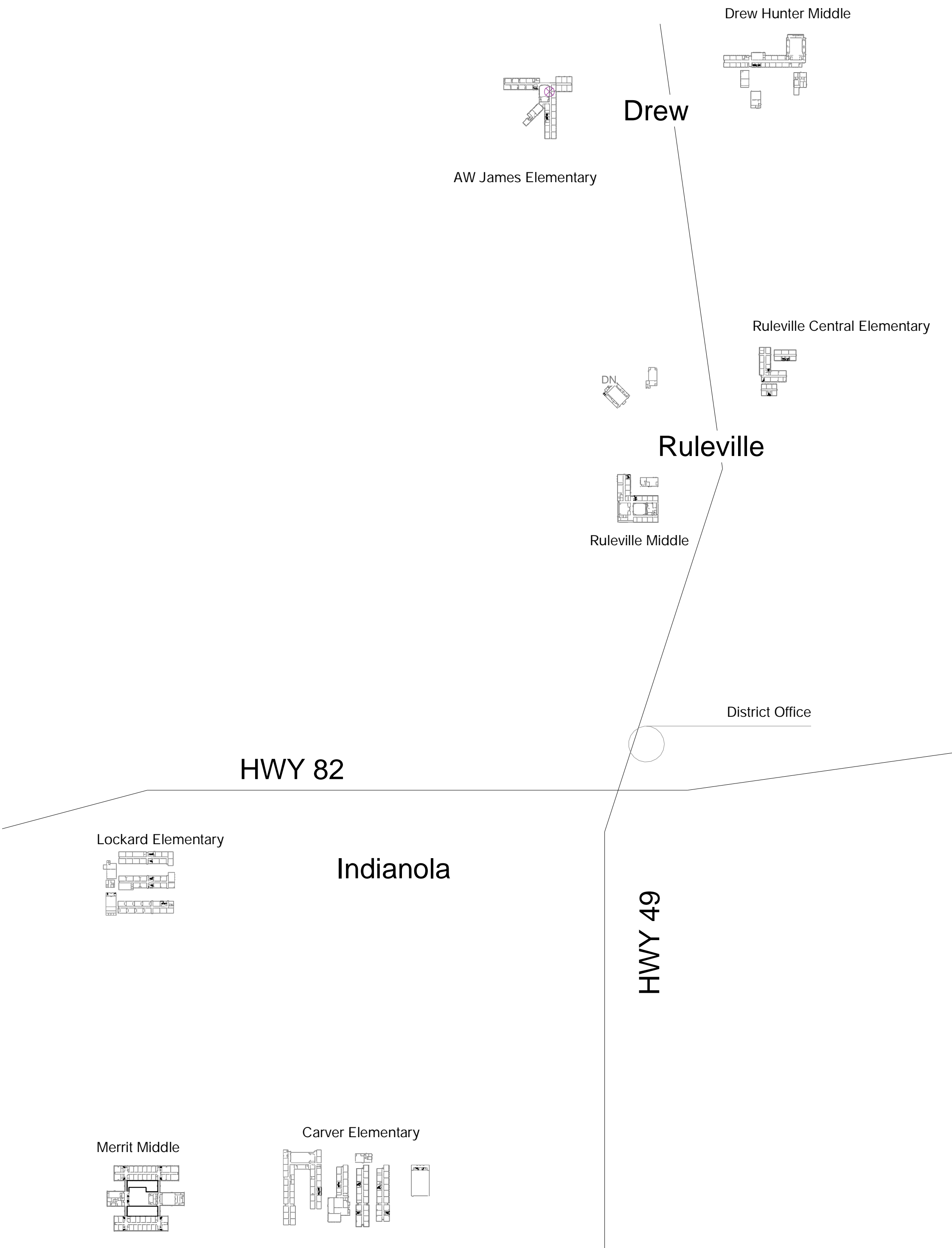


ESSER 2&3 Phase I



Sunflower Consolidated School District ESSER 2&3 Phase I

196 Martin Luther King Dr N,
Indianola, MS 38751

DBA PN: 21027
Construction Documents
12/16/2021

Owner	Sunflower Consolidated School District
Architect	Dale Bailey, an Association
Mechanical	GSK Mechanical, Inc.
Electrical	The Power Source, PLLC

Project Directory

Project Information
Name: Sunflower Consolidated School District
Project #: 21027
Address: 196 Martin Luther King Dr N, Indianola, MS 38751

Client
Sunflower Consolidated School District
196 Martin Luther King Dr N
Indianola, MS 38751
(662) 887-4919
Contact: Dr. Miskia Davis, Superintendent of Education

Architect
Dale J. Bailey, an Association
One Jackson Place / Suite 250
188 East Capitol Street
Jackson, MS 39201-2100
(601) 352-5411
Contact: Russ Blount (russblount@dalepartners.com)

Fire Protection, Plumbing, & Mechanical
GSK Mechanical, Inc.
201 Park Ct, Ridgeland, MS 39157
(601) 605-2930
Contact: Jason Kackley (jkackley@gskmech.com)

Electrical
The Power Source, PLLC.
945 Madison Ave, Madison, MS 39110
Contact: Freddie Borganeli (fborganeli@thepowersource.us)

General Project Notes

- Project Alternates
1. Ruleville Elementary Multi-Purpose Building New Construction
2. Ruleville Elementary Window Rehabilitation
3. Lockard Elementary Hardware & Fenestrations

- Project Phasing Requirements
1. N/A

- Energy Code Requirements
1. IBC 2021 Energy Code is the mandatory energy code standard for this project.
2. All mechanical and electrical building system installed should meet all requirements of the energy code.

- Thermal Envelope Requirements
1. Roofs = R-20 ci (insulation entirely above deck)
2. Walls = R-7.6ci (mass walls)
3. Walls = R-13 + R-7.5ci (metal framed walls)
4. Below Grade Walls = no requirement
5. Slab on Grade = no requirement

- Fenestration Requirements (U-factor)
1. Fixed = U-Factor 0.46
2. Operable = U-Factor 0.60
3. Entrances = U-Factor 0.77
4. SHGC = U-Factor 0.25

- General Information
1. Do not scale drawings. If dimensions are in question, the contractor shall be responsible for obtaining clarification from the architect before continuing with the construction
2. Contractors shall verify, on the site, all dimensions and equipment locations, and notify architect promptly in writing of any discrepancies
3. Contractors shall be responsible to determine the on site conditions and perform all necessary work to complete the project
4. Contractors shall maintain safe methods of egress for occupied buildings and in site area during construction
5. All casework dimensions shall be field verified before unit fabrication or installation
6. Dimensions, notes, finishes, and fixtures shown on typical floor plans shall apply to similar, symmetrical, or opposite hand plans, sections, or details
7. Typical, or typ., shall mean that condition is representative for similar conditions throughout, U.N.O. Details are usually keyed and noted "Typ." only one time when they first occur
8. Partitions are dimensioned from finish face U.N.O. Dimensions to masonry are to actual finish face U.N.O.
9. Owner to have right of refusal for all materials, furniture, fixtures and good within the limits of the construction contract.

