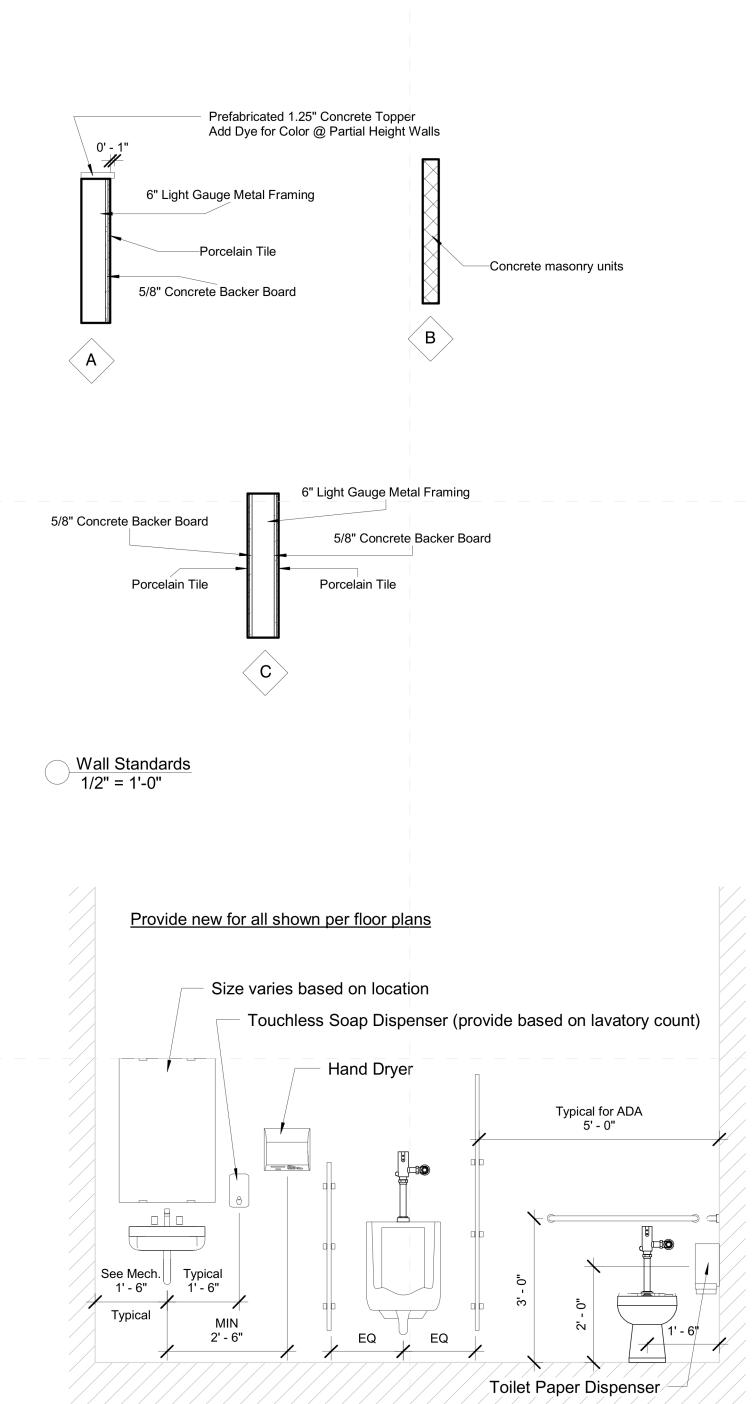
- 1. All flooring transitions are to occur at center line of door
- panel. 2. Patch tile at all floors and walls with matching material
- where missing or removed due to construction, unless noted otherwise.
- 3. New Fixture locations shall be coordinated with mechanical sheets.
- 4. Install new grab bars at all ADA & AMB toilets 5. Paint all exposed CMU at renovated toilets.
- 6. Paint all tile wainscot. 7. Clean floor grout and reseal.





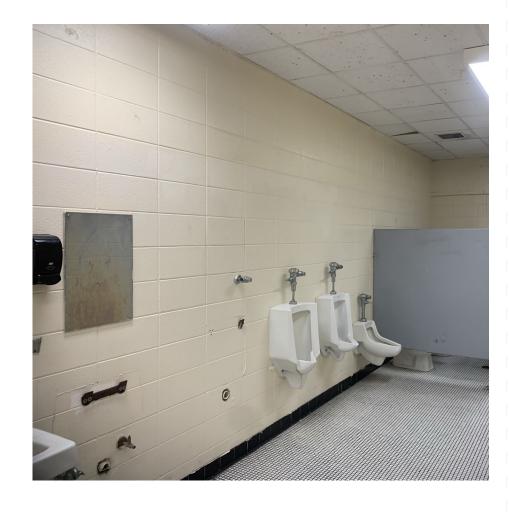
All School's Specific Notes	
02 41 19 002	Dashed lines indicated extent of demoed work
10 21 13.19 001	Install new toilet partitions (typical)

10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 05 05 02	New rough plumbing; see plumbing
22 40 00 001	New fixtures throughout (typical); see plumbing
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new
22 42 00 002	New fixtures only in this toilet room; coordinate with mechanical
22 42 00 003	New touchless faucet at sink/cabinet; coordinate with mechanical
22 47 13 001	Install double drinking fountain here; coordinate with mechanical & electrical drawings
22 47 13 003	Install 3 Single Drinking fountains here (center to receive bottle filler attachment); coordinate with mechanical & electrical drawings
22 47 13 004	Install 4 Single Drinking fountains here (every other to receive bottle filler attachment); coordinate with mechanical & electrical drawings

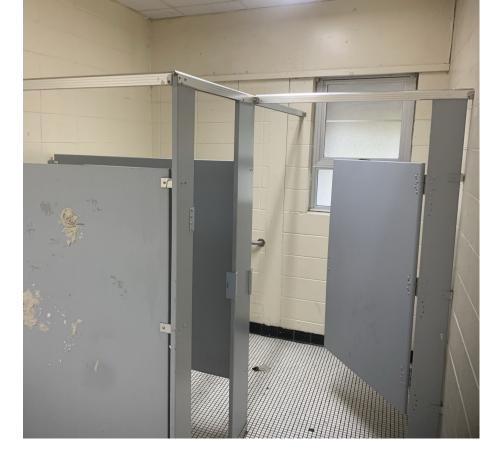




Front of School

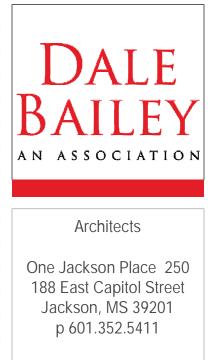


1 Typical Toilet Room Wall 1/2" = 1'-0"



-Typical Toilet Room

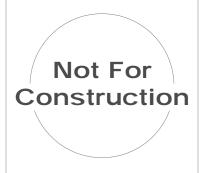
-Typical Toilet Room



201 Park Court Suite B Ridgeland, MS 39157 p 601.790.9432

161 Lameuse St. Suite 201 Biloxi, MS 39530 p 228.374.1409

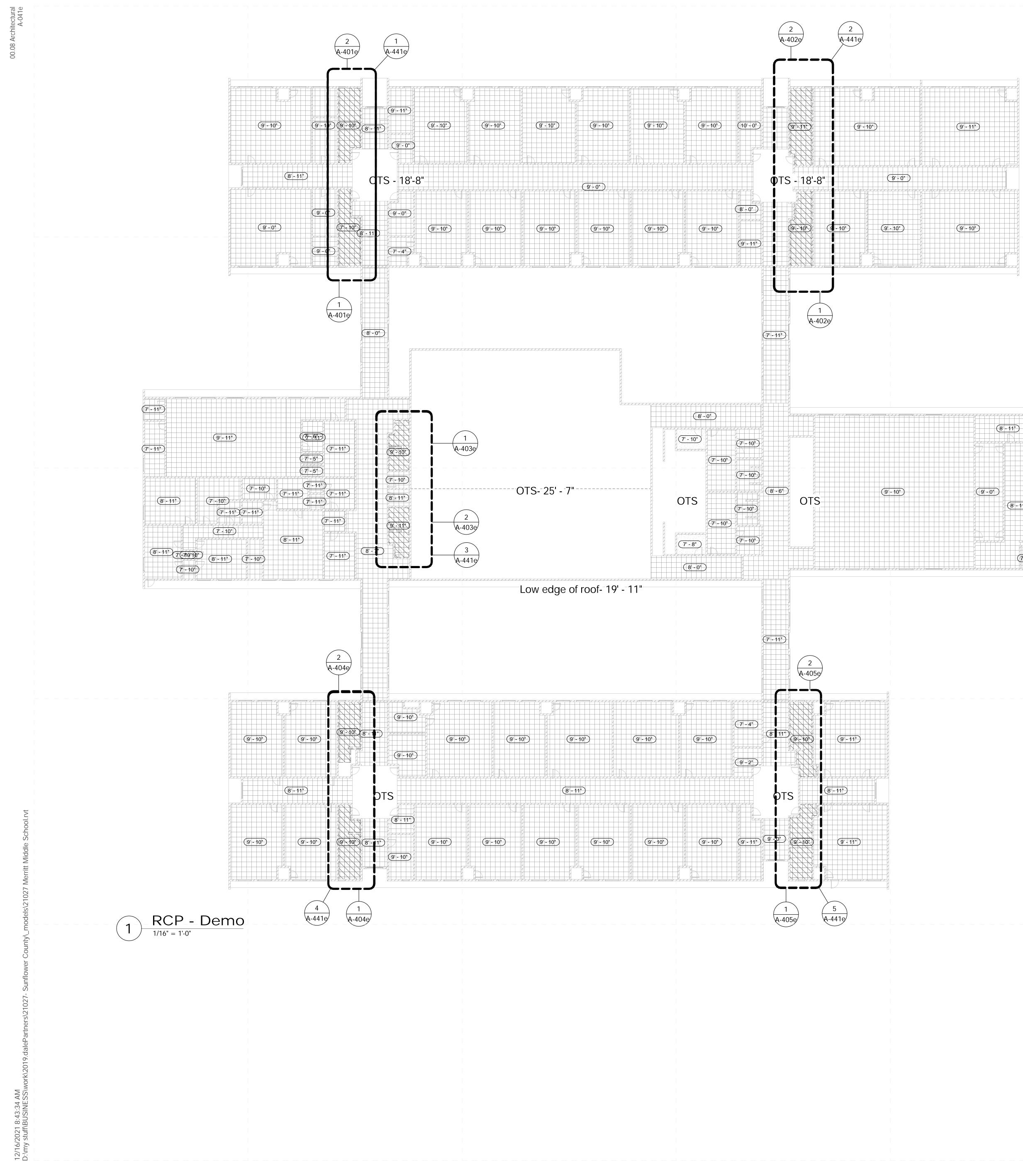
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2&3 Phase 51 387 JS Sunflower Consolidated School District ESSER  $\leq$ 705 Kinlock Rd, Indianola, Merritt Middle School: Construction Documents Project No Date 21027 3 January 2018 s Rev Date Revisions



G-005e



	8'-11"	OTS
(9'-0"		
	<u>8'-11"</u>	
	(7' - 11")	OTS

- ceiling, coordinate with Architect detail. to be renovated and all corridors, as well as any wall fasteners and/or mastics attached therein. GC to be responsible for disposal.
- 1. Where ceiling transitions from new ceiling to existing 2. Remove existing ceiling grid & ceiling tile at all bathrooms 3. Owner has right of refusal for all demo work. If not retained, 4. Verify all existing conditions. Notify architect of any
- discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- 5. Burying or Burning of materials will not be permitted on cito 6. Repair any damage caused to building construction
- identified to remain. 7. Refer to other discipline drawings for additional demolition
- information as noted. 8. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district. 9. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

# Ceiling Legend

	Moisture Resistant Acoustical
	Colored Acoustical Lay In Ceil
	Vinyl Faced Acoustical Lay In
	Gypsum Board Ceiling
	2x2 Acoustical Lay In Ceiling
	Plaster/Stucco
	Concealed Fastender Painted
$\bigotimes$	2x2 Fluorescent Fixture
	Surface-Mounted Fluorescent
0	Recessed Can Light Fixture
X	HVAC Supply Grille
	HVAC Return Grille
E	Exterior Wall Light
$\otimes$	Interior Wall Light
	Open to Structure (OTS)



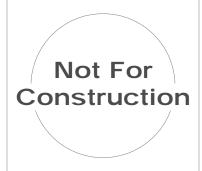
# Architects

One Jackson Place 250 188 East Capitol Street Jackson, MS 39201 p 601.352.5411

201 Park Court Suite B Ridgeland, MS 39157 p 601.790.9432

161 Lameuse St. Suite 201 Biloxi, MS 39530 p 228.374.1409

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al Lay In Ceiling

eiling

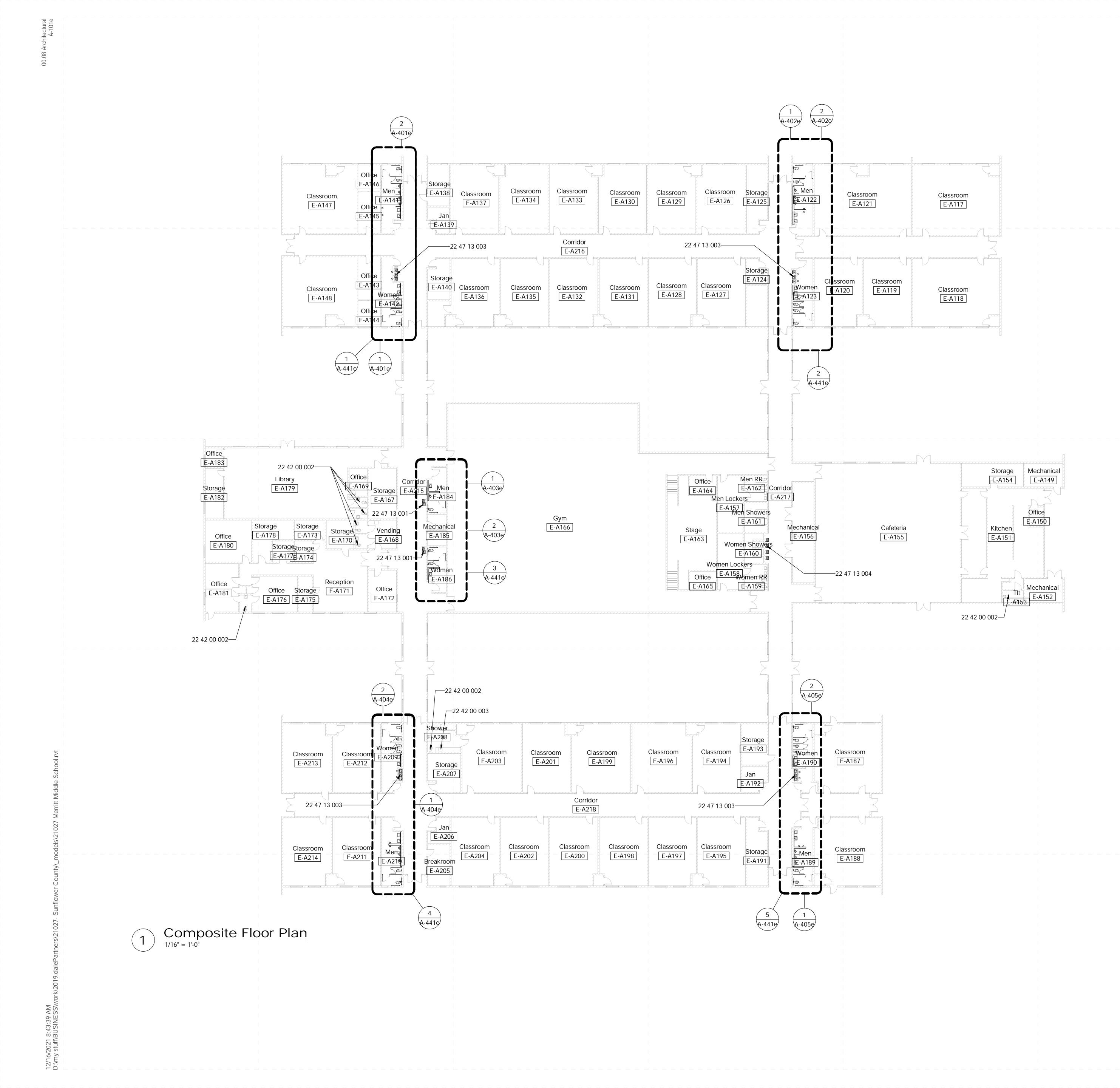
n Ceiling

d Metal Soffit

nt Light Fixture

Phase S 2&3 387 S Sunflower Consolidated School District ESSER  $\overline{}$ Rd, Indianola, 705 Kinlock School: Merritt Middle Construction Documents Project No 21027 3 January 2018 Rev Date Revisions





# Specific Notes

22 42 00 002	New fixtures only in this toil with mechanical
22 42 00 003	New touchless faucet at sin with mechanical
22 47 13 001	Install double drinking foun with mechanical & electrica
22 47 13 003	Install 3 Single Drinking fou receive bottle filler attachme mechanical & electrical drav
22 47 13 004	Install 4 Single Drinking fou other to receive bottle filler a



Architects

One Jackson Place 250 188 East Capitol Street Jackson, MS 39201 p 601.352.5411

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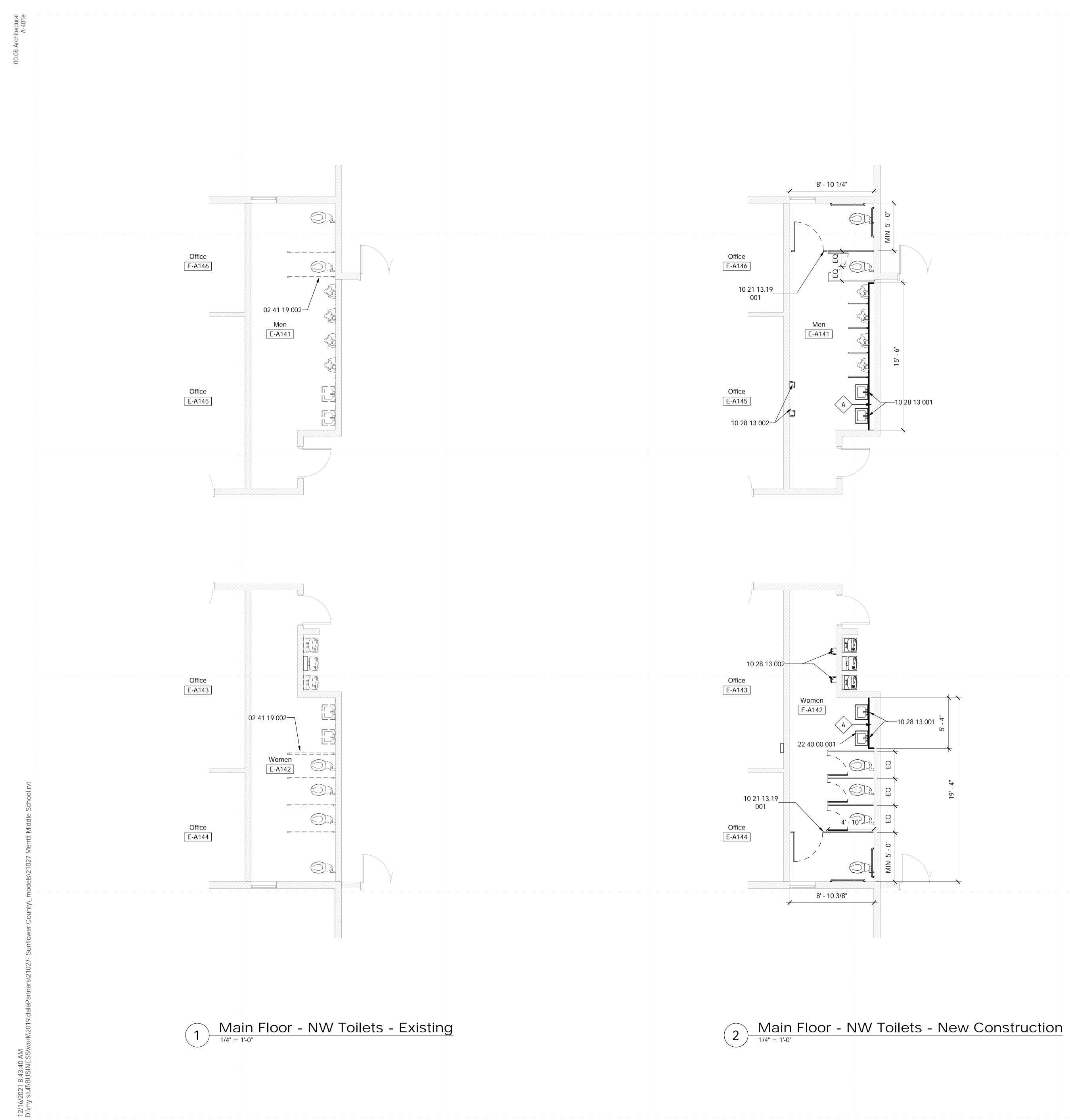
2&3 Phase 51 387 S ESSER  $\overline{}$  $\leq$ Indianola, District Rd, 705 Kinlock Sunflower Consolidated School School: Merritt Middle Construction Documents Project No 21027 3 January 2018 Date Revisions Rev Date

**A - 101e** Composite Floor Plan

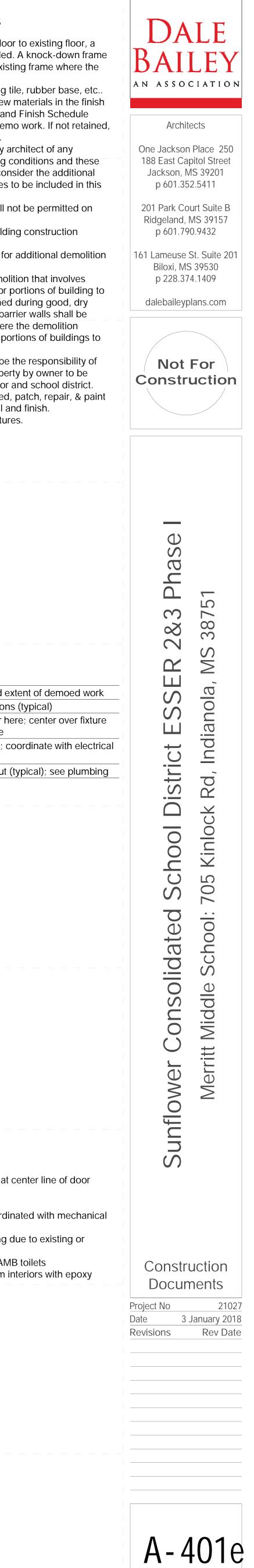
ilet room; coordinate

sink/cabinet; coordinate untain here; coordinate cal drawings ountains here (center to ment); coordinate with rawings

Install 4 Single Drinking fountains here (every other to receive bottle filler attachment); coordinate with mechanical & electrical drawings



	General D	emolition Notes
	<ul> <li>floor transi is to be pro- opening is</li> <li>2. Remove al where sho schedule.</li> <li>3. Owner has GC to be r</li> <li>4. Verify all e discrepand documents work require Contract.</li> <li>5. Burying or site.</li> <li>6. Repair any identified t</li> <li>7. Refer to ot information</li> <li>8. Schedule v exposing t remain. Th weather or</li> </ul>	ther discipline drawings for n as noted with the Owner any demoli to the weather the interior p nis work is to be performed r temporary waterproof bar
	constructe exposes w remain. 9. Existing lo the school coordinate 10. Where are to match a	ed at all occurrences where veather to the interior of po ose school property to be I district, removal of proper ed between the contractor eas are removed or altered, adjacent surface material an artitions and existing fixture
001		
	Specific No	otes
	02 41 19 002 10 21 13.19 001 10 28 13 001 10 28 13 002 22 40 00 001	Dashed lines indicated ex Install new toilet partitions Install wall hung mirror here unless noted otherwise Install hand dryer here; co & mechanical New fixtures throughout (
3 001 <sup>4</sup>		
19' - 4"	<ol> <li>All flooring panel.</li> <li>Clean floor</li> <li>New Fixture sheets.</li> <li>Patch and r constructio</li> <li>Install new</li> </ol>	grab bars at all ADA & AM
· · · · · · · · · · · · · · · · · · ·	6. Paint all Ex paint.	posed CMU at bathroom in



NW Toilets



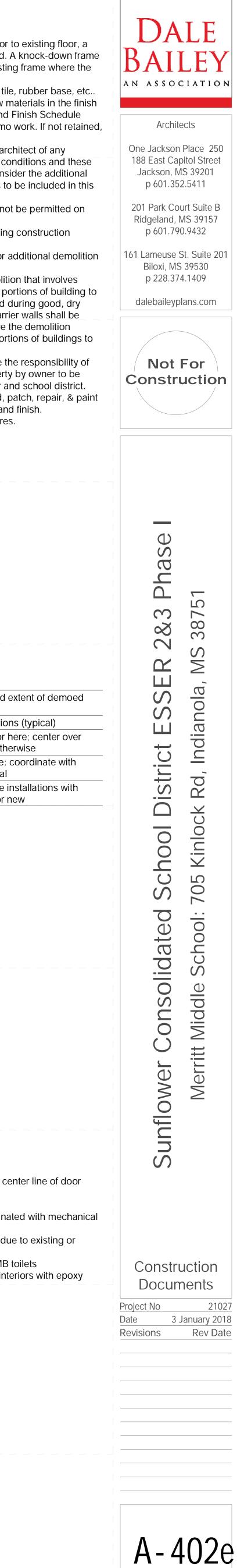
- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- 2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule 3. Owner has right of refusal for all demo work. If not retained,
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- 6. Repair any damage caused to building construction identified to remain.
- 7. Refer to other discipline drawings for additional demolition information as noted
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- 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- 10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- 11. Remove partitions and existing fixtures.

# Specific Notes

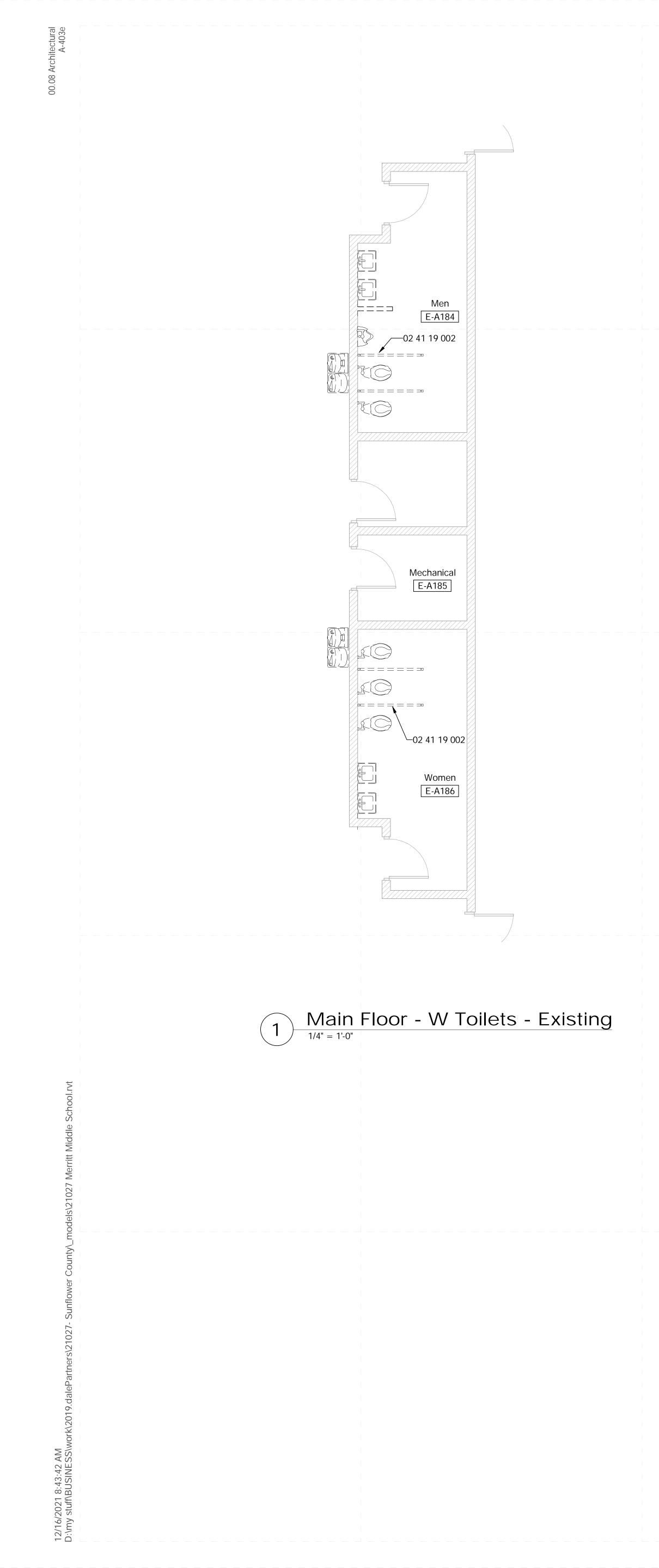
02 41 19 002	Dashed lines indicated work
10 21 13.19 001	Install new toilet partitio
10 28 13 001	Install wall hung mirror l fixture unless noted othe
10 28 13 002	Install hand dryer here; electrical & mechanical
22 42 00 001	Coordinate new fixture i mechanical, typical for r

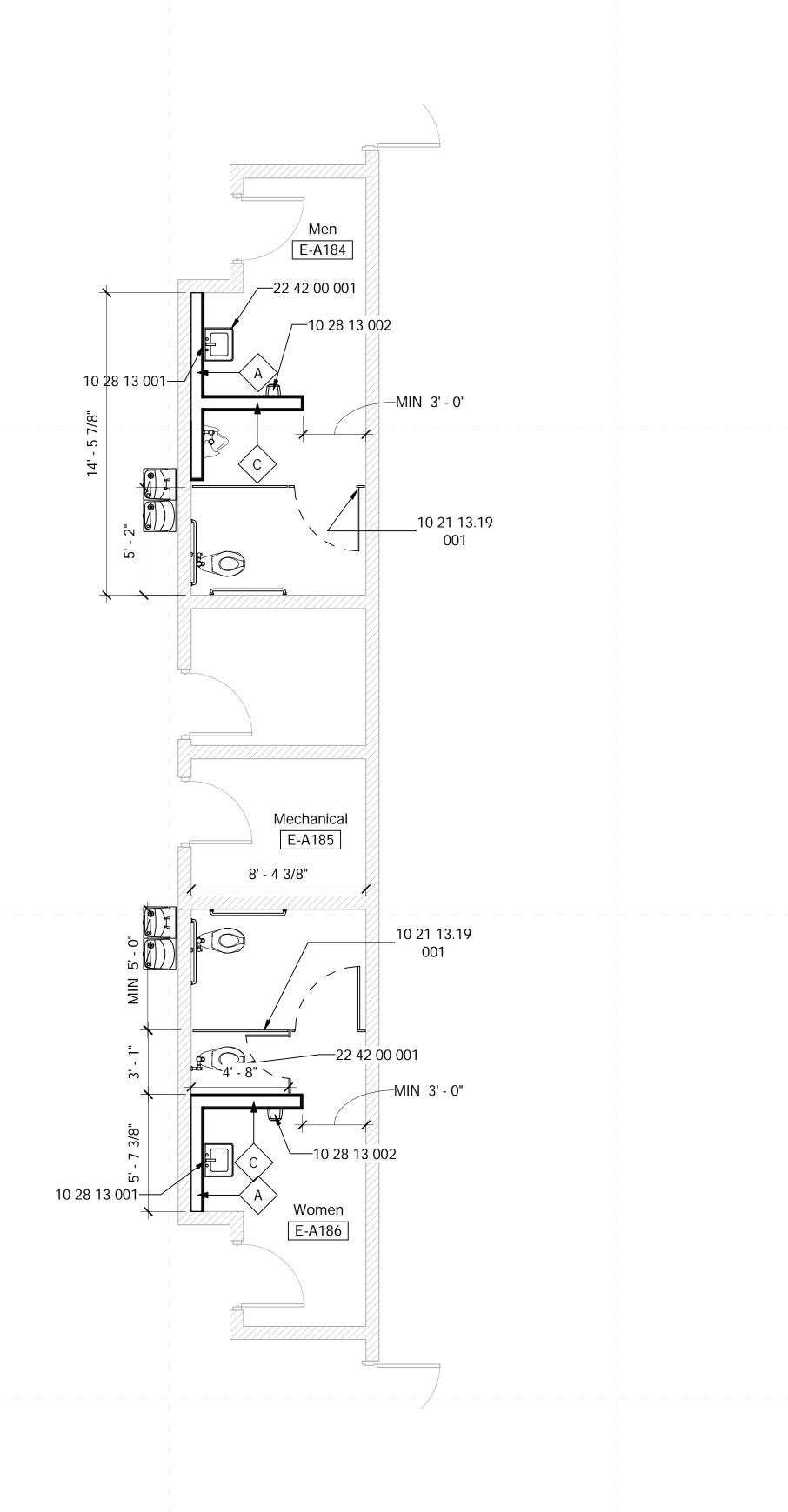
# General Finish Plan Notes

- 1. All flooring transitions are to occur at center line of door
- panel.
- 2. Clean floor tile and reseal. 3. New Fixture locations shall be coordinated with mechanical
- sheets. 4. Patch and repair tiles where missing due to existing or
- construction. Install new grab bars at all ADA & AMB toilets
   Paint all Exposed CMU at bathroom interiors with epoxy
- paint



NE Toilets







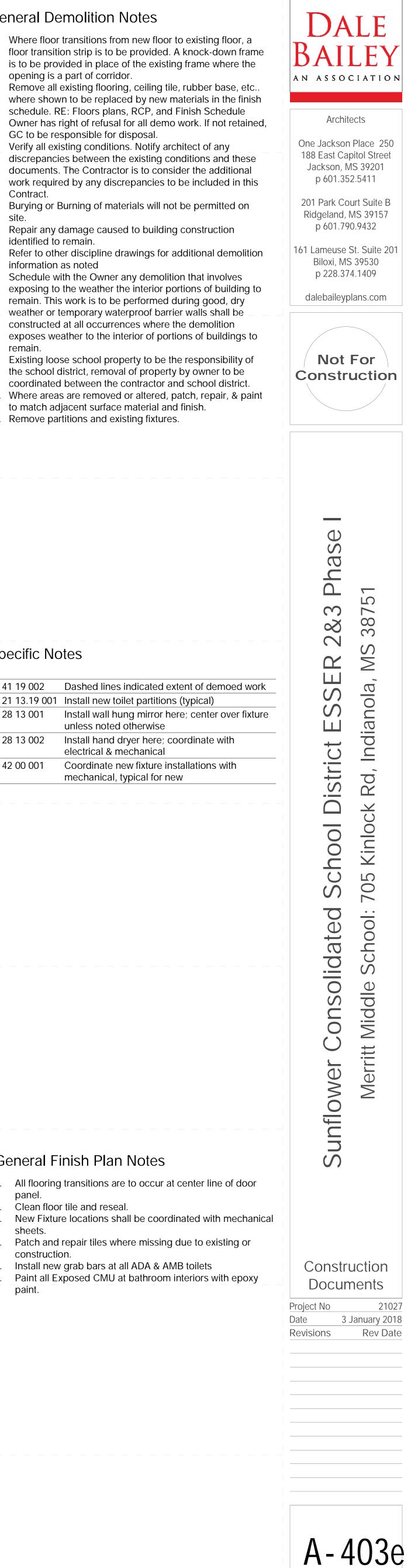
- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- 2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule 3. Owner has right of refusal for all demo work. If not retained,
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- 10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish. 11. Remove partitions and existing fixtures.