General Abbreviations

Table with 2 columns: Abbreviation and Full Name. Includes terms like AIR CONDITIONING, ABOVE, ACOUSTICAL CEILING TILE, ADJUSTABLE, ABOVE FINISH FLOOR, ALTERNATE, ALUMINUM, ANODIZED, APPROXIMATE, AUDIO VISUAL, AUDIO VISUAL DISPLAY BOARD, BUILDING, BLOCKING, BOTTOM OF CURB, BOTTOM OF STEEL, BOTH WAYS, CABINET, CATCH BASIN, CENTER TO CENTER, CONCRETE COUNTER TOP, CORNER GUARD, COAT/CLOTHES HOOK, CHAMFER, CONTROL JOINT, CEILING, CLOSET, CONCRETE MASONRY UNIT, CLEAN OUT, COLUMN, CONCRETE, CONTINUOUS, CORRIDOR, CARPET, CRASH RAIL, CERAMIC TILE, CENTERED, CYPRESS, DISPOSAL BAG HOLDER, DOUBLE, DETAIL, DRINKING FOUNTAIN, DIAMETER, DIAGONAL, DIMENSION, DISPENSER, DOWN, DECAY RESISTANT WOOD, EAST, EACH, ELECTRIC DRINKING FOUNTAIN, ELECTRIC HAND DRYER, EXTERIOR INSULATING FINISH SYSTEM, EXPANSION JOINT, ELECTRICAL, ELEVATION, ELEVATOR, EQUAL, EACH WAY, ENGINEERED WOOD FLOORING, EXHUAST, EXISTING, EXPANSION, EXTERIOR, FINISHED CONCRETE FLOOR, FLOOR CLEAN OUT, FLOOR DRAIN, FIRE EXTINGUISHER, FIRE EXTINGUISHER CABINET, FINISH FLOOR ELEVATION, FINISH, FLOORING, FLOURESCENT, FLOOR, FEMININE NAPKIN DISPENSER, FACE OF FINISH, FACE OF MASONRY, FACE OF STUD, FIRE PROOF, FIBERGLASS REINFORCED PANEL, FIRE RETARDANT, FOOT/FEET, FOOTING, FABRIC WALLCOVERING, GAS, GAUGE, GRAB BAR, GENERAL CONTRACTOR, GRANITE COUNTER TOP, GLASS/GLAZING, GRANITE TILE, GYPSUM DRYWALL, GYP, HOSE BIB, HOLLOW CORE, HEAVY DUTY, HEADER, HARDWARE, HEIGHT, HOLLOW METAL, HORIZONTAL, HAND RAIL, HEATING, HEATING/VENTILATION/AIR CONDITIONING, HYDRANT, INSIDE DIAMETER, INSULATION, INTERIOR, INVERT, JANITOR, JENITORS CLOSET, JOIST, JOINT, KNOCK DOWN, KITCHEN, KNOCK OUT, KICKPLATE, LENGTH, LABORATORY, LADDER, LAMINATE, LAVATORY, LIQUID APPLIED WATER PROOFING, LABEL, LINEAR FEET, LEFT HAND, LINOLEUM, LIVE LOAD, LAVATORY PIPING PROTECTION, LIGHT, LIGHTING, LUXURY VINYL TILE, LIGHTWEIGHT CONCRETE, MASONRY, MAXIMUM, MARKER BOARD, MEDICINE CABINET, MARBLE COUNTER TOP, MECHANICAL, MANUFACTURER/MANUFACTURED, MEDICAL GAS, MINIMUM, MIRROR, MISCELLANEOUS, MOLDING, MASONRY OPENING, MOP RACK, METAL THRESHOLD, METAL, MILLWORK, NORTH, NATURAL, NOT IN CONTRACT, NUMBER, NOMINAL, NOISE REDUCTION COEFFICIENT, NOT TO EXCEED, NOT TO SCALE, OXYGEN, OUTSIDE AIR, ON CENTER, ON CENTER EACH WAY, OUTSIDE DIAMETER, OWNER FURNISHED / CONTRACTOR INSTALLED, OPENING, OPPOSITE, PAINT/PAINTED, PARALLEL, PARTICLE BOARD, PRESSED/PATTERNED CONCRETE FLOOR, PLASTIC COUNTER TOP, PERFORATED, PLATE, PLAM, PLASTIC LAMINATE, PLASTER, PLYWOOD, PREFORMED METAL ROOFING, PREFORMED METAL SIDING, PAIR, PORCELAIN CERAMIC TILE, POUNDS PER SQUARE FOOT, POUNDS PER SQUARE INCH, PRESSURE TREATED, PAPER TOWEL DISPENSER, PARTITION, PAPER TOWEL RECPTACLE, QUARTZ RESINOUS FLOORING, QUARRY TILE, QUARTER, RISER, RADIUS, RUBBER BASE, RUBBER, REINFORCED CONCRETE PIPE, ROOF DRAIN, REFERENCE, REFRIGERATOR, REINFORCED, REQUIRED, REVISED, RIGHT HAND, ROOM, ROUND, ROUHG OPENING, RIGHT OF WAY, ROOF PAVER SYSTEM, RETURN REGISTER, SOUTH, SOLID CORE, SEAT COVER DISPENSER, STAINED/SEALED CONCRETE FLOOR, SCHEDULE, SOAP DISPENSER, SECTION, SHEET, SHEATHING, SIMILAR, SCORE JOINT, SEAMLESS LIQUID WALL COVERING, SANITARY NAPKIN DISPENSER, SANITARY NAPKIN DISPOSAL UNIT, SANITARY NAPKIN / TAMPON DISPENSER, SOUNDPROOF, SPACER, SPECIFICATIONS, SPECIMEN PASS THRU CABINET, SQUARE, SANITARY SEWER, SHOWER SOAP DISPENSER, STAINLESS STEEL, SOUND TRANSMISSION COEFFICIENT, STANDARD, STEEL, STORAGE, SUPPLEMENTAL, SHEET VINYL, SERVICE SINK, SHOWER, SHOWER CURTAIN, SOUTHERN YELLOW PINE, TREAD, TOP & BOTTOM, TOP GUE & GROOVE, TOWEL BAR, TO BE DETERMINED, TO BE REMOVED, TELEPHONE, TEMPORARY, THRESHOLD, THICK/THICKNESS, TOILET, TO MATCH EXISTING, TOP OF CURB, TOP OF STEEL, TOILET PAPER DISPENSER, TOILET PAPER HOLDER, TRANSOM, TELEVISION, TYPICAL, UNDERCOUNTER, UNLESS NOTED OTHERWISE, VAPOR BARRIER, VISUAL DISPLAY, VISUAL COMMUNICATION BOARD, VINYL COMPOSITE TILE, VERIFY IN FIELD, VINYL TILE, VENT THROUGH ROOF, VINYL WALL COVERING, WEST, WITH, WOOD BASE, WATER CLOSET, WOOD COUNTER TOP, WOOD BASE, WIDTH, WINDOW, WATER GUARD, WATER HEATER, WATERPROOFING, WATER RESISTANT, WAINSCOT.

Drawing Index

Table with 4 columns: Sheet No, Sheet Name, Building Name, Sheet Organization. Lists sheets G-001 through G-403g, including Cover Sheet, Index & General Project Information, General Sheet, Composite RCP, Floor Plans, Toilets, and various RCP and Demo sheets.

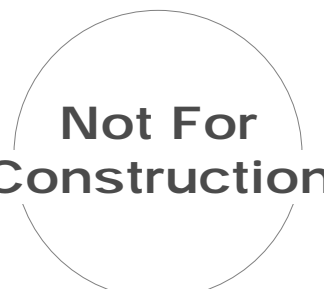
Graphic Symbols

Graphic Symbols section containing various architectural symbols and their corresponding labels: Building Elevation, Building Section, Wall Section, Interior Elevation, Detail, Column Grid, Door Mark, North Arrow, Spot Elevation, Room Name and Number, and View Name with Drawing Scale.

All School's Specific Notes



Architects
One Jackson Place- 250
188 East Capitol Street
Jackson, MS 39201
p 601.352.5411
201 Park Court Suite B
Ridgeland, MS 39157
p 601.790.9432
161 Lameuse St. Suite 201
Biloxi, MS 39530
p 228.374.1409
dalebaileyplans.com



Sunflower Consolidated School District ESSER 2&3 Phase I
196 Martin Luther King Dr N, Indianola, MS 38751

Construction Documents

Table with 2 columns: Project No, Date, Revisions, Rev Date. Project No: 21027, Date: 12/16/2021.

**Not For
Construction**

Sunflower Consolidated School District ESSER 2&3 Phase I
AW James Elementary: 400 South Blvd, Drew, MS 38737

Construction
Documents

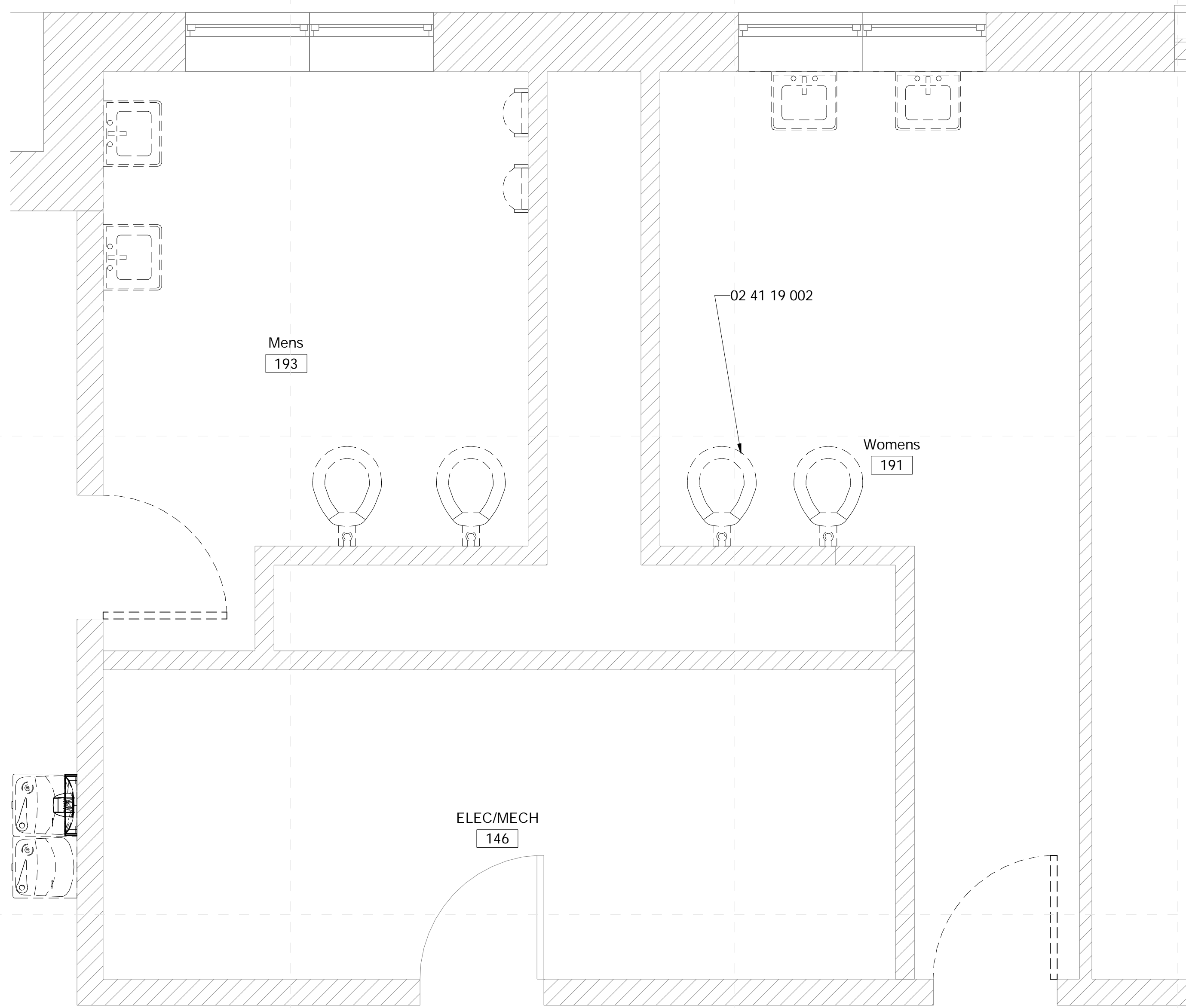
Project No	21027
Date	June 2021
Revisions	Rev Date



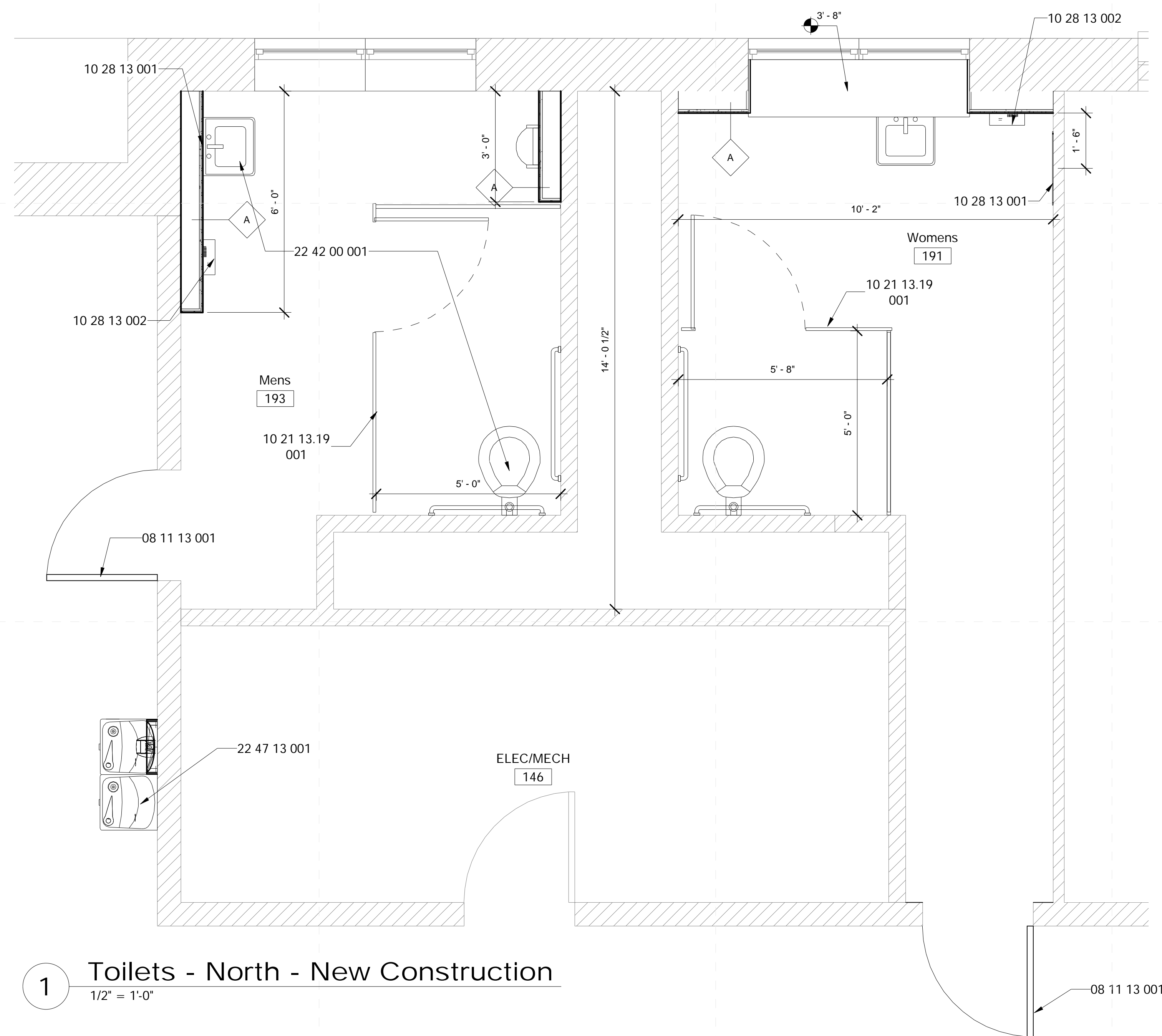
Specific Notes

- 22 42 00 002 New fixtures only in this toilet room: coordinate with mechanical
- 22 42 00 003 New touchless faucet at sink/cabinet: coordinate with mechanical
- 22 47 13 001 Install double drinking fountain here: coordinate with mechanical & electrical drawings