# Specific Notes

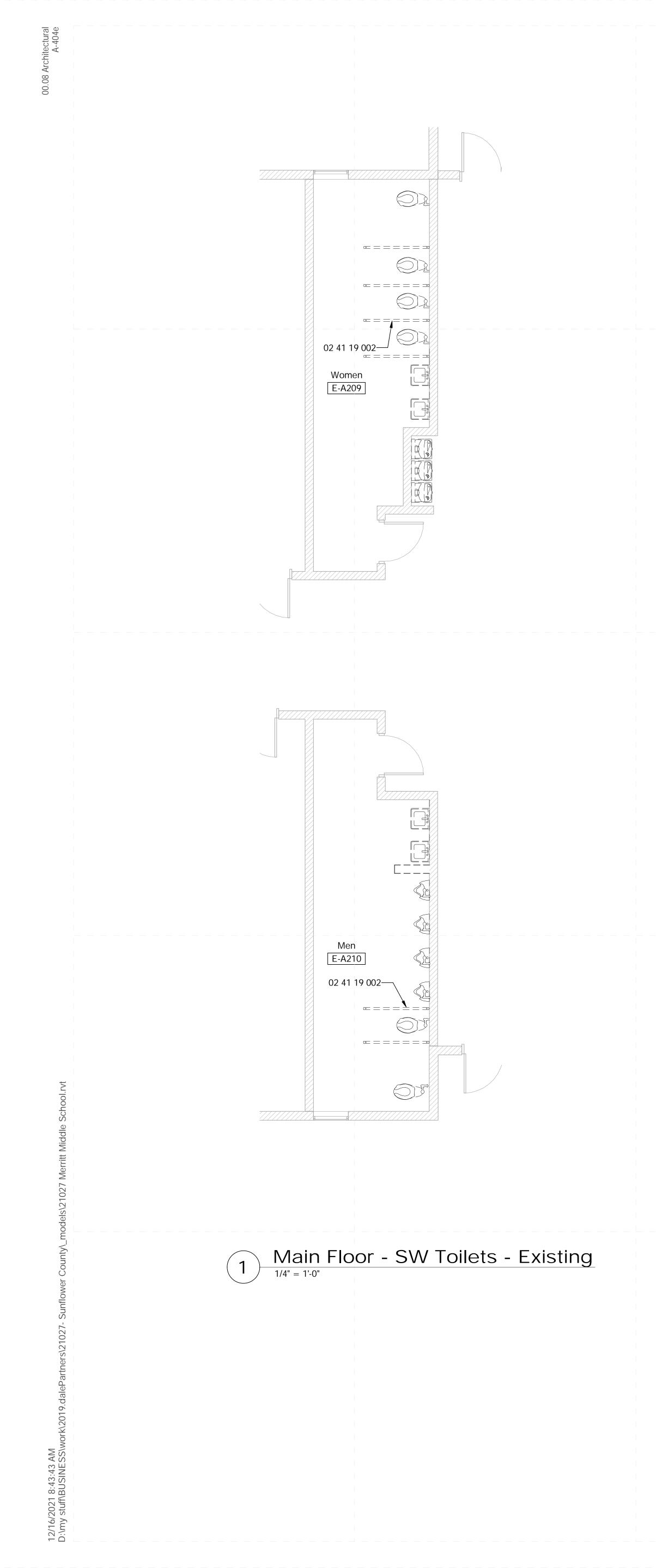
02 41 19 002	Dashed lines indicated ext
10 21 13.19 001	Install new toilet partitions
10 28 13 001	Install wall hung mirror her unless noted otherwise
10 28 13 002	Install hand dryer here; co electrical & mechanical
22 42 00 001	Coordinate new fixture inst mechanical, typical for new

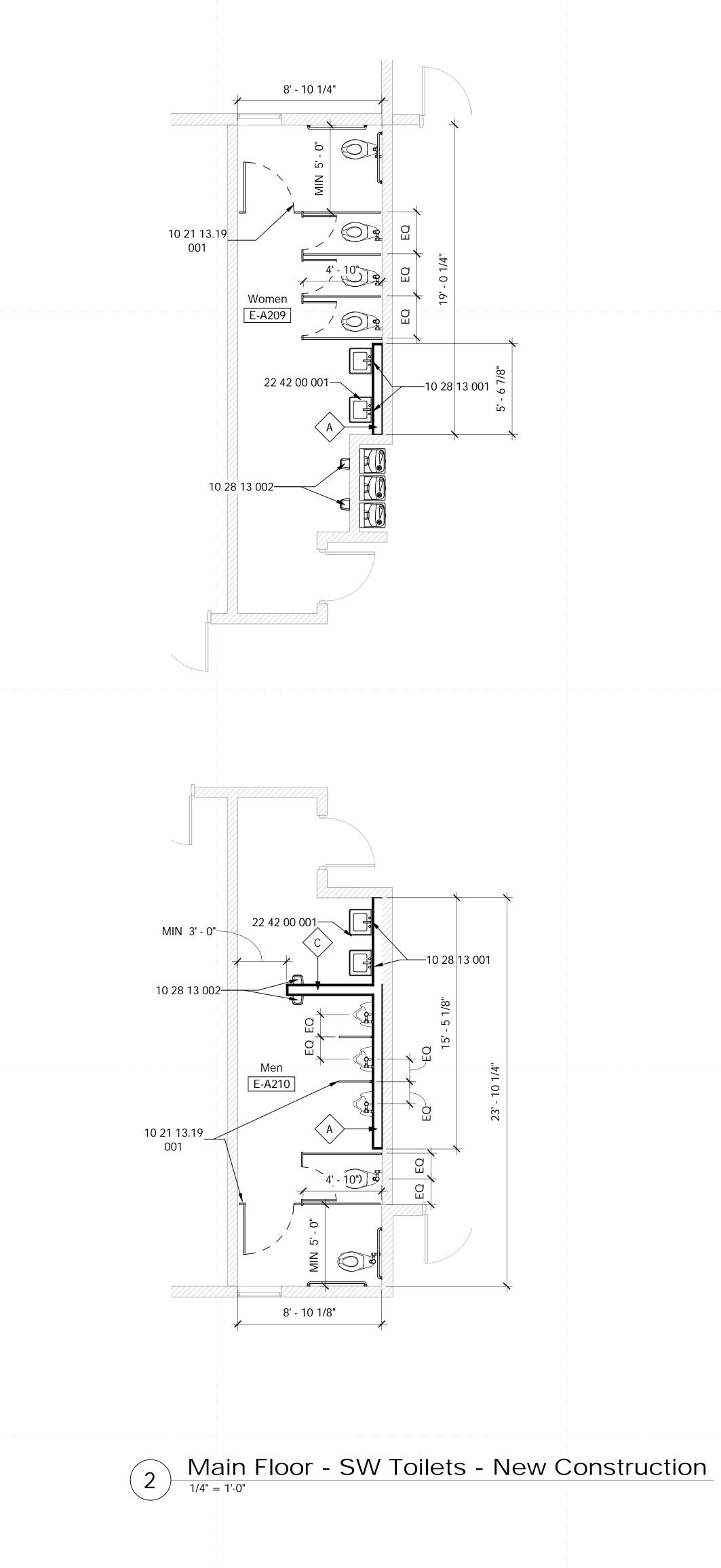
# General Finish Plan Notes

- 1. All flooring transitions are to occur at center line of door
- panel. 2. Clean floor tile and reseal.
- 3. New Fixture locations shall be coordinated with mechanical
- sheets. 4. Patch and repair tiles where missing due to existing or
- construction. 5. Install new grab bars at all ADA & AMB toilets
- 6. Paint all Exposed CMU at bathroom interiors with epoxy paint.



Central West Toilets





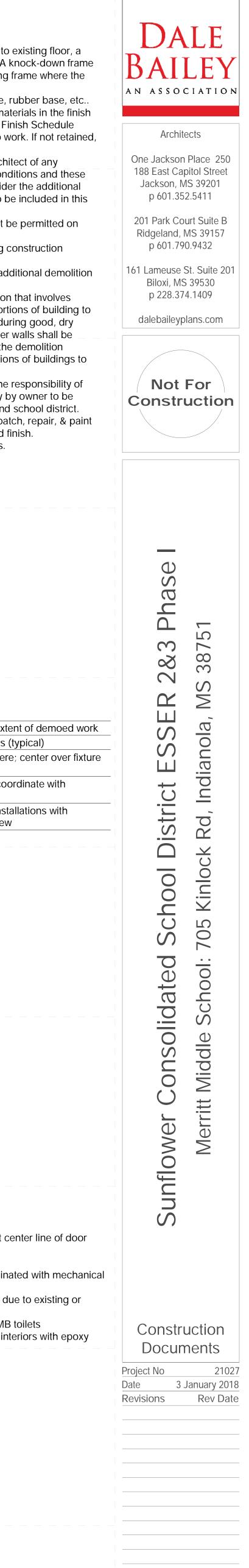
- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- 2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal. 4. Verify all existing conditions. Notify architect of any
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- 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- 10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- 11. Remove partitions and existing fixtures.

# Specific Notes

02 41 19 002	Dashed lines indicated ext
10 21 13.19 001	Install new toilet partitions
10 28 13 001	Install wall hung mirror her unless noted otherwise
10 28 13 002	Install hand dryer here; co electrical & mechanical
22 42 00 001	Coordinate new fixture inst mechanical, typical for new

# General Finish Plan Notes

- 1. All flooring transitions are to occur at center line of door
- panel. 2. Clean floor tile and reseal.
- 3. New Fixture locations shall be coordinated with mechanical
- sheets. 4. Patch and repair tiles where missing due to existing or
- construction. 5. Install new grab bars at all ADA & AMB toilets
- 6. Paint all Exposed CMU at bathroom interiors with epoxy paint.







- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the
- opening is a part of corridor. 2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish
- 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- 5. Burying or Burning of materials will not be permitted on
- 6. Repair any damage caused to building construction identified to remain.
- 7. Refer to other discipline drawings for additional demolition information as noted
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# Specific Notes

02 41 19 002	Dashed lines indicated exte
10 21 13.19 001	Install new toilet partitions (t
10 28 13 001	Install wall hung mirror here unless noted otherwise
10 28 13 002	Install hand dryer here; cool & mechanical
22 42 00 001	Coordinate new fixture insta mechanical, typical for new

# General Finish Plan Notes

- 1. All flooring transitions are to occur at center line of door
- panel. 2. Clean floor tile and reseal.
- 3. New Fixture locations shall be coordinated with mechanical
- sheets. 4. Patch and repair tiles where missing due to existing or
- construction. 5. Install new grab bars at all ADA & AMB toilets
- 6. Paint all Exposed CMU at bathroom interiors with epoxy paint.

schedule. RE: Floors plans, RCP, and Finish Schedule

DALE BAILEY AN ASSOCIATION

### Architects

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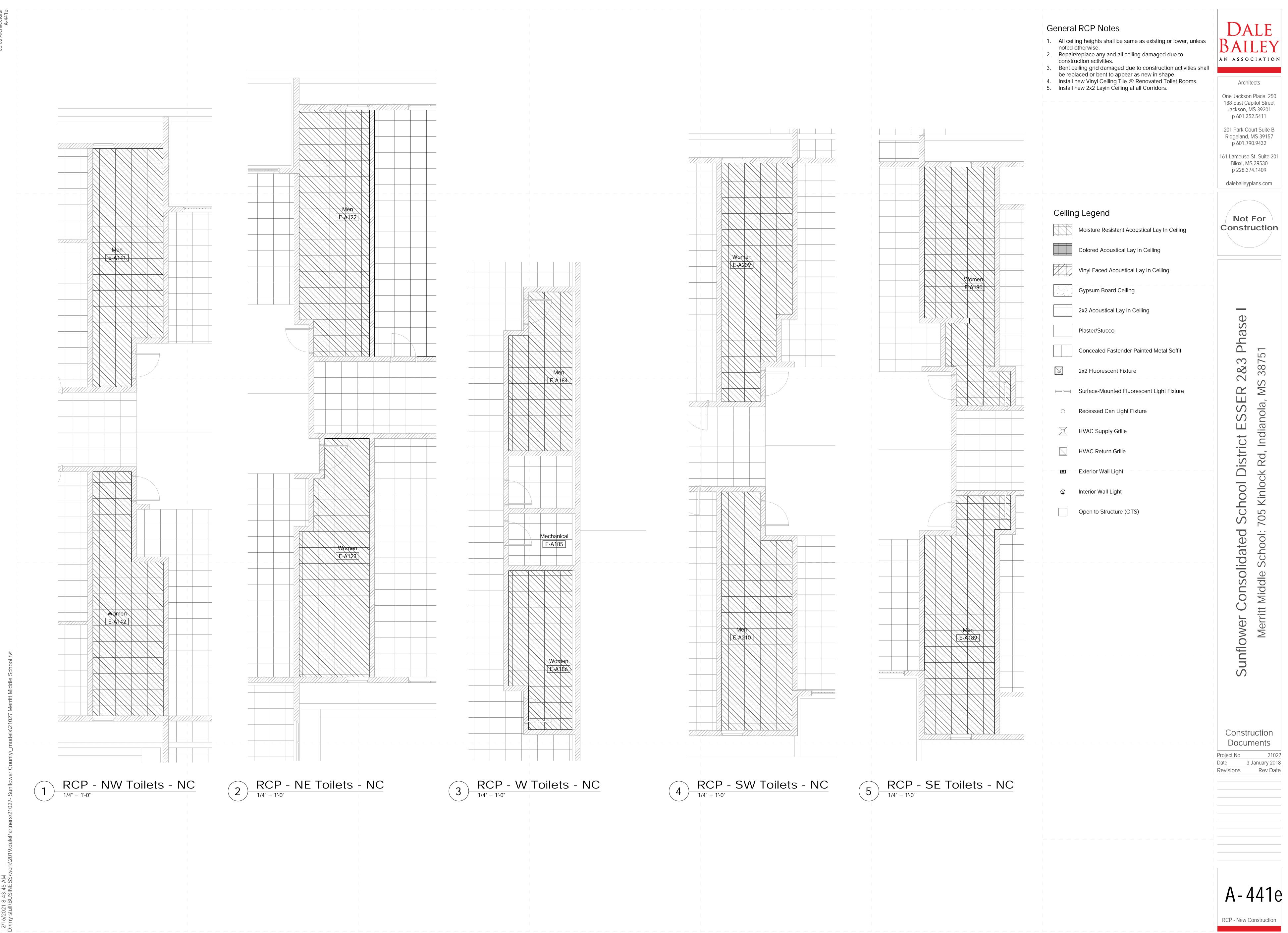


ent of demoed work (typical) e; center over fixture ordinate with electrical

tallations with

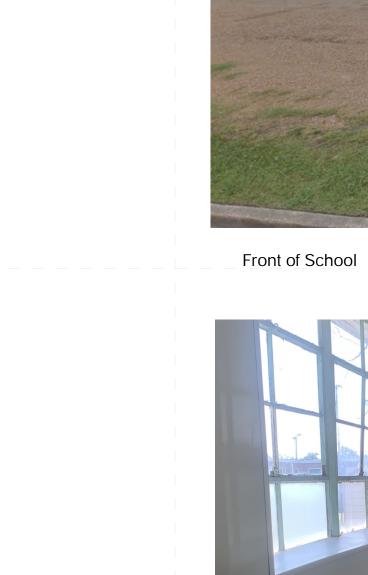






# All School's Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 010	Repair demoed to remain with like material
08 71 00 001	Replace all door hardware with new at existing leaf
09 30 13 001	Install new floor tile; slope to floor drain is drain provided
09 30 13 004	Prep surface for new tile install; contractor shall be repsonsible for issues concerning lack of adhesion between mortar and substrates as well as levelness of finished tile
09 30 13 005	Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
09 51 23 002	Install ATC as wall from ceiling level up to roof/floor deck
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new
22 42 00 002	New fixtures only in this toilet room; coordinate with mechanical
22 47 13 001	Install double drinking fountain here; coordinate with mechanical & electrical drawings
22 47 13 002	Install single drinking fountain here with bottle filler attachment; coordinate with mechanical & electrical drawings





Boys 49

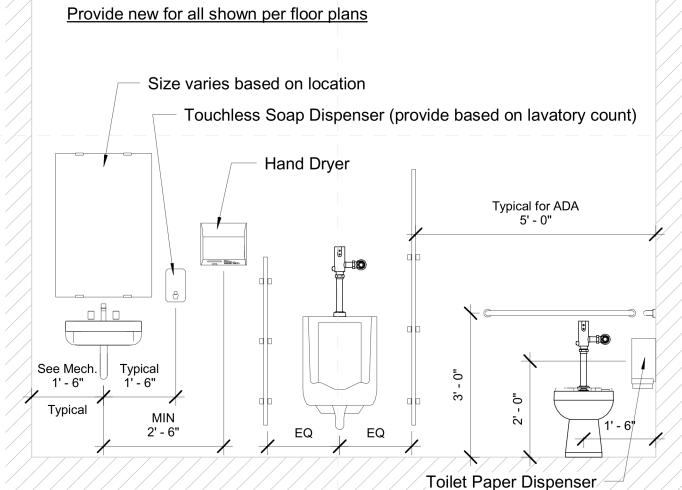


Boys 57



Boys 86





Prefabricated 1.25" Concrete Topper
 Add Dye for Color @ Partial Height Walls

6" Light Gauge Metal Framing

-Porcelain Tile

5/8" Concrete Backer Board

0' - 1"

A

5/8" Concrete Backer Board

Wall Standards 1/2" = 1'-0"