1 Floor Plan - New Construction
1/16" = 1'-0"



2 Toilets - North - Demolition
1/2" = 1'-0"



1 Toilets - North - New Construction
1/2" = 1'-0"

General RCP Demolition Notes

- Where ceiling transitions from new ceiling to existing ceiling, coordinate with Architect detail.
- Remove all existing ceiling grid & tile unless noted otherwise, as well as any wall fasteners and/or mastics attached therein where shown to be replaced by new materials.
- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- Burying or Burning of materials will not be permitted on site.
- Repair any damage caused to building construction identified to remain.
- Refer to other discipline drawings for additional demolition information as noted.
- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- No work in rooms with ceiling open to the structure above, unless noted otherwise.

Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
08 11 13 001	Install metall door and frame to match existing for corrected swing
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here: center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here: coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new
22 47 13 001	Install double drinking fountain here: coordinate with mechanical & electrical drawings

General Finish Plan Notes

- Patch tile at all floors and walls with matching material where missing or removed due to construction, unless noted otherwise.
- Install new grab bars at all ADA & AMB toilets
- Install moisture resistant back board at all new tile.
- Clean and reseal grout at floor tile.

Architects

One Jackson Place- 250
188 East Capitol Street
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p 601.352.5411

201 Park Court Suite B
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Biloxi, MS 39530
p 228.374.1409

dalebaileyplans.com

Not For Construction

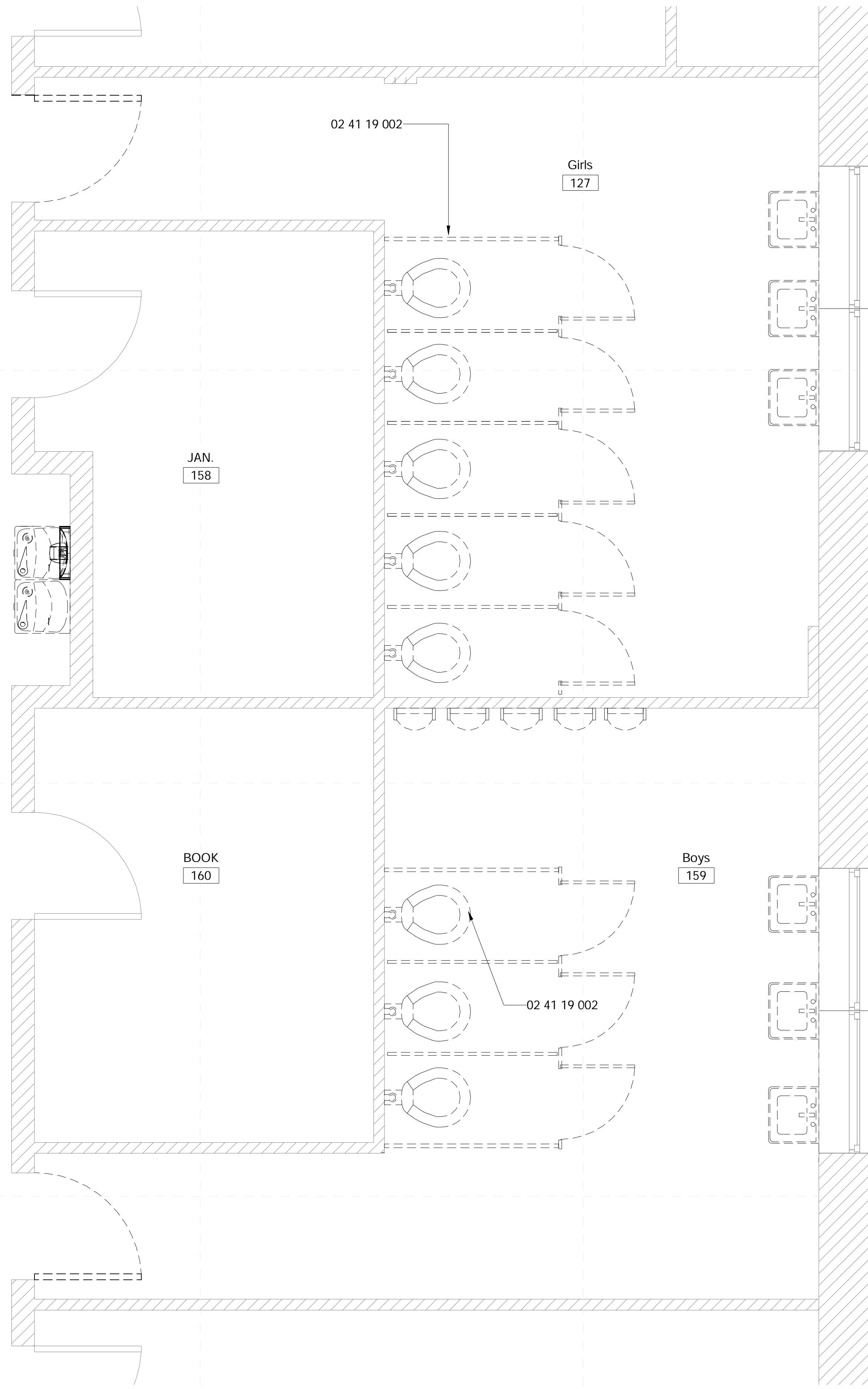
Sunflower Consolidated School District ESSER 2&3 Phase I
AW James Elementary: 400 South Blvd, Drew, MS 38737

Construction Documents

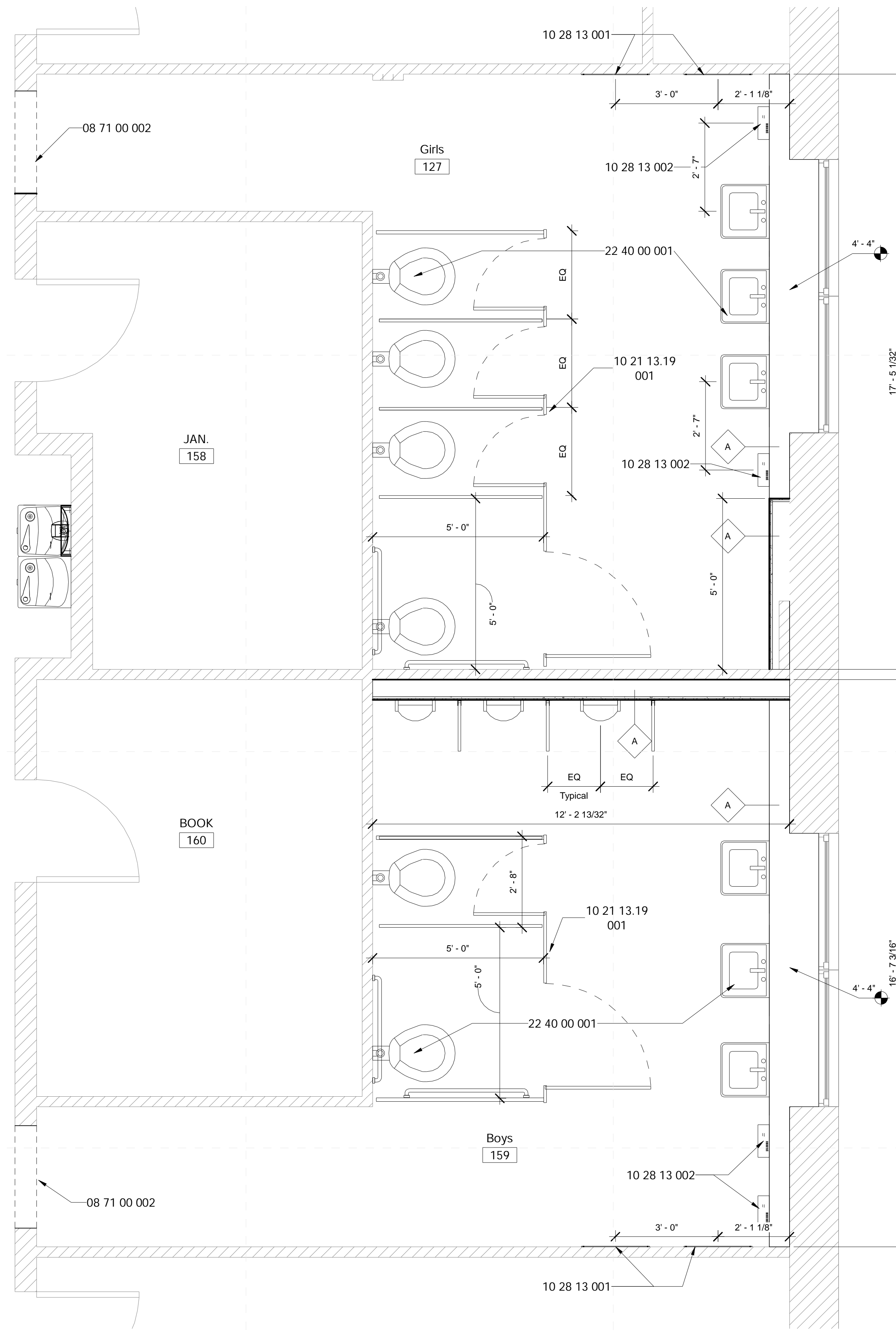
Project No	21027
Date	June 2021
Revisions	Rev Date

A-401a

North Toilets



1 Toilets - South - Demolition
1/2" = 1'-0"



2 Toilets - South - New Construction
1/2" = 1'-0"

General Demolition Notes

- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc., where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- Burying or Burning of materials will not be permitted on site.
- Repair any damage caused to building construction identified to remain.
- Refer to other discipline drawings for additional demolition information as noted.
- Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

Specific Notes

- 02 41 19 002 Dashed lines indicated extent of demoed work
- 08 71 00 002 Fill Hinges Recessions with blank plates & paint
- 10 21 13.19 001 Install new toilet partitions (typical)
- 10 28 13 001 Install wall hung mirror here: center over fixture unless noted otherwise
- 10 28 13 002 Install hand dryer here: coordinate with electrical & mechanical
- 22 40 00 001 New fixtures throughout (typical): see plumbing

General Finish Plan Notes

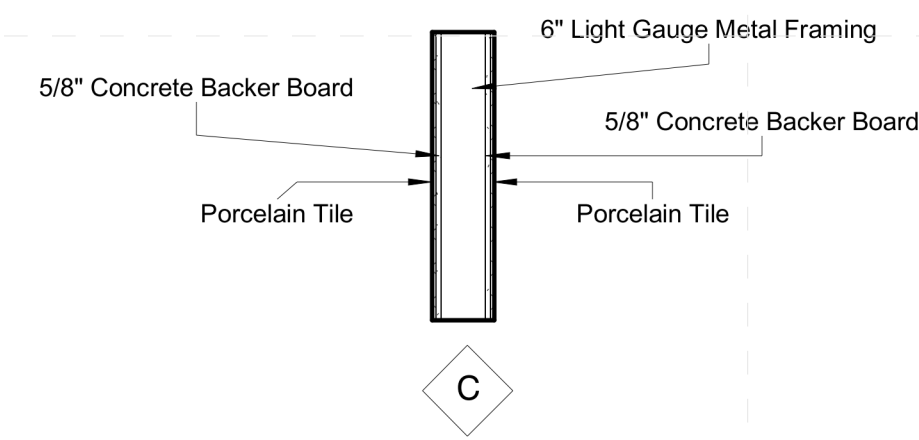
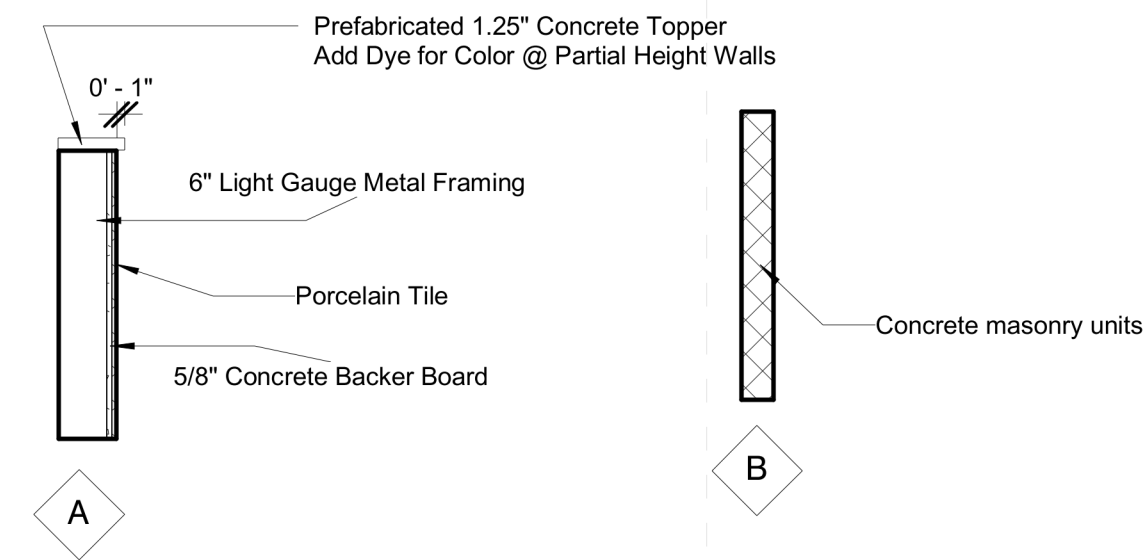
- Patch tile at all floors and walls with matching material where missing or removed due to construction, unless noted otherwise.
- Install new grab bars at all ADA & AMB toilets
- Install moisture resistant back board at all new tile.
- Clean and reseat grout at floor tile.