Porcelain Tile

Match Adjacen

B

5/8" Concrete Backer Board

6" Light Gauge Metal Framing

Porcelain Tile

C

-Concrete masonry units

1 Typical Toilet Room Wall 1/2" = 1'-0"





Girls 50







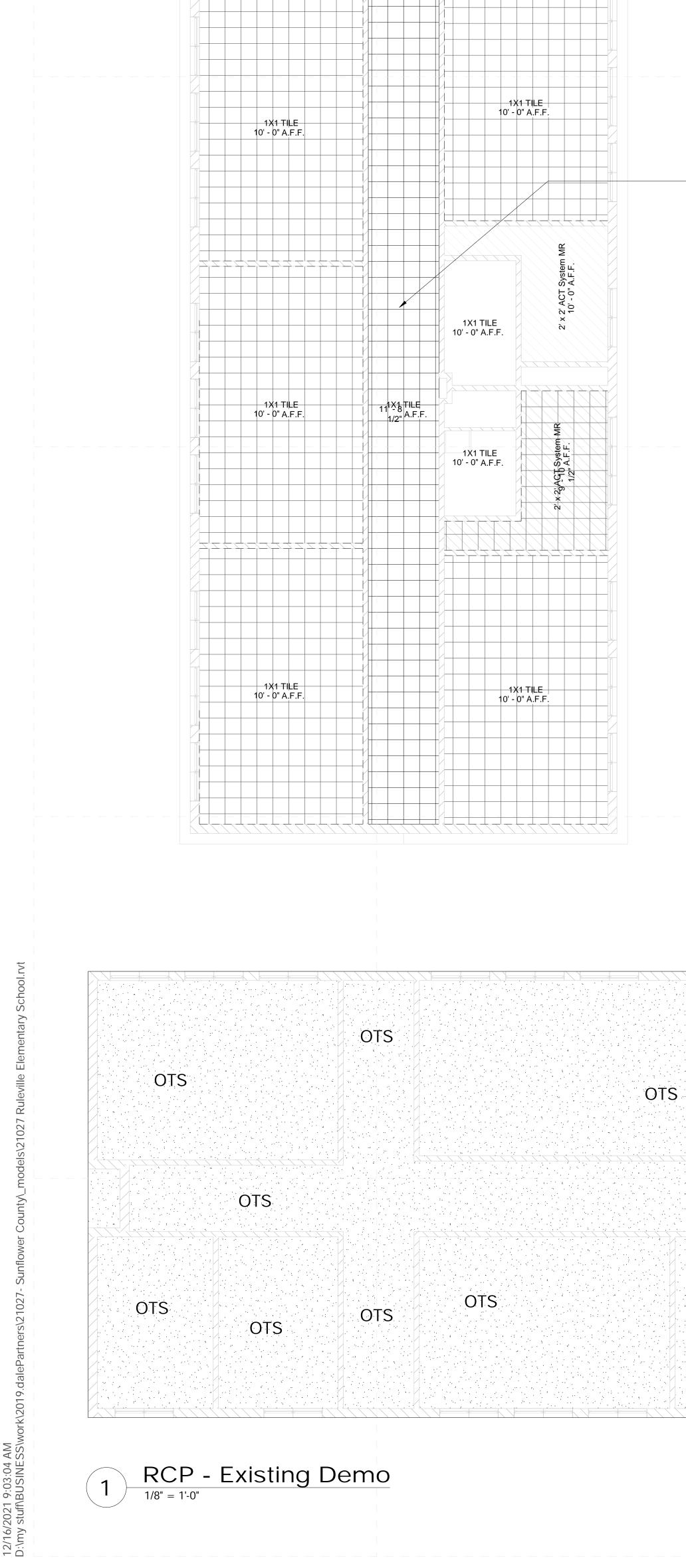


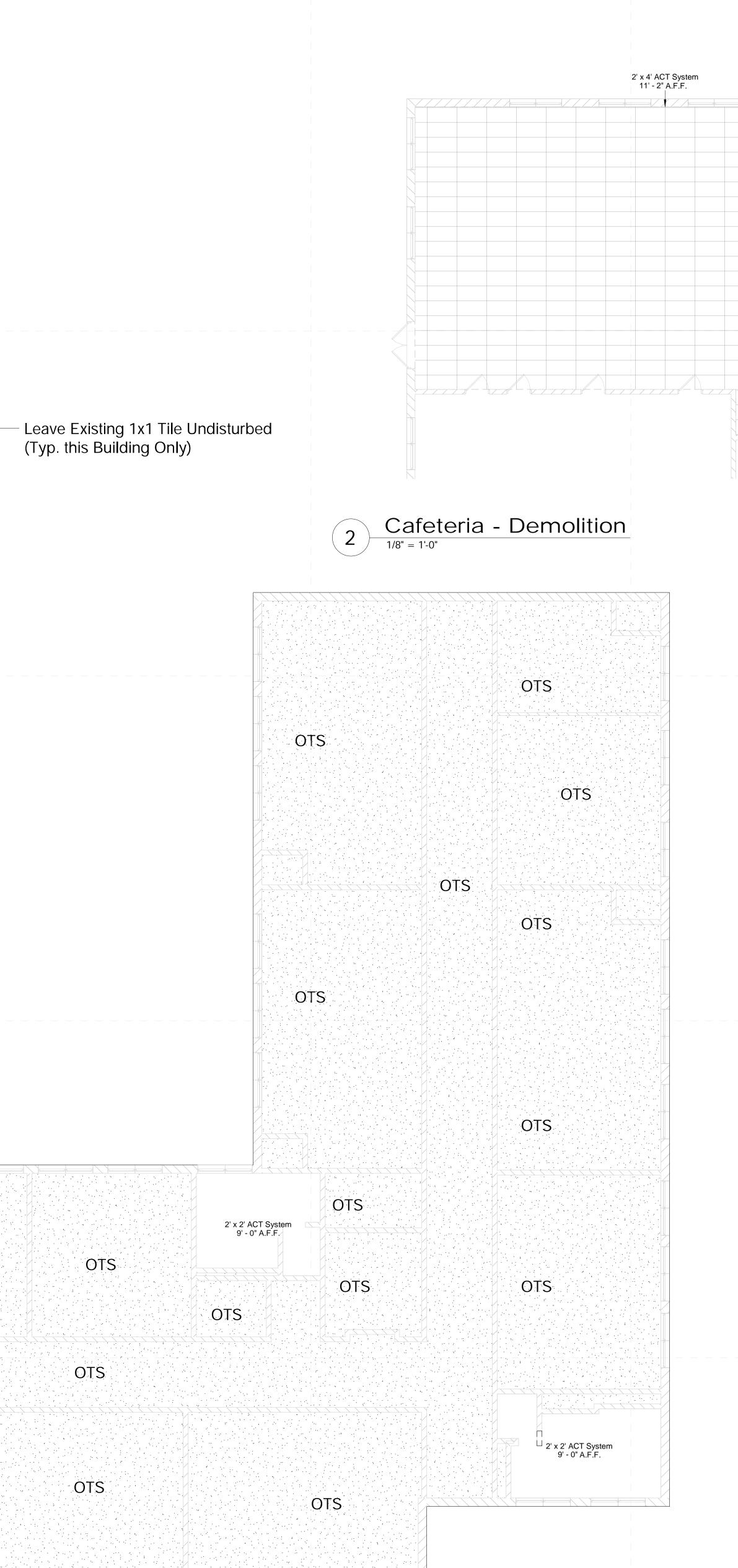
Girls 85



21027 Issue Date Rev Date Project No Date Revisions







	General RCP Demolition Notes
	<ol> <li>Where ceiling transitions from new ceiling to exist ceiling, coordinate with Architect detail.</li> <li>Remove all existing ceiling grid &amp; tile unless noted otherwise, as well as any wall fasteners and/or ma attached therein where shown to be replaced by materials.</li> </ol>
	<ol> <li>Owner has right of refusal for all demo work. If no GC to be responsible for disposal.</li> <li>Verify all existing conditions. Notify architect of an discrepancies between the existing conditions an documents. The Contractor is to consider the add work required by any discrepancies to be include Contract.</li> <li>Burying or Burning of materials will not be permitt site.</li> </ol>
	<ol> <li>Repair any damage caused to building constructinidentified to remain.</li> <li>Refer to other discipline drawings for additional draw</li></ol>
	to match adjacent surface material and finish. 10. No work in rooms with ceiling open to the structur unless noted otherwise.
Remove all Ceiling fans	
	Ceiling Legend
	Moisture Resistant Acoustical Lay In Ceiling
	Colored Acoustical Lay In Ceiling
	Vinyl Faced Acoustical Lay In Ceiling
	Gypsum Board Ceiling
	2x2 Acoustical Lay In Ceiling
	Plaster/Stucco
	Concealed Fastender Painted Metal Soffit
	2x2 Fluorescent Fixture
	─ ───────────────────────────────────
2' x 4' ACT System 10' - 0" A.F.F. 10' - 0" A.F.F.	<ul> <li>Recessed Can Light Fixture</li> </ul>
	HVAC Supply Grille
	HVAC Return Grille
2' x 4' ACT \$ystem 10' - 0" A.F.F.	Exterior Wall Light
System F.F.	<ul> <li>Interior Wall Light</li> </ul>
2' x 4' ACT System 10' - 0" A.F.F. +	Open to Structure (OTS)

2' x 4' ACT \$ystem 10' - 0" A.F.F.

2' x 4' ACT System 10' - 0" A.F.F.

2' x 4' ACT System 10' - 0" A.F.F.

ceiling to existing

e unless noted ners and/or mastics e replaced by new

mo work. If not retained,

architect of any conditions and these nsider the additional to be included in this

not be permitted on

ling construction

r additional demolition

e the responsibility of erty by owner to be r and school district. 1, patch, repair, & paint and finish. to the structure above,



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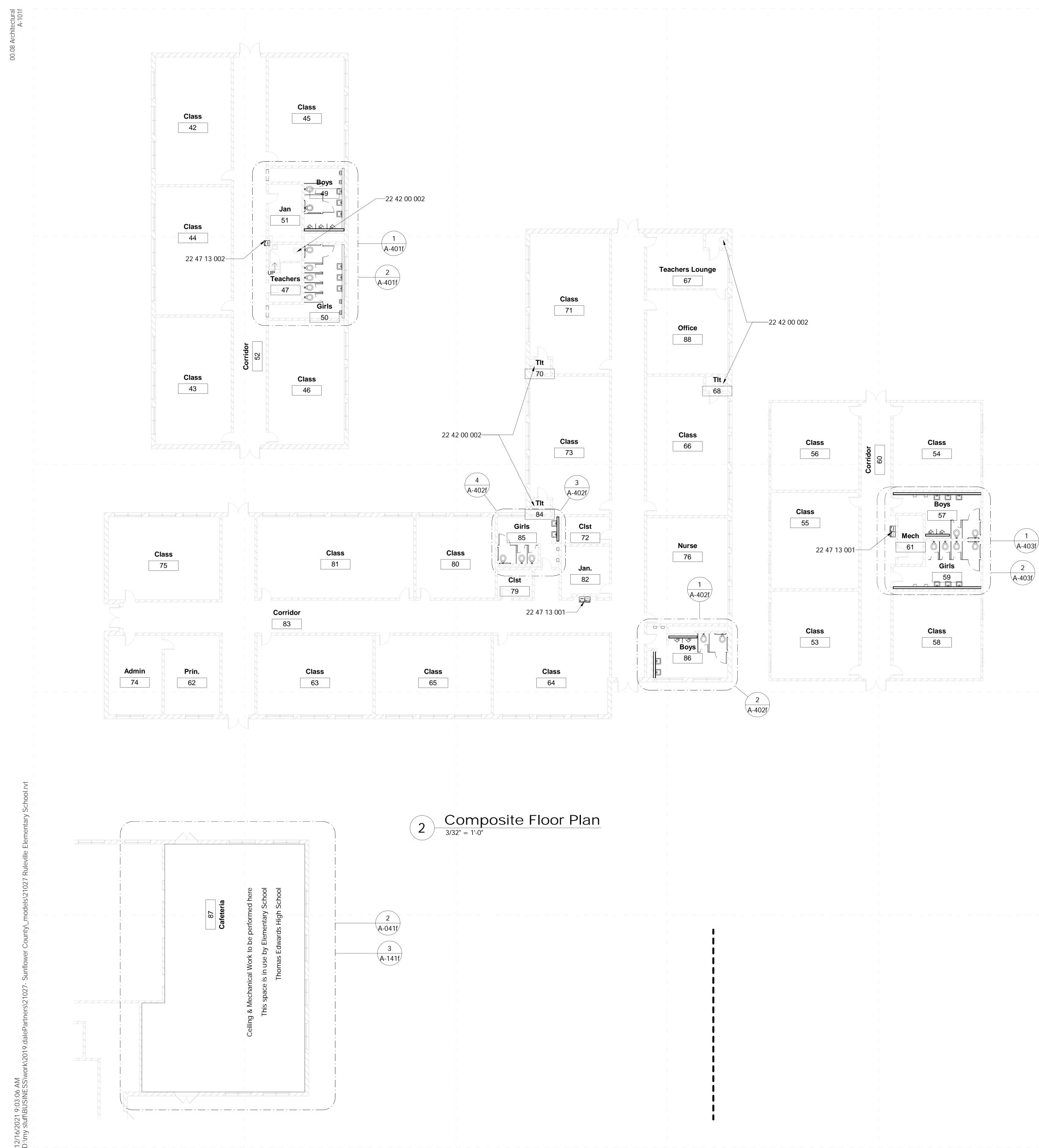


Light Fixture



### 21027 Project No Issue Date Rev Date Revisions





# Specific Notes

22 42 00 002	New fixtures only in this toilet room; coordinate with mechanical
22 47 13 001	Install double drinking fountain here; coordinate with mechanical & electrical drawings
22 47 13 002	Install single drinking fountain here with bottle filler attachment; coordinate with mechanical & electrical drawings



Architects

One Jackson Place 250 188 East Capitol Street Jackson, MS 39201 p 601.352.5411

201 Park Court Suite B Ridgeland, MS 39157 p 601.790.9432

161 Lameuse St. Suite 201 Biloxi, MS 39530 p 228.374.1409

dalebaileyplans.com

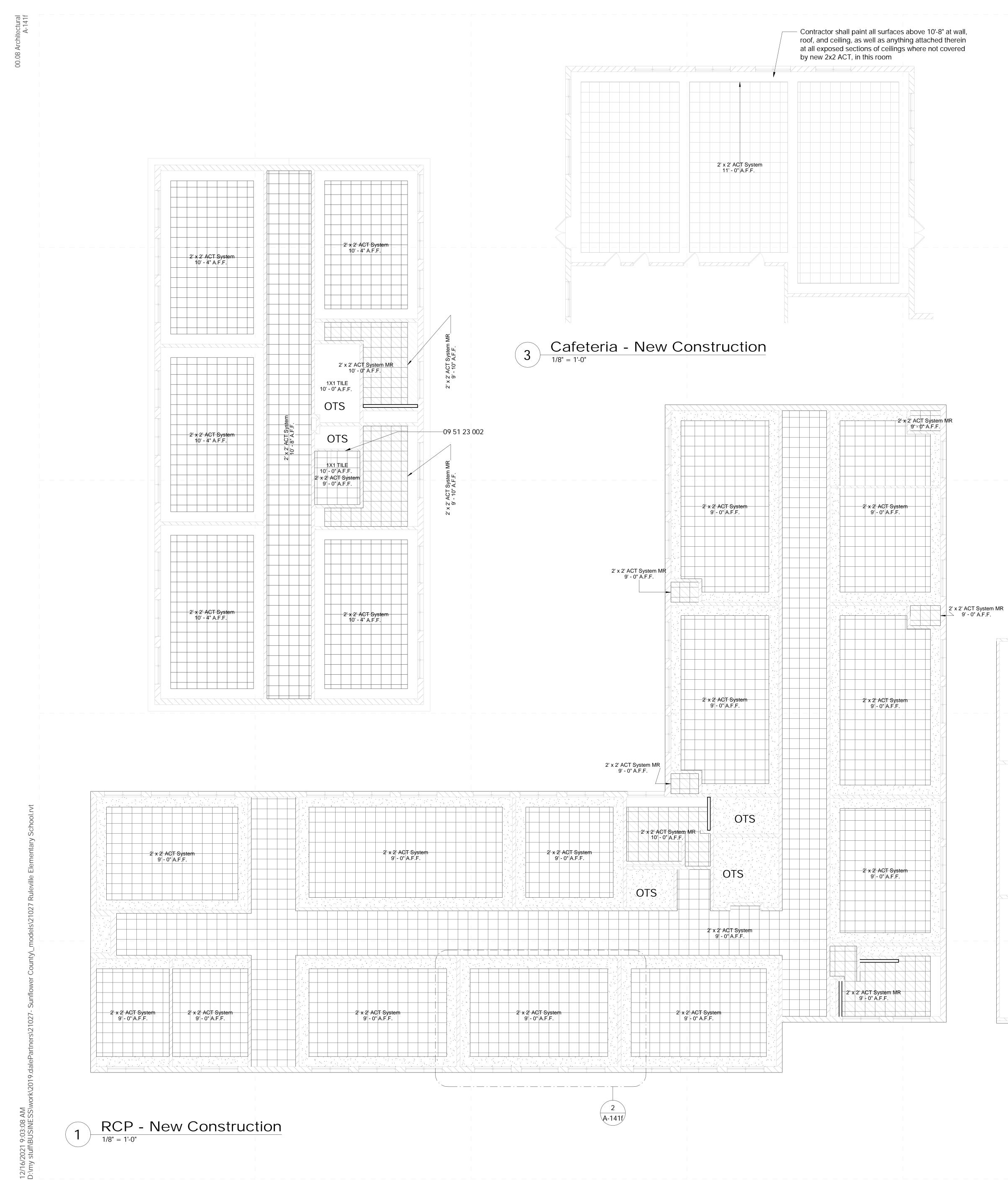


Phase 38771 2&3 lle, MS **Consolidated School District ESSER** Rulevil • Dr Packer LL 410 School: Ruleville Elementary Sunflower