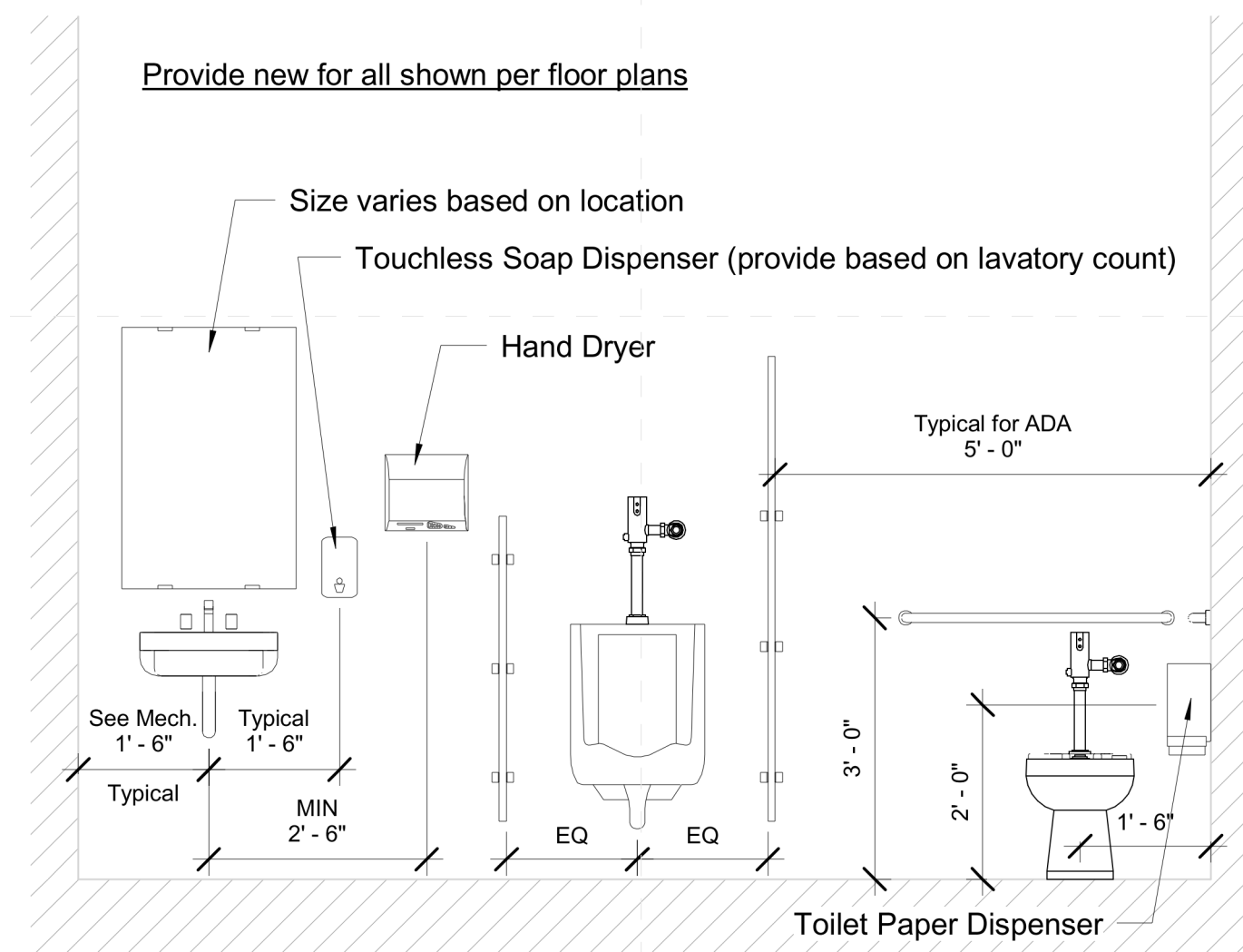
Project No	21027
Date	June 2021
Revisions	Rev Date

All School's Specific Notes

- 02 41 19 002 Dashed lines indicated extent of demoed work
- 02 41 19 009 Remove wood; patch and repair tile and substrate with matching
- 08 01 10 001 Remove Door Leaves; patch hinges recessions with plate covers & paint to match jamb
- 08 71 00 001 Replace all door hardware with new at existing leaf
- 09 91 23 001 Paint wall tile and CMU floor to ceiling in this room only
- 10 21 13.19 001 Install new toilet partitions (typical)
- 10 28 13 001 Install wall hung mirror here; center over fixture unless noted otherwise
- 10 28 13 002 Install hand dryer here; coordinate with electrical & mechanical
- 22 40 00 001 New fixtures throughout (typical); see plumbing
- 22 40 00 002 New touchless fixtures throughout (typical); see plumbing
- 22 42 00 001 Coordinate new fixture installations with mechanical, typical for new
- 22 42 00 002 New fixtures only in this toilet room; coordinate with mechanical
- 22 47 13 001 Install double drinking fountain here; coordinate with mechanical & electrical drawings
- 22 47 13 002 Install single drinking fountain here with bottle filler attachment, coordinate with mechanical & electrical drawings



Wall Standards
1/2" = 1'-0"



1 Typical Toilet Room Wall
1/2" = 1'-0"



Front of School



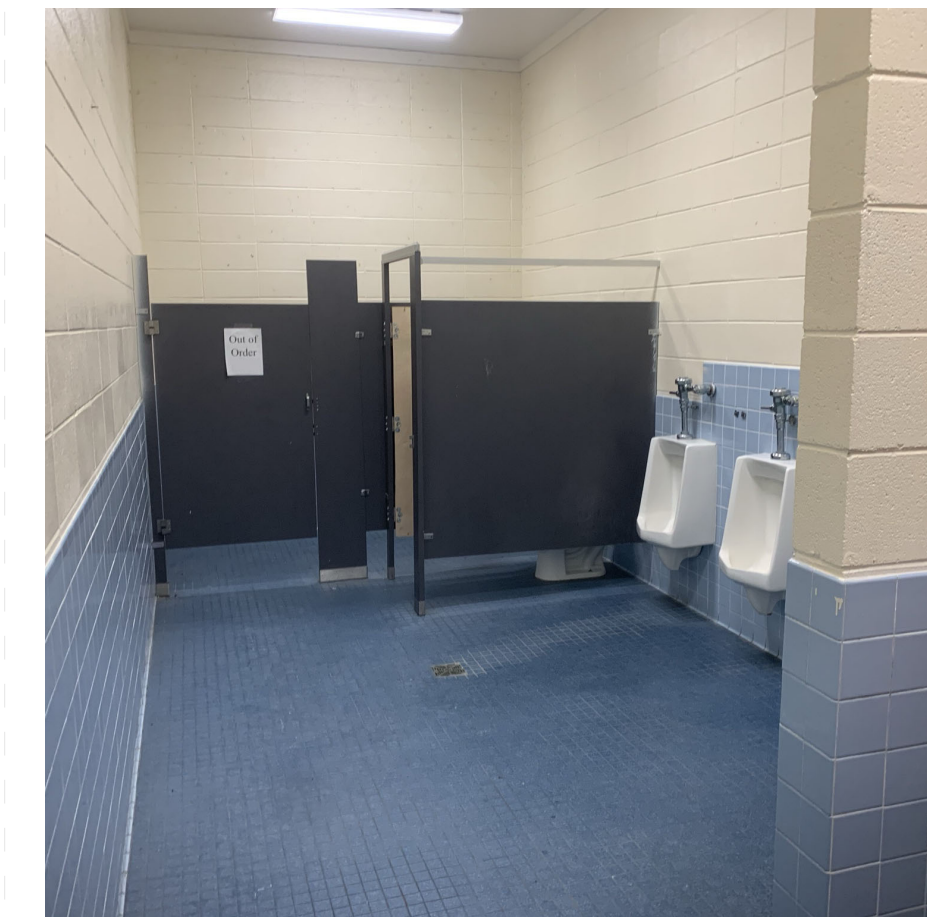
Typical Toilet Room



Typical Toilet Room



Gym Toilets



Gym Toilets

Architects

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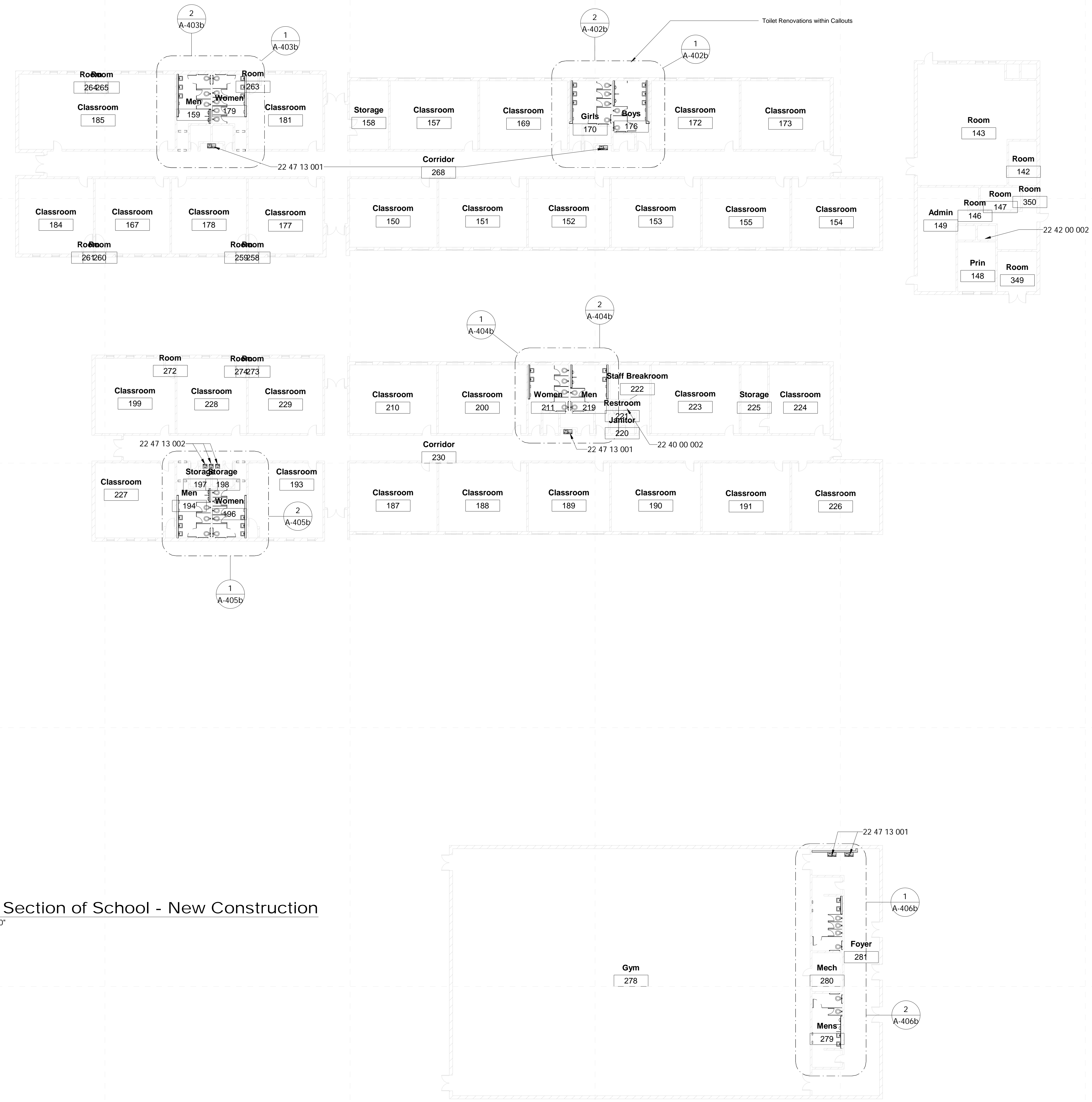
dalebaileyplans.com

Not For
Construction

Sunflower Consolidated School District ESSER 2&3 Phase I
Carver Elementary School: 404 Jefferson St. Indianola, MS 38751

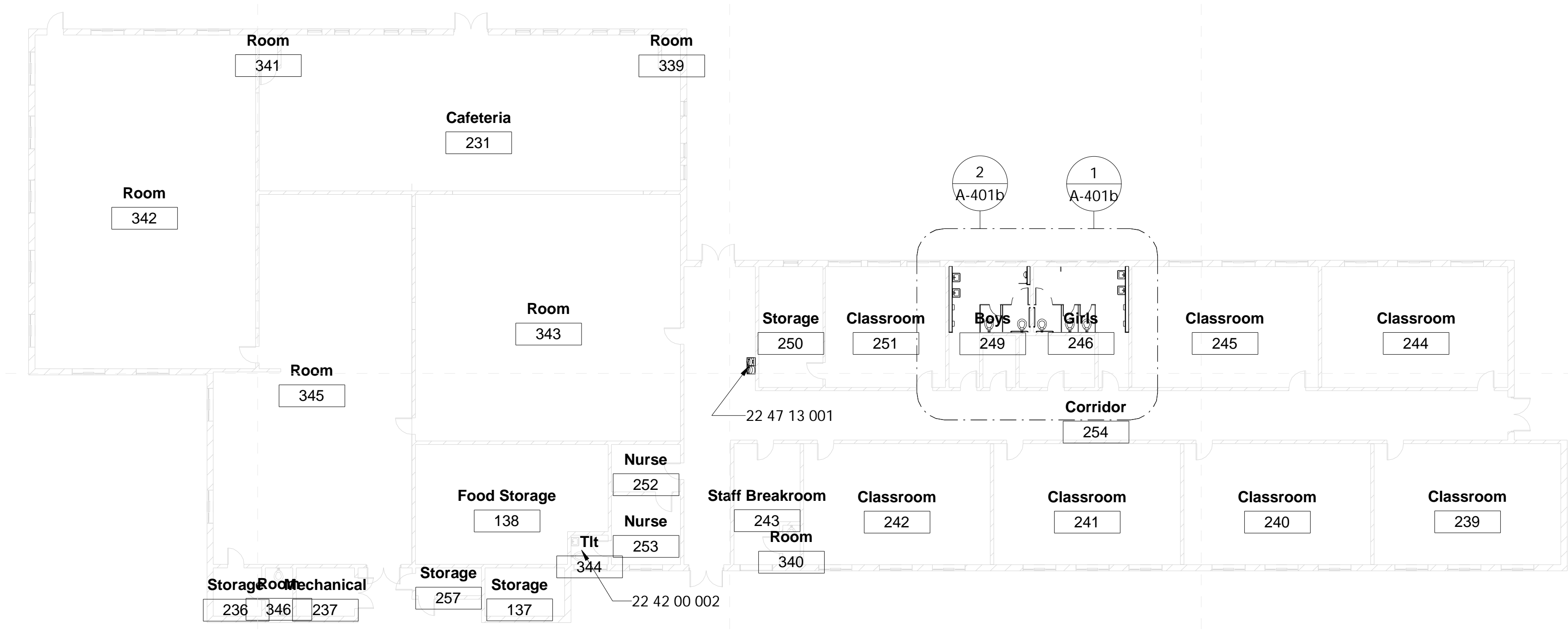
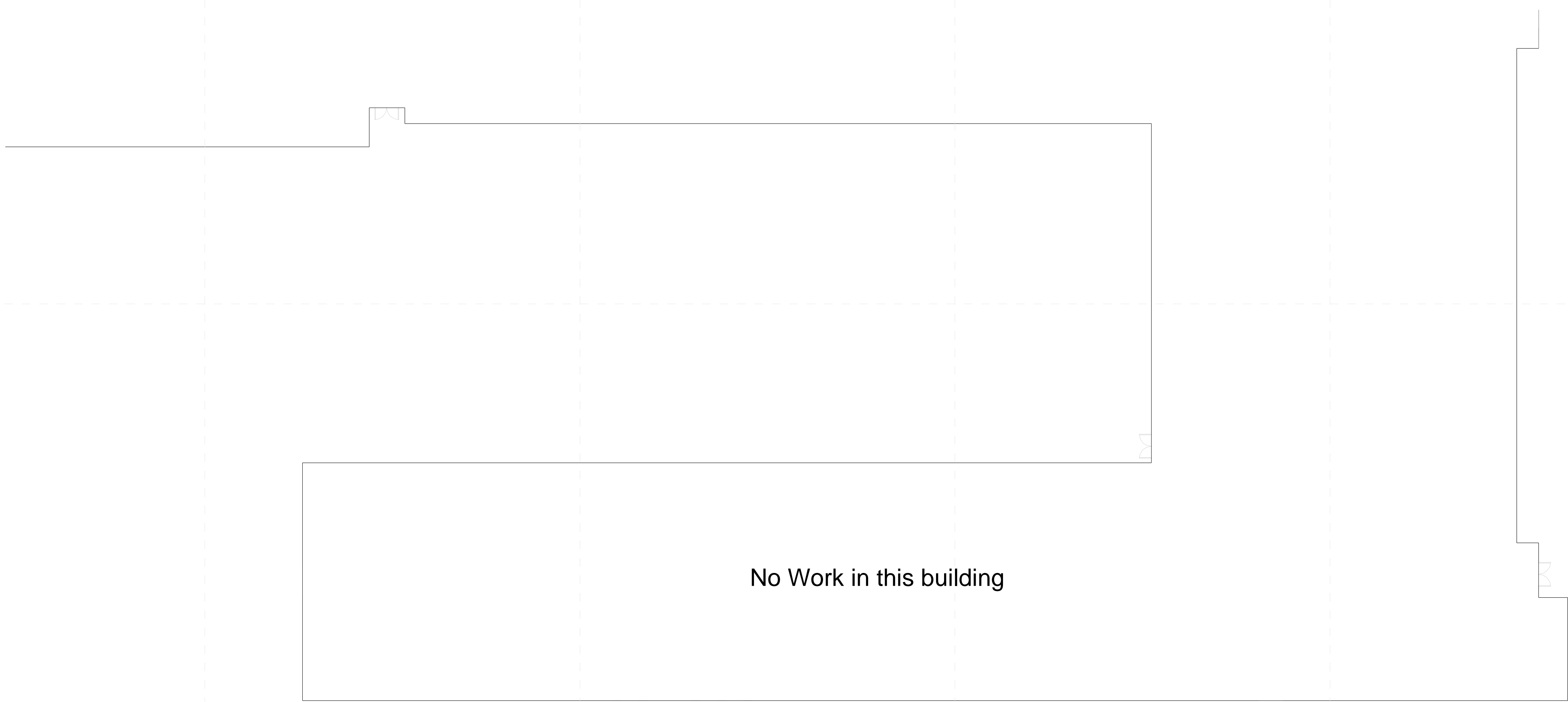
Construction
Documents