## Construction Documents Project No 21027

Issue Date Rev Date Revisions

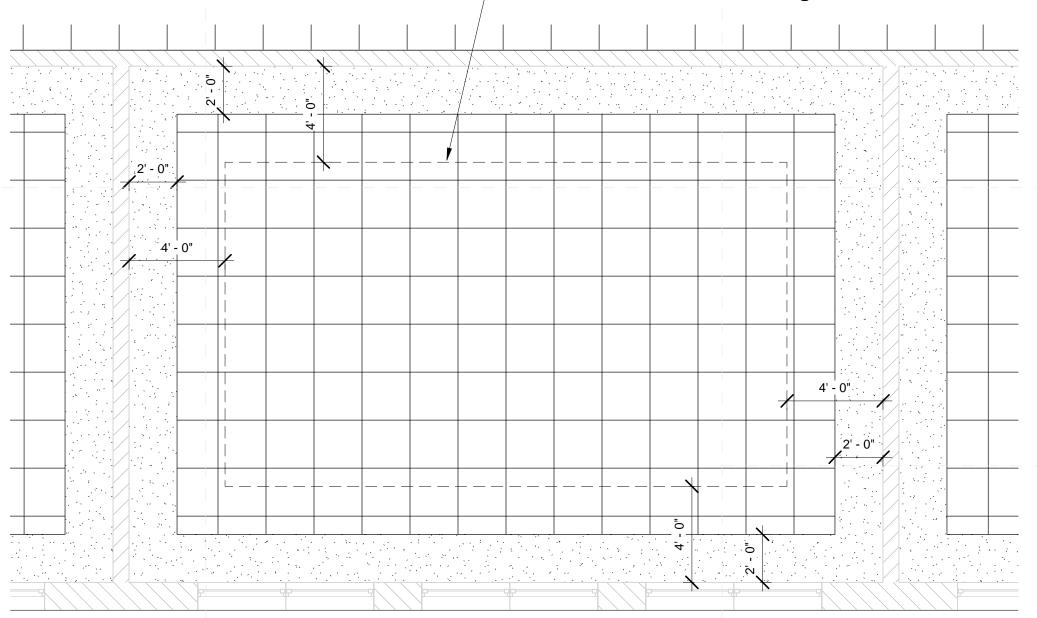




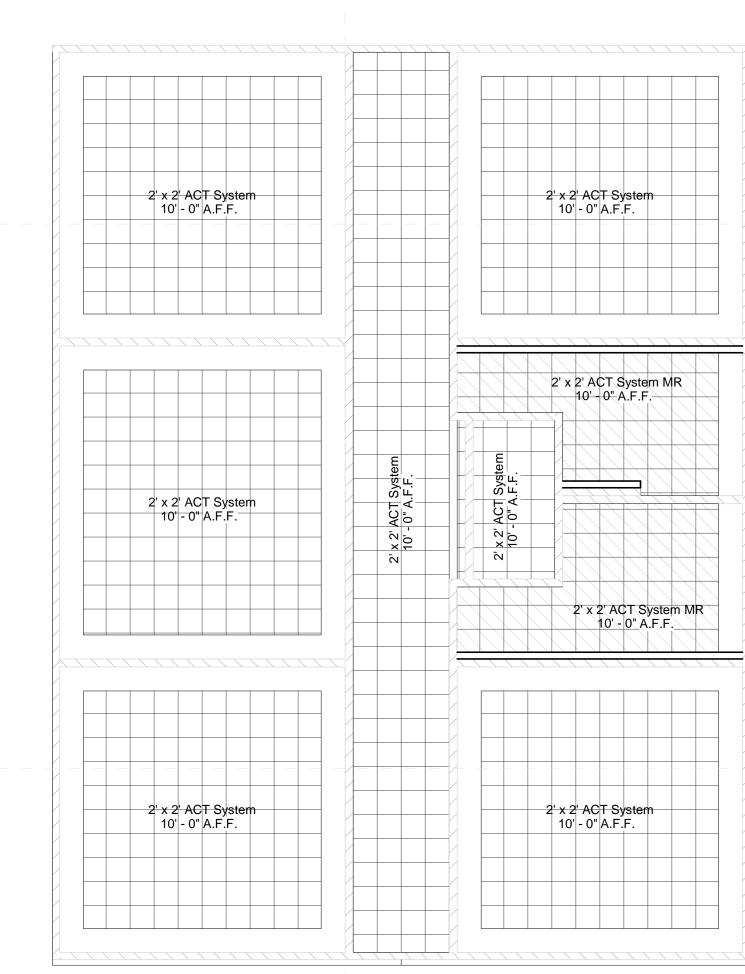
## General RCP Notes

- 1. All ceiling heights shall be same as existing or lower, unless noted otherwise.
- 2. Contractor shall paint all surfaces above 8'-8" at wall, roof, and ceiling, as well as anything attached therein at all exposed sections of ceilings where not covered by new 2x2 ACT, unless noted otherwise.
- 3. Repair/replace any and all ceiling damaged due to construction activities.
- 4. Bent ceiling grid damaged due to construction activities shall be replaced or bent to appear as new in shape.

# - Extent of Paint @ Ceiling Surface



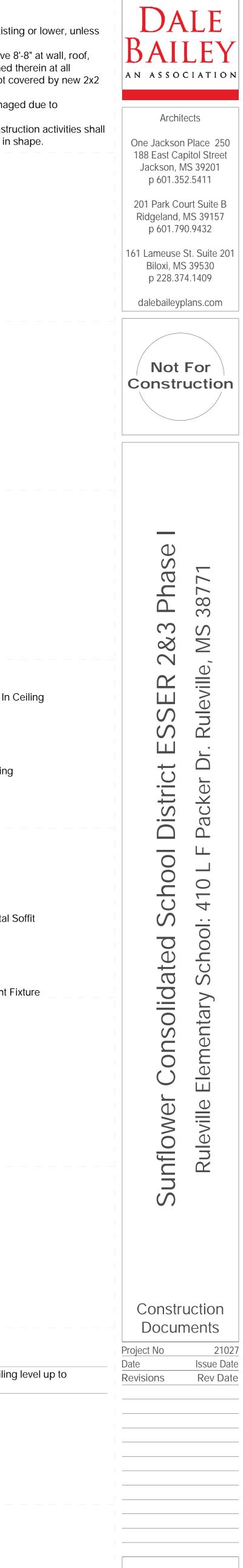
Typical Ceiling Layout 2



Ceilin	eiling Legend		
	Moisture Resistant Acoustical Lay In		
	Colored Acoustical Lay In Ceiling		
	Vinyl Faced Acoustical Lay In Ceiling		
	Gypsum Board Ceiling		
	2x2 Acoustical Lay In Ceiling		
	Plaster/Stucco		
	Concealed Fastender Painted Metal		
$\boxtimes$	2x2 Fluorescent Fixture		
	Surface-Mounted Fluorescent Light		
0	Recessed Can Light Fixture		
	HVAC Supply Grille		
	HVAC Return Grille		
B	Exterior Wall Light		
$\bigotimes$	Interior Wall Light		
	Open to Structure (OTS)		

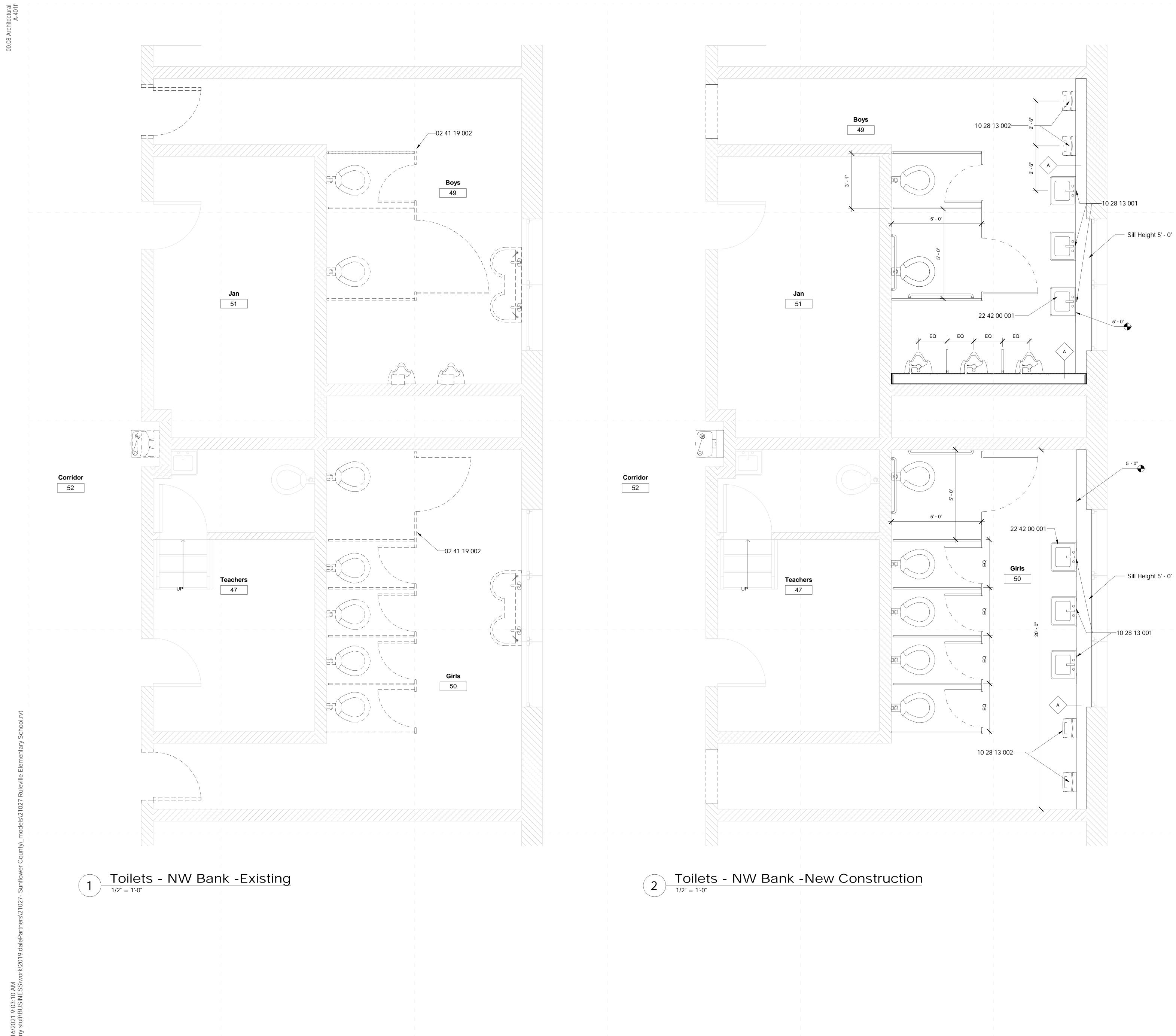
# Specific Notes

09 51 23 002 Install ATC as wall from ceiling level up to roof/floor deck



Composite RCP

A-141f



 $\square$ 

# General Demolition Notes

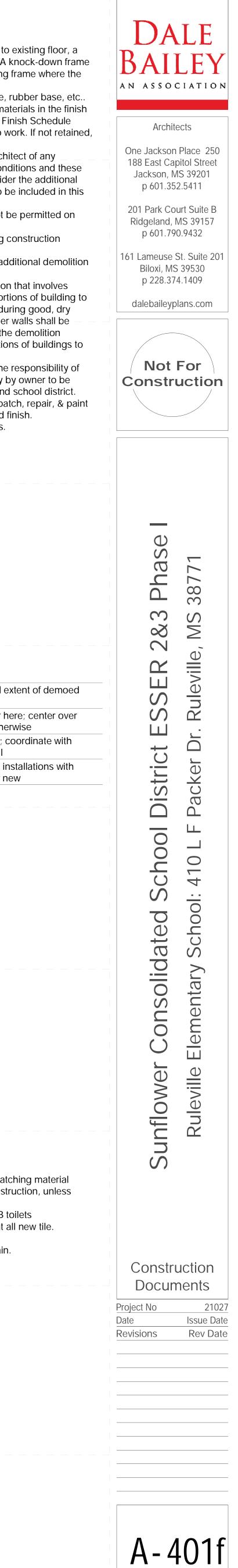
- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- 2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule 3. Owner has right of refusal for all demo work. If not retained,
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- 5. Burying or Burning of materials will not be permitted on
- 6. Repair any damage caused to building construction
- identified to remain. 7. Refer to other discipline drawings for additional demolition information as noted
- 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
- 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- 10. Where areas are removed or altered, patch, repair, & paint
- to match adjacent surface material and finish. 11. Remove partitions and existing fixtures.

# Specific Notes

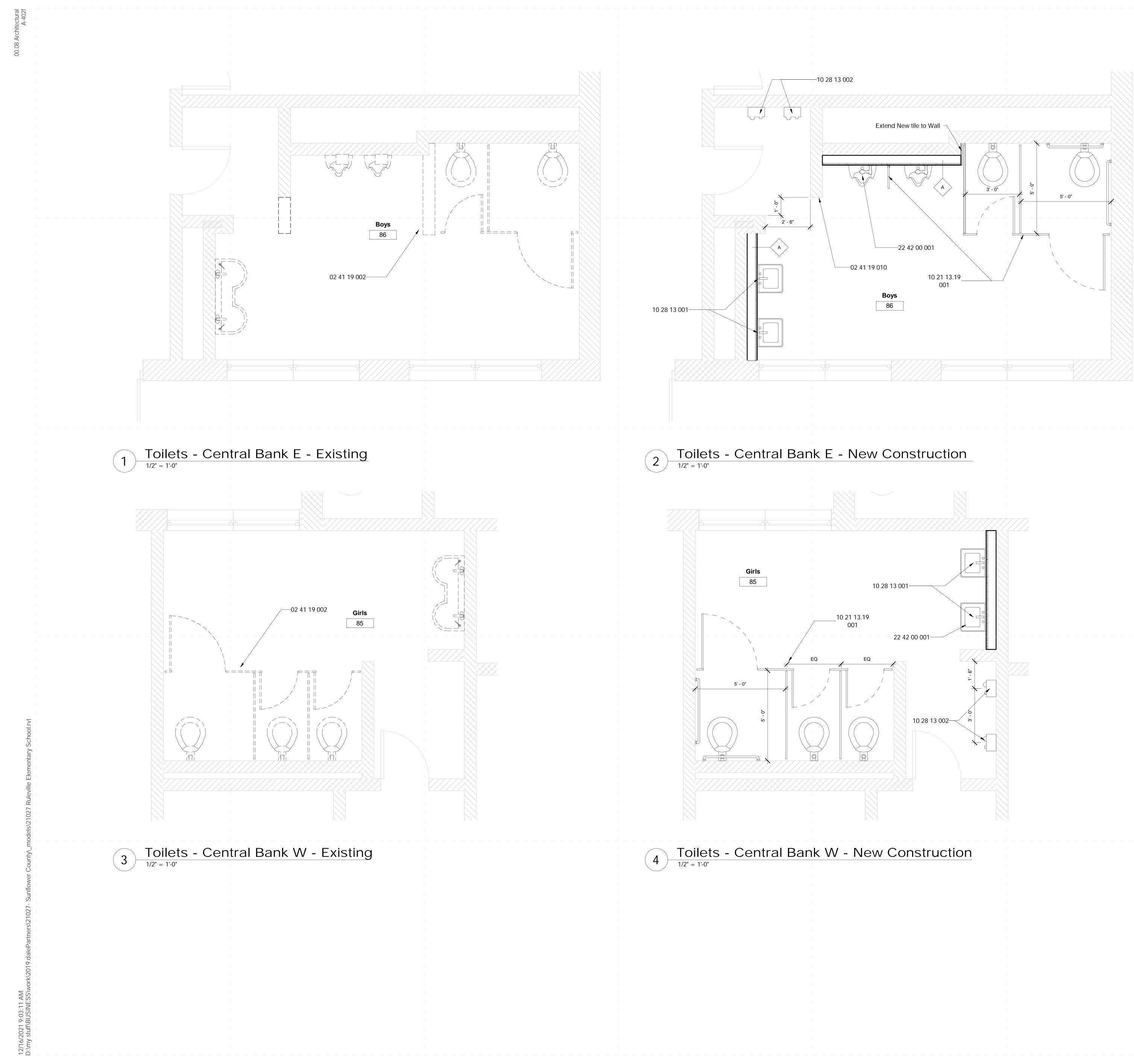
	02 41 19 002	Dashed lines indicated e work
	10 28 13 001	Install wall hung mirror h fixture unless noted othe
	10 28 13 002	Install hand dryer here; delectrical & mechanical
	22 42 00 001	Coordinate new fixture ir mechanical, typical for n

## General Finish Plan Notes

- 1. Patch tile at all floors and walls with matching material where missing or removed due to construction, unless
- noted otherwise. 2. Install new grab bars at all ADA & AMB toilets
- Install moisture resistant back board at all new tile.
- Clean and reseal grout at floor tile.
   Wash down and clean all FRP to remain.



Toilets NW



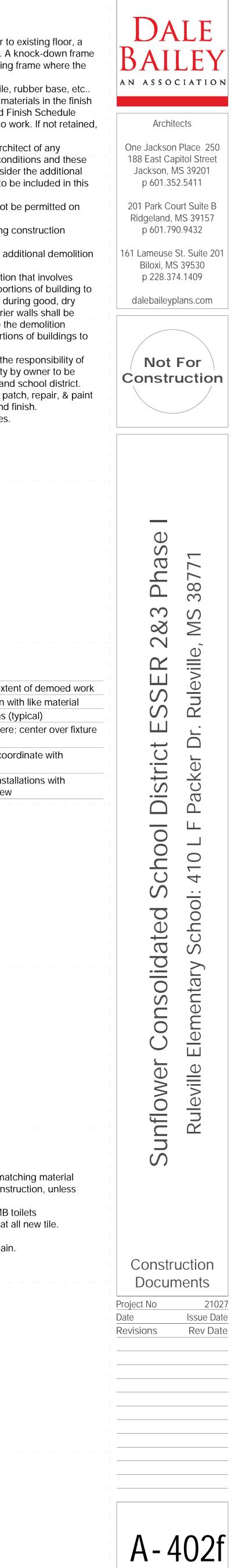
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- 11. Remove partitions and existing fixtures.

# Specific Notes

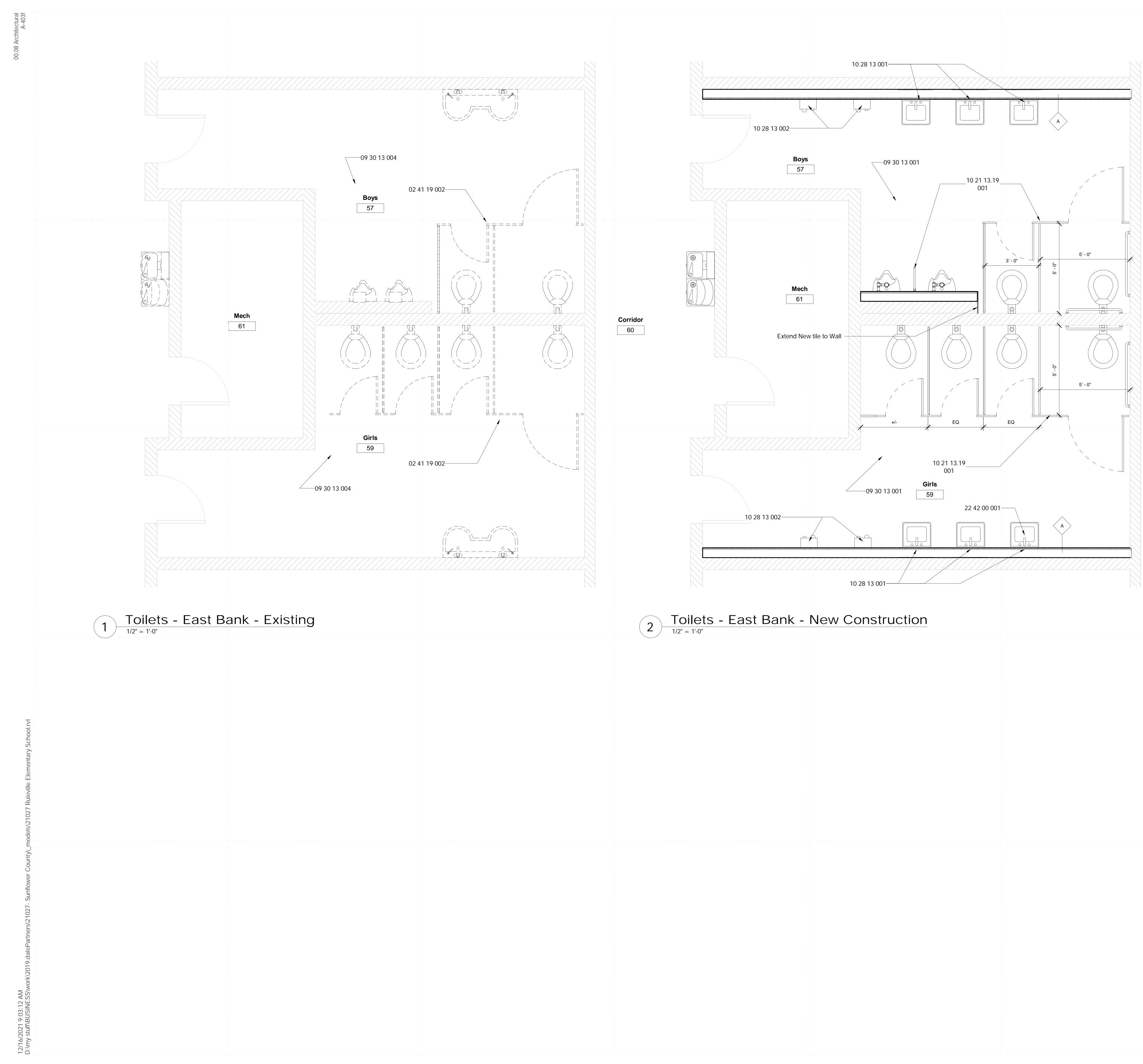
02 41 19 002	Dashed lines indicated ext
02 41 19 010	Repair demoed to remain
10 21 13.19 001	Install new toilet partitions
10 28 13 001	Install wall hung mirror her unless noted otherwise
10 28 13 002	Install hand dryer here; co electrical & mechanical
22 42 00 001	Coordinate new fixture ins mechanical, typical for new

## General Finish Plan Notes

- 1. Patch tile at all floors and walls with matching material where missing or removed due to construction, unless noted otherwise.
- 2. Install new grab bars at all ADA & AMB toilets 3. Install moisture resistant back board at all new tile.
- Clean and reseal grout at floor tile.
   Wash down and clean all FRP to remain.



Toilets Central



# General Finish Plan Notes

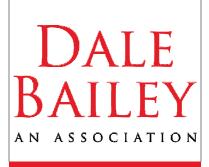
- 1. Patch tile at all floors and walls with matching material where missing or removed due to construction, unless noted otherwise.
- 2. Install new grab bars at all ADA & AMB toilets 3. Install moisture resistant back board at all new tile.
- 4. Clean and reseal grout at floor tile.
- 5. Wash down and clean all FRP to remain.

## Specific Notes

02 41 19 002	Dashed lines indicated work
09 30 13 001	Install new floor tile; sl drain provided
09 30 13 004	Prep surface for new t shall be repsonsible for lack of adhesion betw substrates as well as l tile
10 21 13.19 001	Install new toilet partiti
10 28 13 001	Install wall hung mirro fixture unless noted ot
10 28 13 002	Install hand dryer here electrical & mechanica
22 42 00 001	Coordinate new fixture mechanical, typical for

### General Demolition Notes

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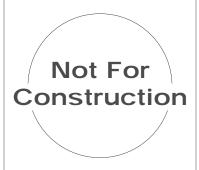
### Architects

One Jackson Place 250 188 East Capitol Street Jackson, MS 39201 p 601.352.5411

201 Park Court Suite B Ridgeland, MS 39157 p 601.790.9432

161 Lameuse St. Suite 201 Biloxi, MS 39530 p 228.374.1409

dalebaileyplans.com



ed extent of demoed ; slope to floor drain is

tile install; contractor for issues concerning ween mortar and levelness of finished

rtitions (typical) ror here; center over otherwise re; coordinate with

ure installations with or new

3. Owner has right of refusal for all demo work. If not retained,

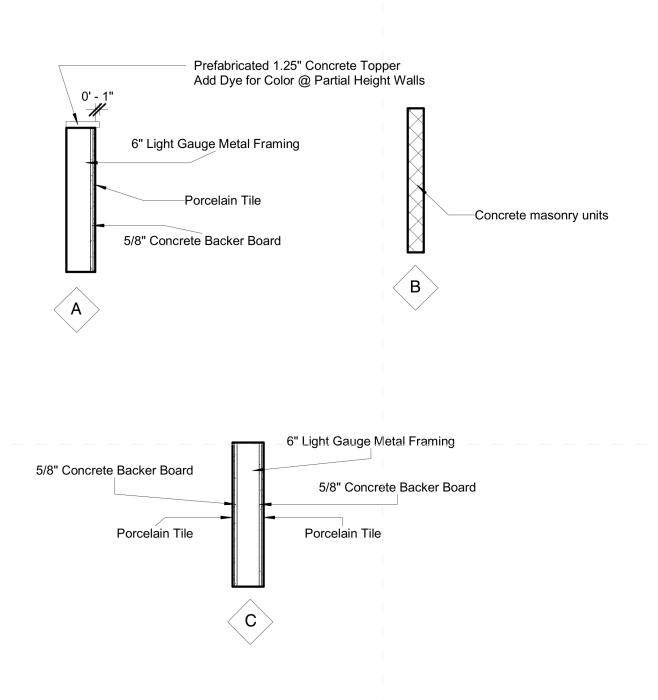




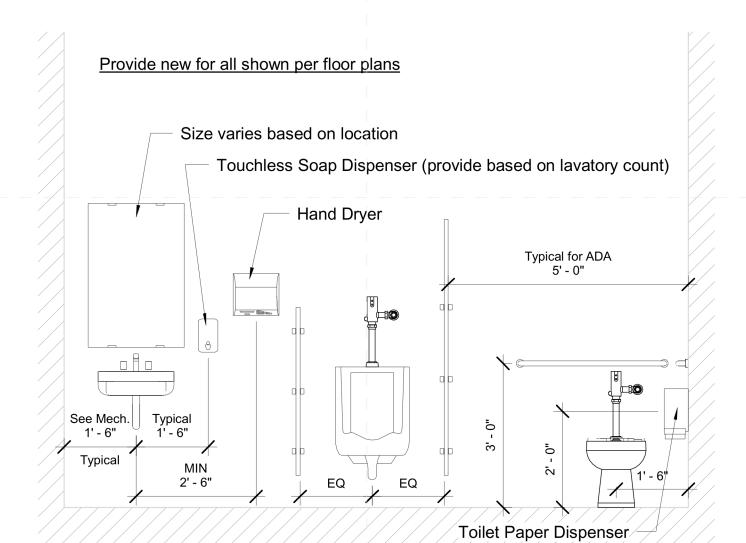
# All School's Specific Notes

	02 41 19 002	Dashed lines indicated extent of demoed work
	02 41 19 006	Remove Ceiling Tile Only in the Room; repair grid as needed
	02 41 19 007	Coordinate measurements with new construction
	08 11 13 002	Install new 36" HM Door and Frame with new hardware
	08 71 00 001	Replace all door hardware with new at existing leaf
	09 05 05 01	Install leveling compound as needed for smooth appearance of new tile & a flush threshold to adjacent floors, typical on new floor tile
	09 51 23 001	Install new ceiling tile into existing grid here
	10 21 13.19 001	Install new toilet partitions (typical)
	10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
	10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
	10 28 13 003	Install new ADA/AMD Grab bars here
	22 42 00 001	Coordinate new fixture installations with mechanical, typical for new
	22 42 00 002	New fixtures only in this toilet room; coordinate with mechanical
	22 47 13 001	Install double drinking fountain here; coordinate with mechanical & electrical drawings

- 17

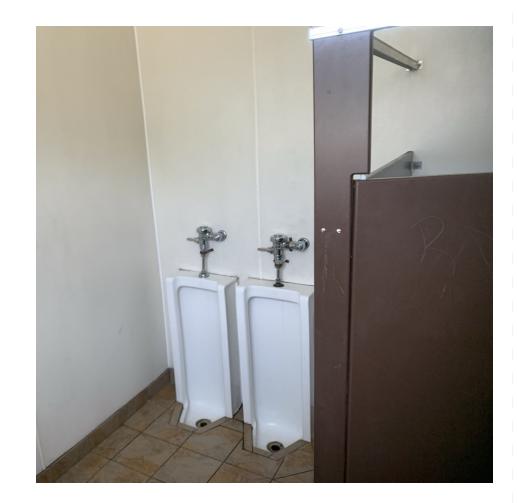


# Wall Standards 1/2" = 1'-0"



1 Typical Toilet Room Wall 1/2" = 1'-0"





Mens 67



Mens 94

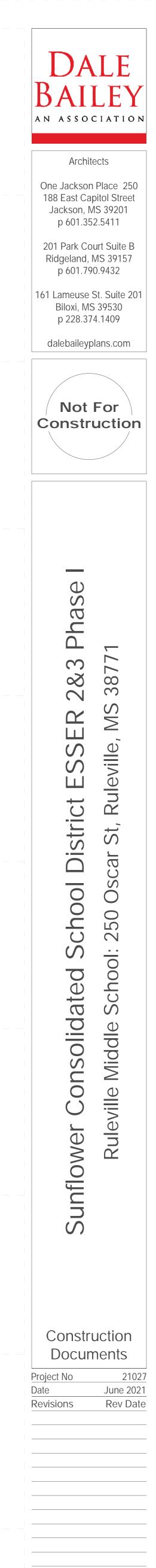
Front of School



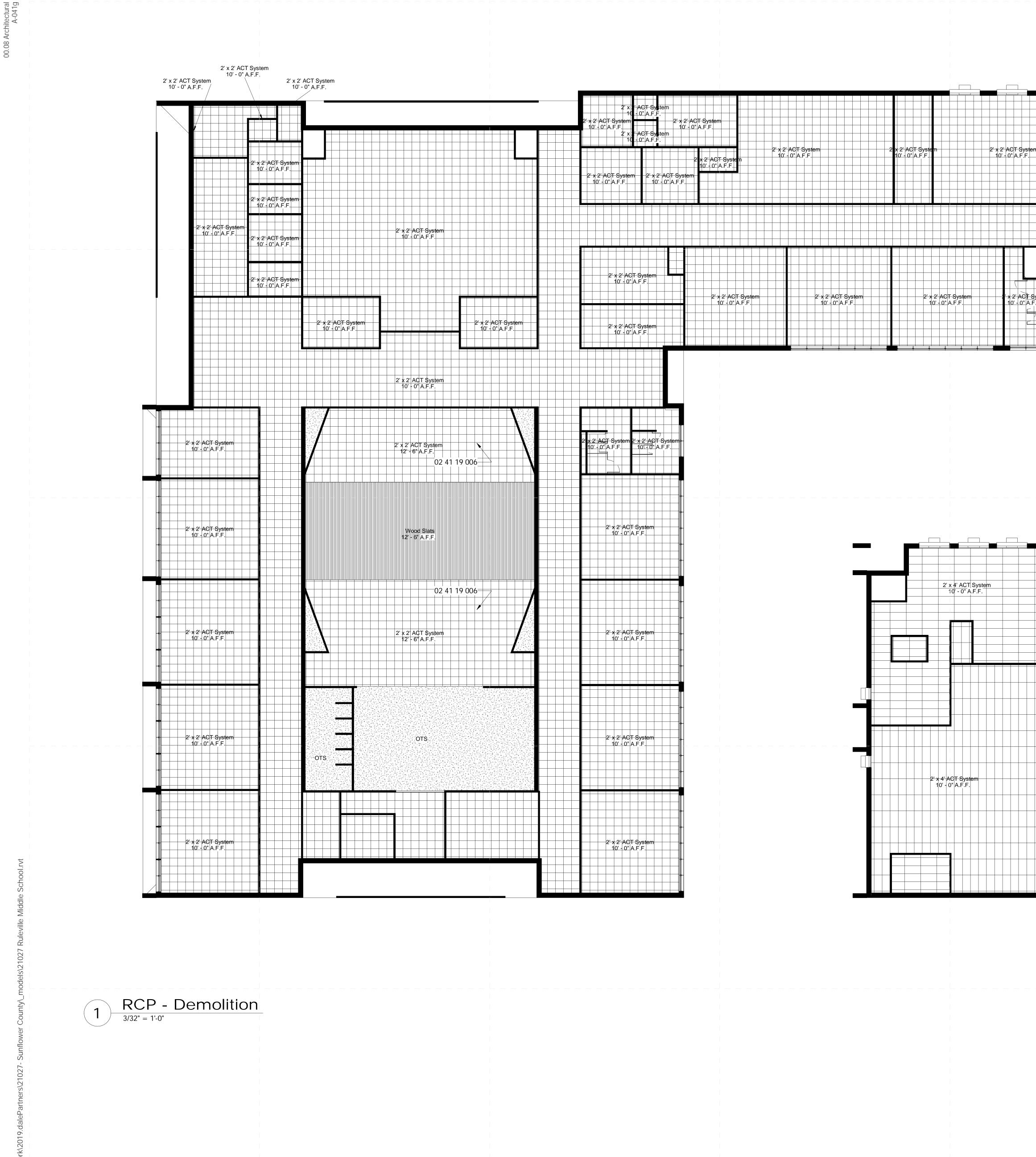
Womens 66



Womens 92







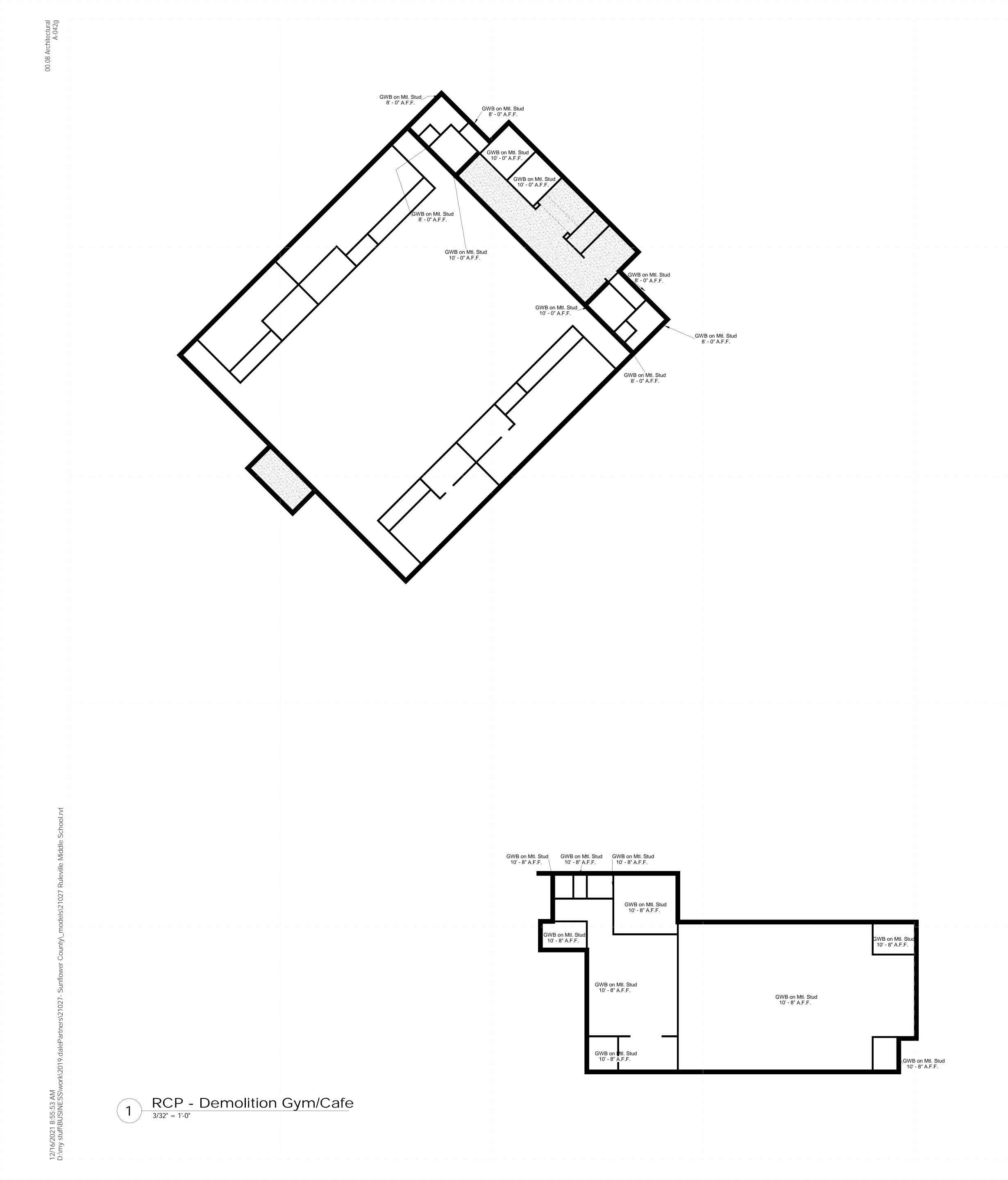
12/16/203 D:\my stu

	General Demolition Notes
F System A, F, - A, A, A	<ol> <li>Where floor transitions from new floor to a floor transition strip is to be provided. A k is to be provided in place of the existing for opening is a part of corridor.</li> <li>Remove all existing flooring, ceiling tile, r where shown to be replaced by new mate schedule. RE: Floors plans, RCP, and Fir</li> <li>Owner has right of refusal for all demo we GC to be responsible for disposal.</li> <li>Verify all existing conditions. Notify archit discrepancies between the existing cond documents. The Contractor is to conside work required by any discrepancies to be Contract.</li> <li>Burying or Burning of materials will not be site.</li> <li>Repair any damage caused to building conditentiation as noted</li> <li>Schedule with the Owner any demolition exposing to the weather the interior portion remain. This work is to be performed duri weather or temporary waterproof barrier or constructed at all occurrences where the exposes weather to the interior of portion remain.</li> <li>Existing loose school property to be the responsion of property by coordinated between the contractor and 10. Where areas are removed or altered, patt to match adjacent surface material and fin 11. Remove partitions and existing fixtures.</li> </ol>
	Specific Notes
	Ceiling Legend         Moisture Resistant Acoustical La         Colored Acoustical Lay In Ceiling         Vinyl Faced Acoustical Lay In Ceiling         Gypsum Board Ceiling         2x2 Acoustical Lay In Ceiling         Plaster/Stucco         Concealed Fastender Painted M         2x2 Fluorescent Fixture         Surface-Mounted Fluorescent Li         Recessed Can Light Fixture
	<ul> <li>HVAC Supply Grille</li> <li>HVAC Return Grille</li> <li>Exterior Wall Light</li> <li>Interior Wall Light</li> </ul>

Open to Structure (OTS)

DALE BAILEY existing floor, a knock-down frame g frame where the AN ASSOCIATION rubber base, etc.. aterials in the finish Architects inish Schedule work. If not retained, One Jackson Place 250 188 East Capitol Street nitect of any Jackson, MS 39201 ditions and these p 601.352.5411 er the additional be included in this 201 Park Court Suite B Ridgeland, MS 39157 be permitted on p 601.790.9432 construction 161 Lameuse St. Suite 201 Biloxi, MS 39530 ditional demolition p 228.374.1409 n that involves tions of building to dalebaileyplans.com iring good, dry r walls shall be e demolition ons of buildings to Not For e responsibility of Construction by owner to be d school district. atch, repair, & paint inish. Phase 2&3 387 S Sunflower Consolidated School District ESSER  $\geq$ , Ruleville, I St, car S  $\bigcirc$ 250 School: Lay In Ceiling **Ruleville Middle** eiling Metal Soffit Light Fixture Construction Documents Project No 21027 June 2021 Date Rev Date Revisions



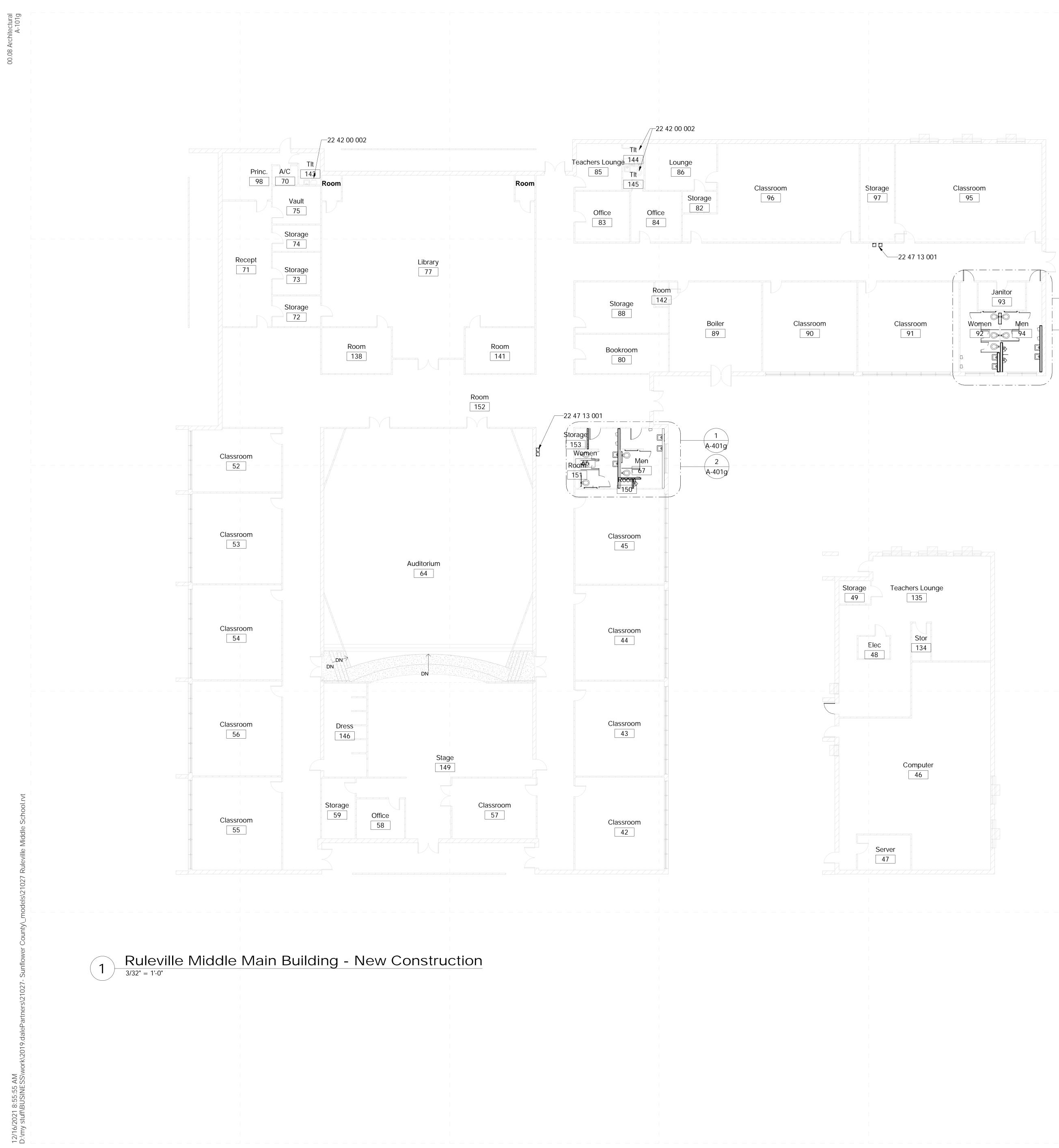


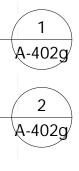
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	Specific Notes
	Ceiling Legend         Moisture Resistant Acoustical Lay In         Colored Acoustical Lay In Ceiling         Image: Colorealed Fastender Painted Metal Base         Image: Concealed Fastender Painted Fluorescent Light Fixture         Image: Concealed Fastender Painted Fluorescent Light Fixture         Image: Concealed Fastender Painter         Image:

	· · · · · · · · · · · · · · · · · · ·
to existing floor, a A knock-down frame ng frame where the le, rubber base, etc materials in the finish I Finish Schedule o work. If not retained, chitect of any onditions and these sider the additional o be included in this	Architects One Jackson Place 250 188 East Capitol Street Jackson, MS 39201 p 601.352.5411
ot be permitted on	201 Park Court Suite B Ridgeland, MS 39157
g construction additional demolition	p 601.790.9432 161 Lameuse St. Suite 201
tion that involves ortions of building to during good, dry rier walls shall be the demolition	Biloxi, MS 39530 p 228.374.1409 dalebaileyplans.com
tions of buildings to the responsibility of ty by owner to be and school district. patch, repair, & paint ad finish.	Not For Construction
	nsolidated School District ESSER 2&3 Phase I Middle School: 250 Oscar St, Ruleville, MS 38771
ay In Ceiling g	
eiling	Sunflower Co Ruleville
letal Soffit	Construction
ght Fixture	DocumentsProject No21027DateJune 2021RevisionsRev Date
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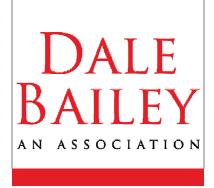
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## Specific Notes

22 42 00	002	New fixtures only in this toile with mechanical
22 47 13	001	Install double drinking founta with mechanical & electrical



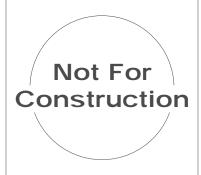
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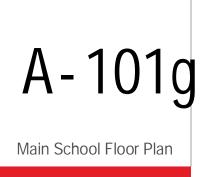
161 Lameuse St. Suite 201 Biloxi, MS 39530 p 228.374.1409

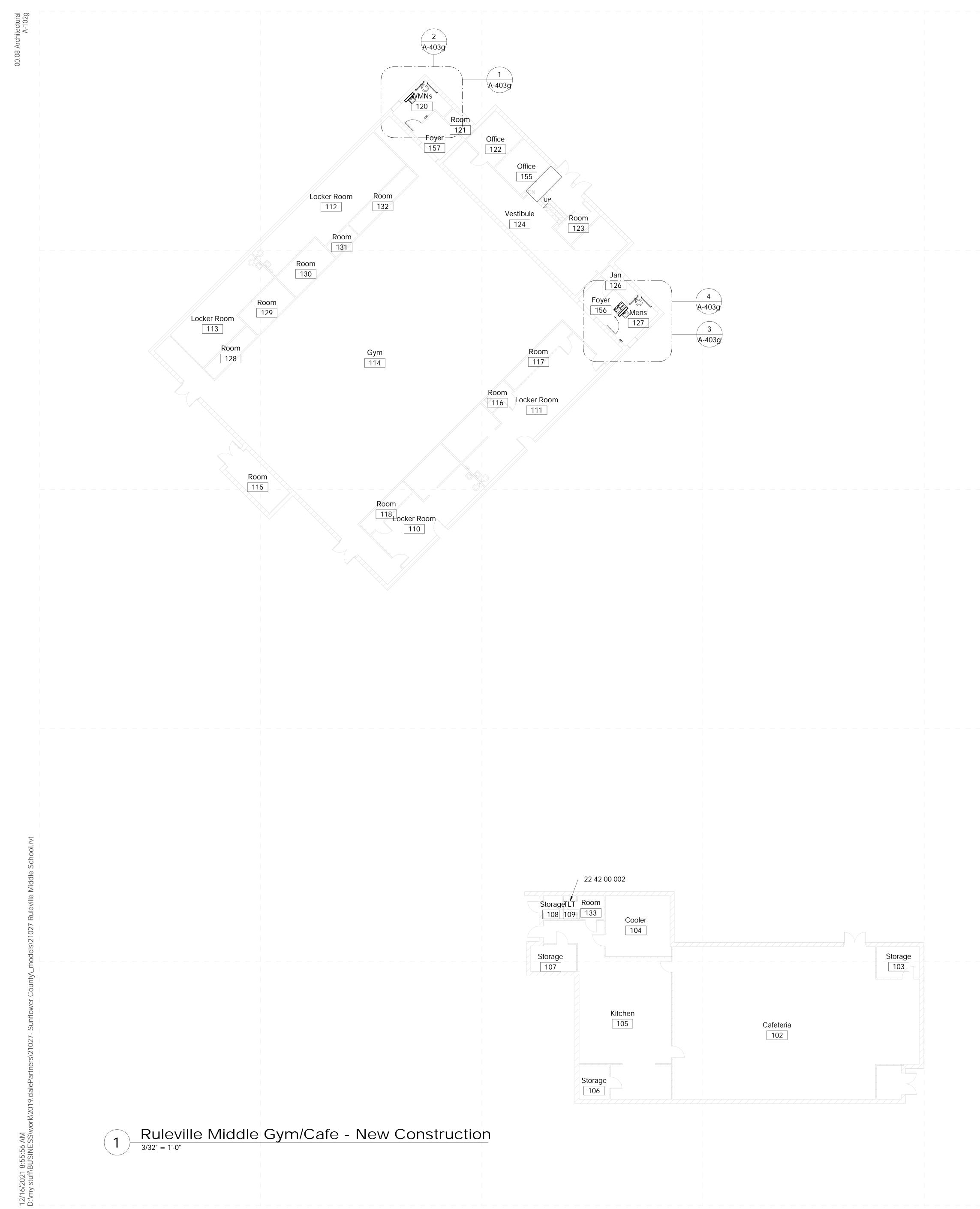
dalebaileyplans.com



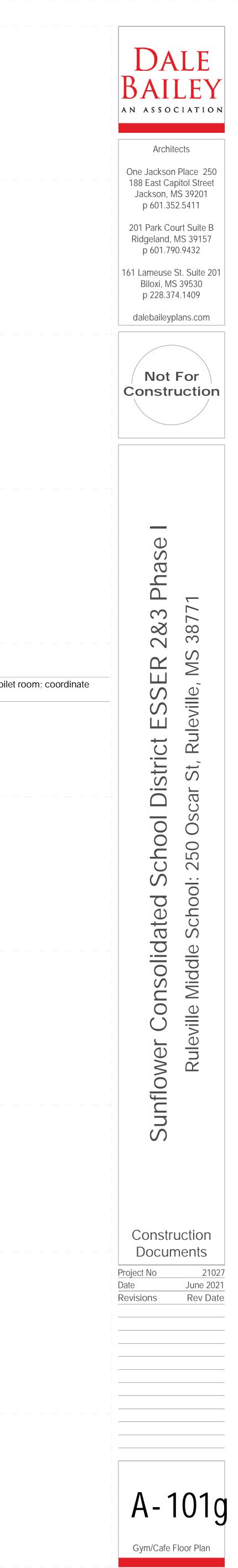
ilet room; coordinate ntain here; coordinate al drawings

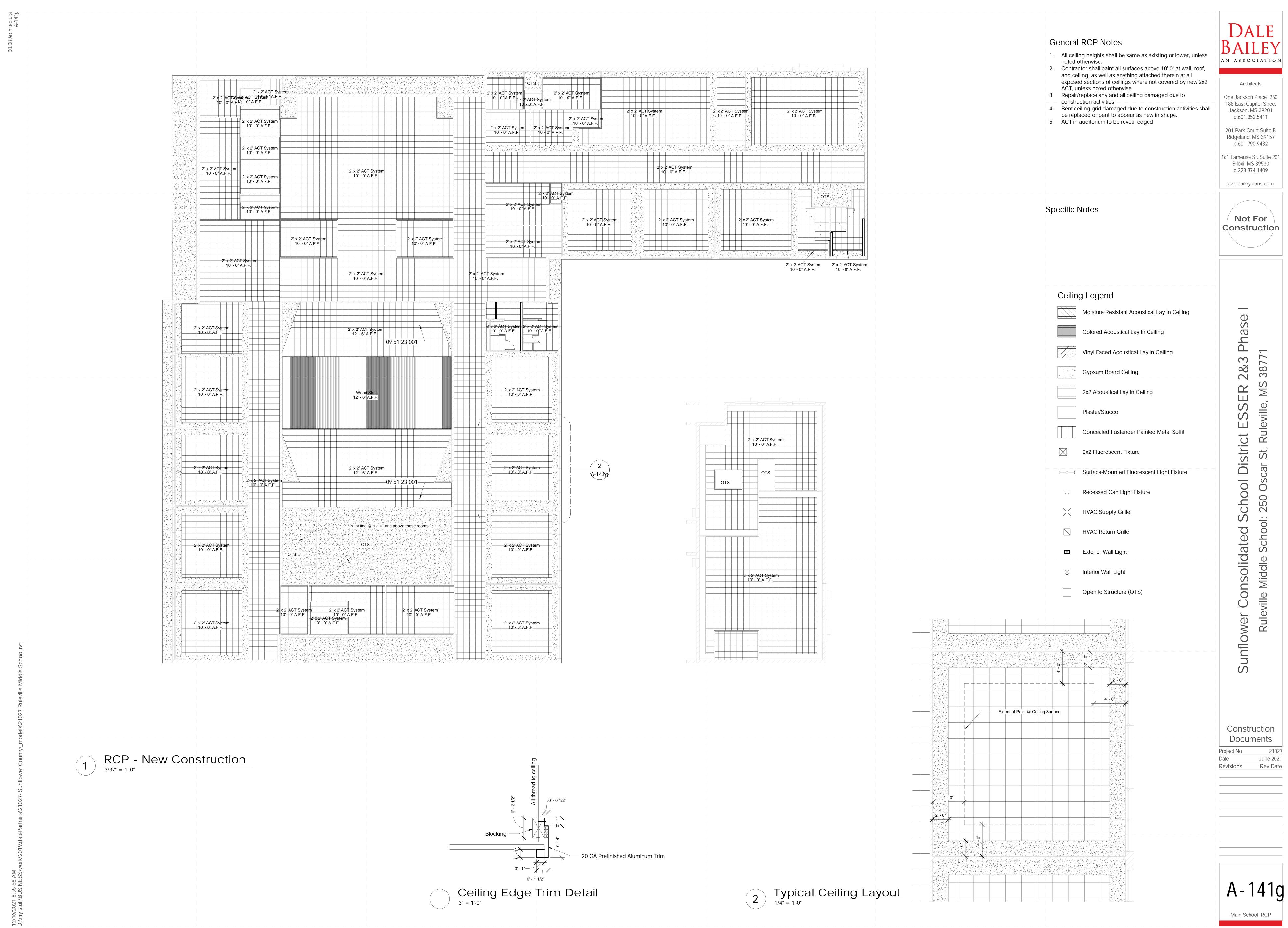


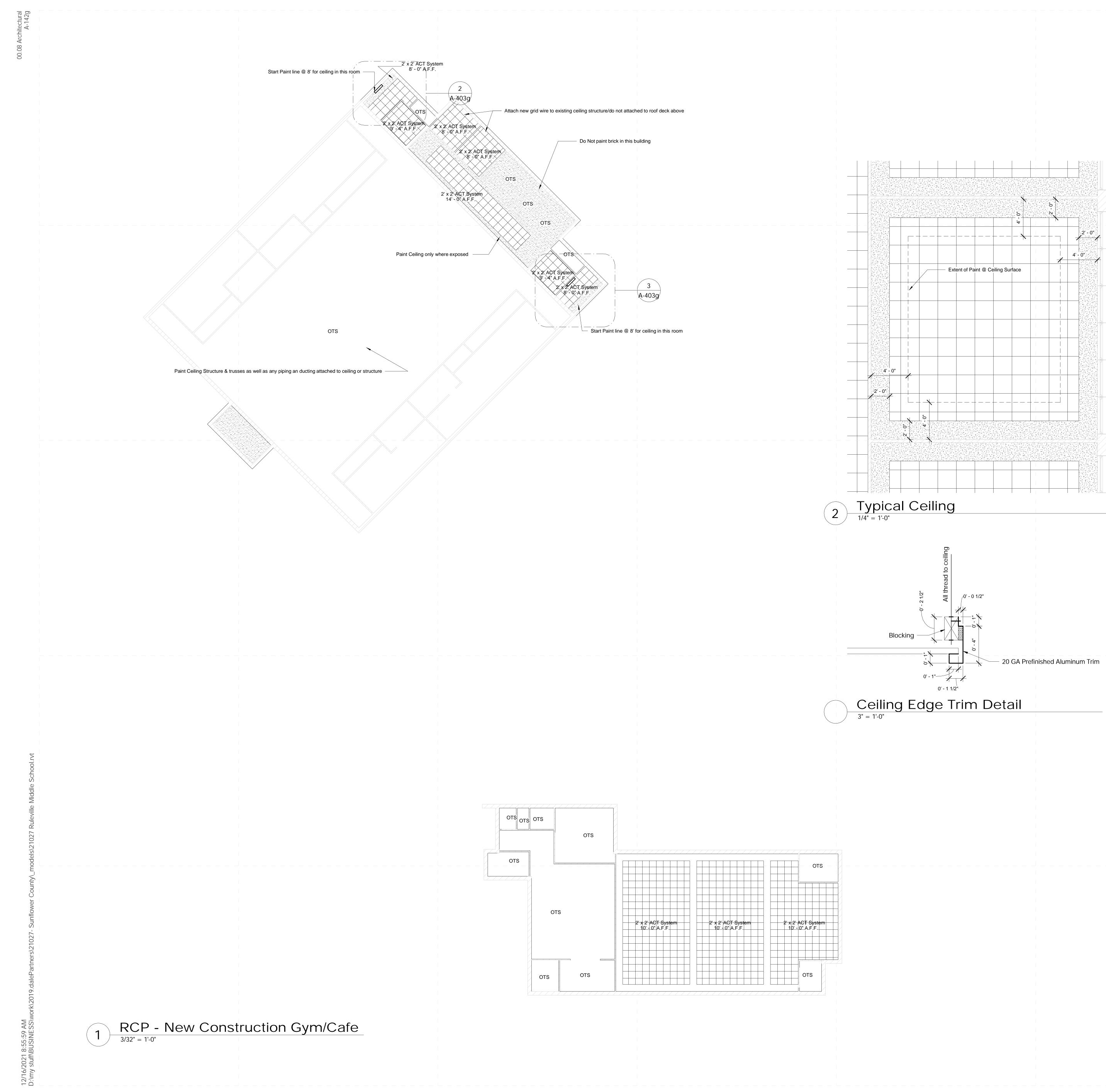




	Specific Notes
	22 42 00 002 New fixtures only in this toil
	22 42 00 002 New fixtures only in this toil with mechanical







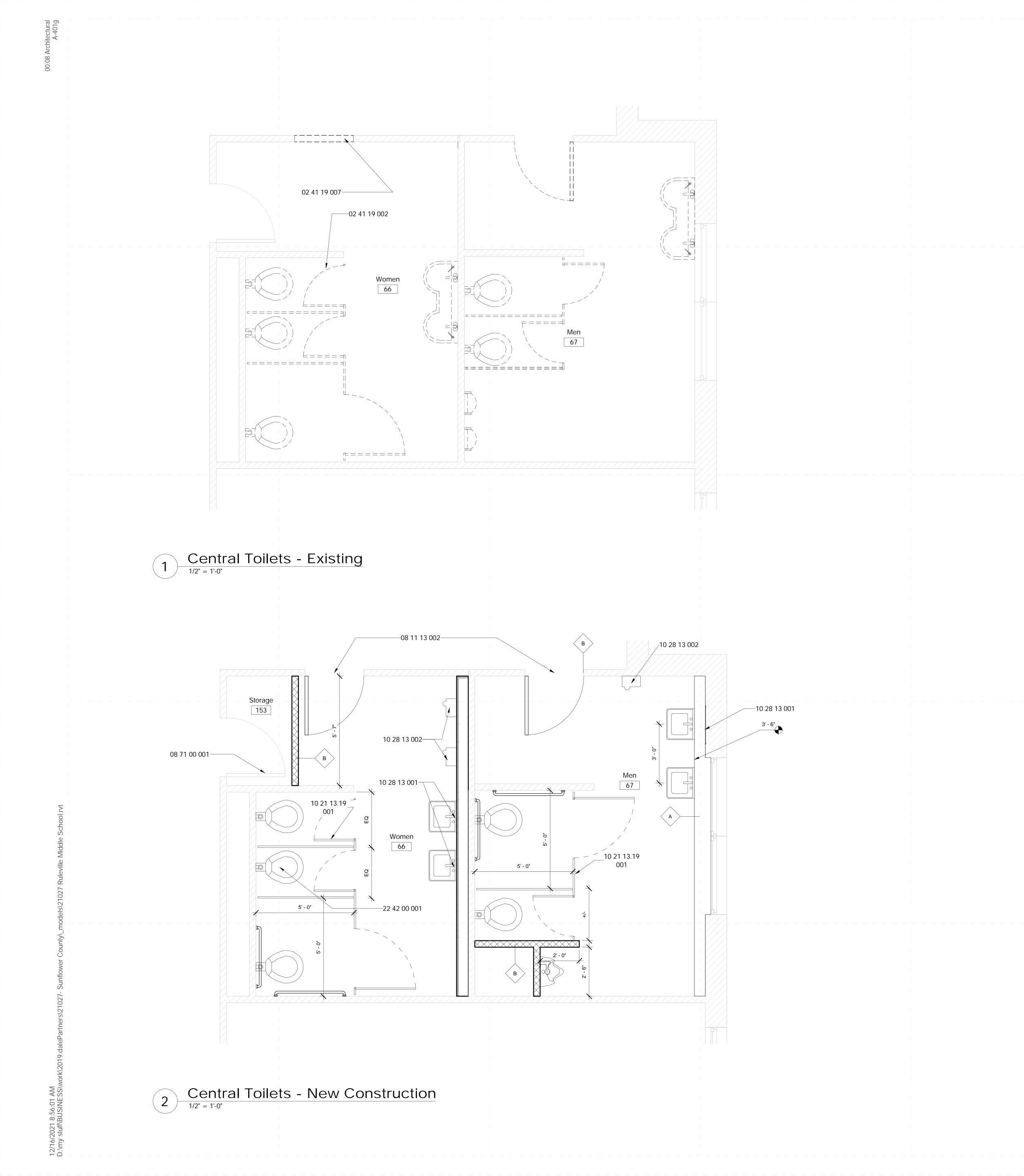
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- 2. Contractor shall paint all surfaces above 10'-0" at wall, roof, and ceiling, as well as anything attached therein at all exposed sections of ceilings where not covered by new 2x2 ACT, unless noted otherwise
- 3. Repair/replace any and all ceiling damaged due to construction activities.
- 4. Bent ceiling grid damaged due to construction activities shall
- be replaced or bent to appear as new in shape. 5. ACT in auditorium to be reveal edged

# Ceiling Legend

	Moisture Resistant Acoustical
	Colored Acoustical Lay In Ceil
	Vinyl Faced Acoustical Lay In
	Gypsum Board Ceiling
	2x2 Acoustical Lay In Ceiling
	Plaster/Stucco
	Concealed Fastender Painted
$\boxtimes$	2x2 Fluorescent Fixture
	Surface-Mounted Fluorescent
0	Recessed Can Light Fixture
	HVAC Supply Grille
	HVAC Return Grille
8	Exterior Wall Light
$\otimes$	Interior Wall Light
	Open to Structure (OTS)





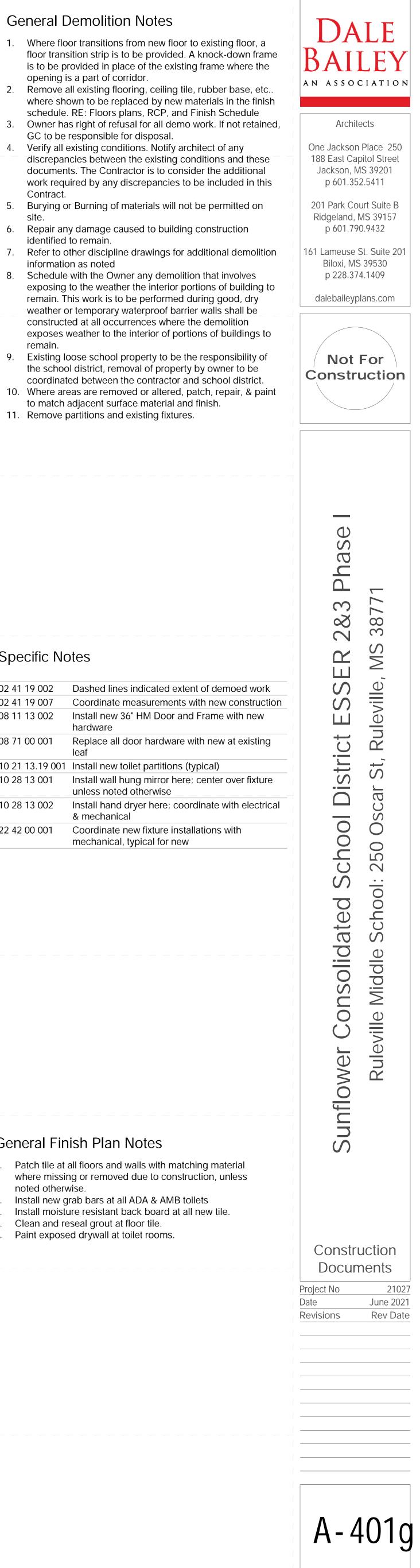
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- 10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- 11. Remove partitions and existing fixtures.

# Specific Notes

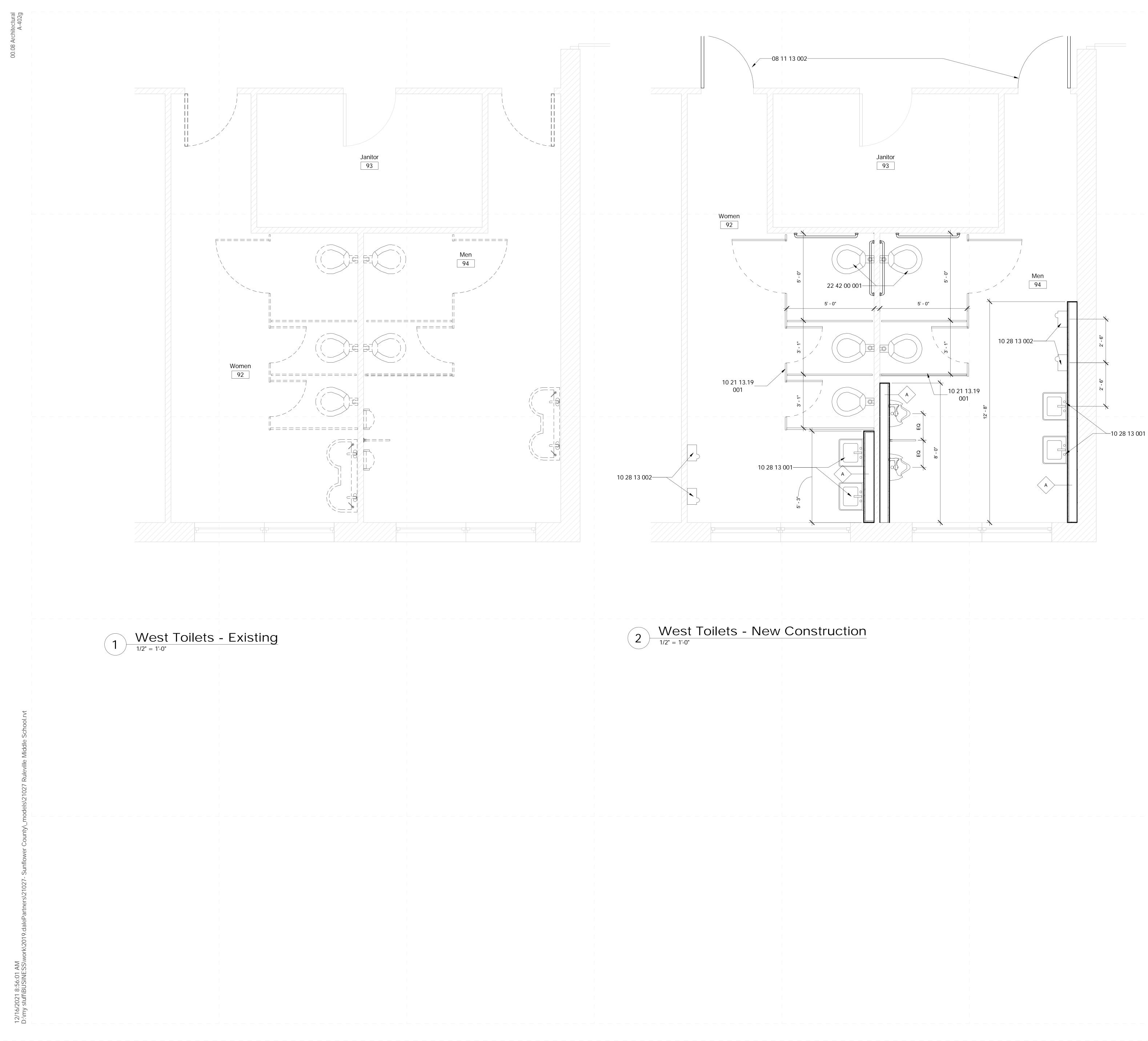
02 41 19 002	Dashed lines indicated exten
02 41 19 007	Coordinate measurements w
08 11 13 002	Install new 36" HM Door and hardware
08 71 00 001	Replace all door hardware wi leaf
10 21 13.19 001	Install new toilet partitions (ty
10 28 13 001	Install wall hung mirror here; unless noted otherwise
10 28 13 002	Install hand dryer here; coord & mechanical
22 42 00 001	Coordinate new fixture install mechanical, typical for new

### General Finish Plan Notes

- 1. Patch tile at all floors and walls with matching material where missing or removed due to construction, unless
- noted otherwise. 2. Install new grab bars at all ADA & AMB toilets
- 3. Install moisture resistant back board at all new tile.
- 4. Clean and reseal grout at floor tile.
- 5. Paint exposed drywall at toilet rooms.



Central Toilets

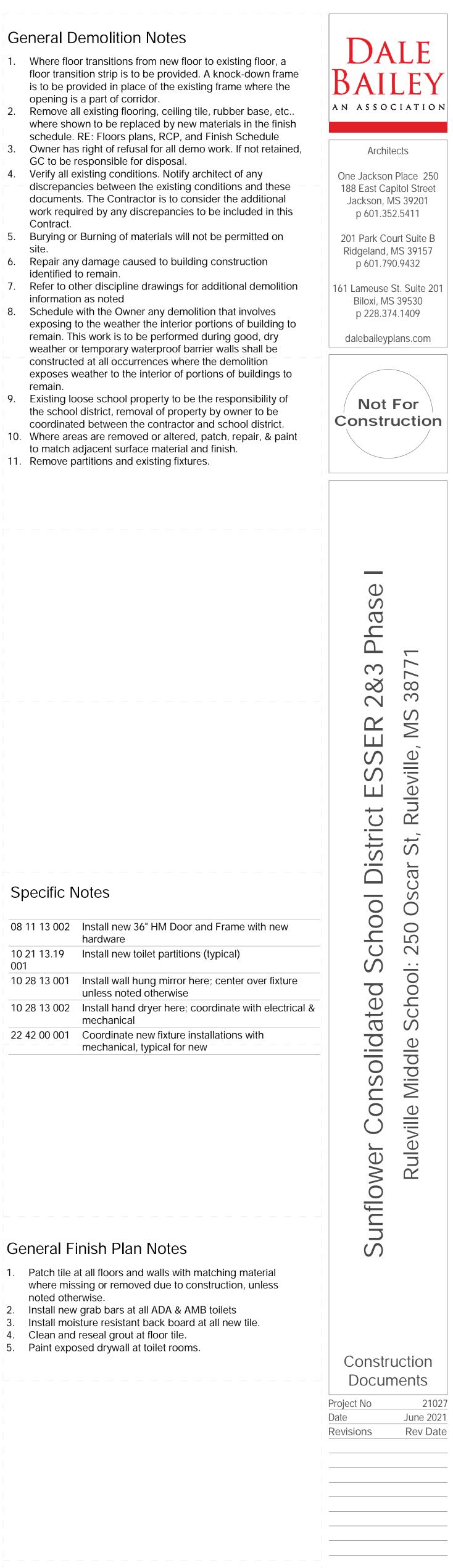


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# Specific Notes

08 11 13 002	Install new 36" HM Door and hardware
10 21 13.19 001	Install new toilet partitions (ty
10 28 13 001	Install wall hung mirror here; unless noted otherwise
10 28 13 002	Install hand dryer here; coord mechanical
22 42 00 001	Coordinate new fixture instal mechanical, typical for new

- 1. Patch tile at all floors and walls with matching material where missing or removed due to construction, unless noted otherwise.
- 2. Install new grab bars at all ADA & AMB toilets 3. Install moisture resistant back board at all new tile.
- 4. Clean and reseal grout at floor tile.
- 5. Paint exposed drywall at toilet rooms.







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- identified to remain. 7. Refer to other discipline drawings for additional demolition
- information as noted 8. Schedule with the Owner any demolition that involves
- exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
- 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district. 10. Where areas are removed or altered, patch, repair, & paint
- to match adjacent surface material and finish. 11. Remove partitions and existing fixtures.

# Specific Notes

02 41 19 002	Dashed lines indicated extent of demo
08 11 13 002	Install new 36" HM Door and Frame wit hardware
10 28 13 001	Install wall hung mirror here; center ove unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with mechanical
10 28 13 003	Install new ADA/AMD Grab bars here
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new
22 47 13 001	Install double drinking fountain here; co with mechanical & electrical drawings

# General Finish Plan Notes

- 1. Patch tile at all floors and walls with matching material where missing or removed due to construction, unless noted otherwise.
- 2. Install new grab bars at all ADA & AMB toilets 3. Install moisture resistant back board at all new tile.
- 4. Clean and reseal grout at floor tile.
- 5. Paint exposed drywall at toilet rooms.