Project No	21027
Date	Issue Date
Revisions	Rev Date



1 East Section of School - New Construction
1/16" = 1'-0"

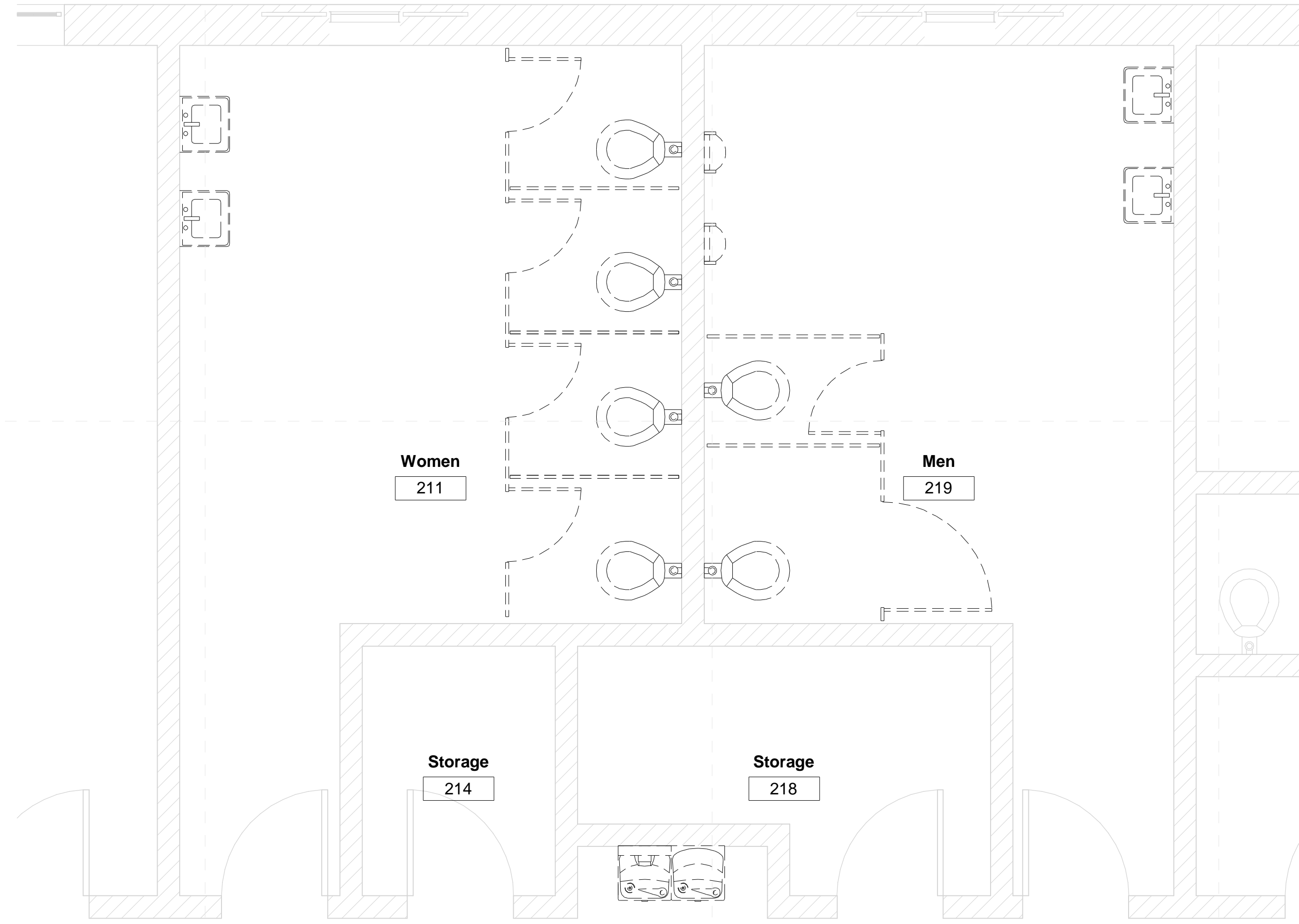
- Specific Notes**
- 22 40 00 002 New touchless fixtures throughout (typical); see plumbing
 - 22 42 00 002 New fixtures only in this toilet room; coordinate with mechanical
 - 22 47 13 001 Install double drinking fountain here; coordinate with mechanical & electrical drawings
 - 22 47 13 002 Install single drinking fountain here with bottle filler attachment; coordinate with mechanical & electrical drawings



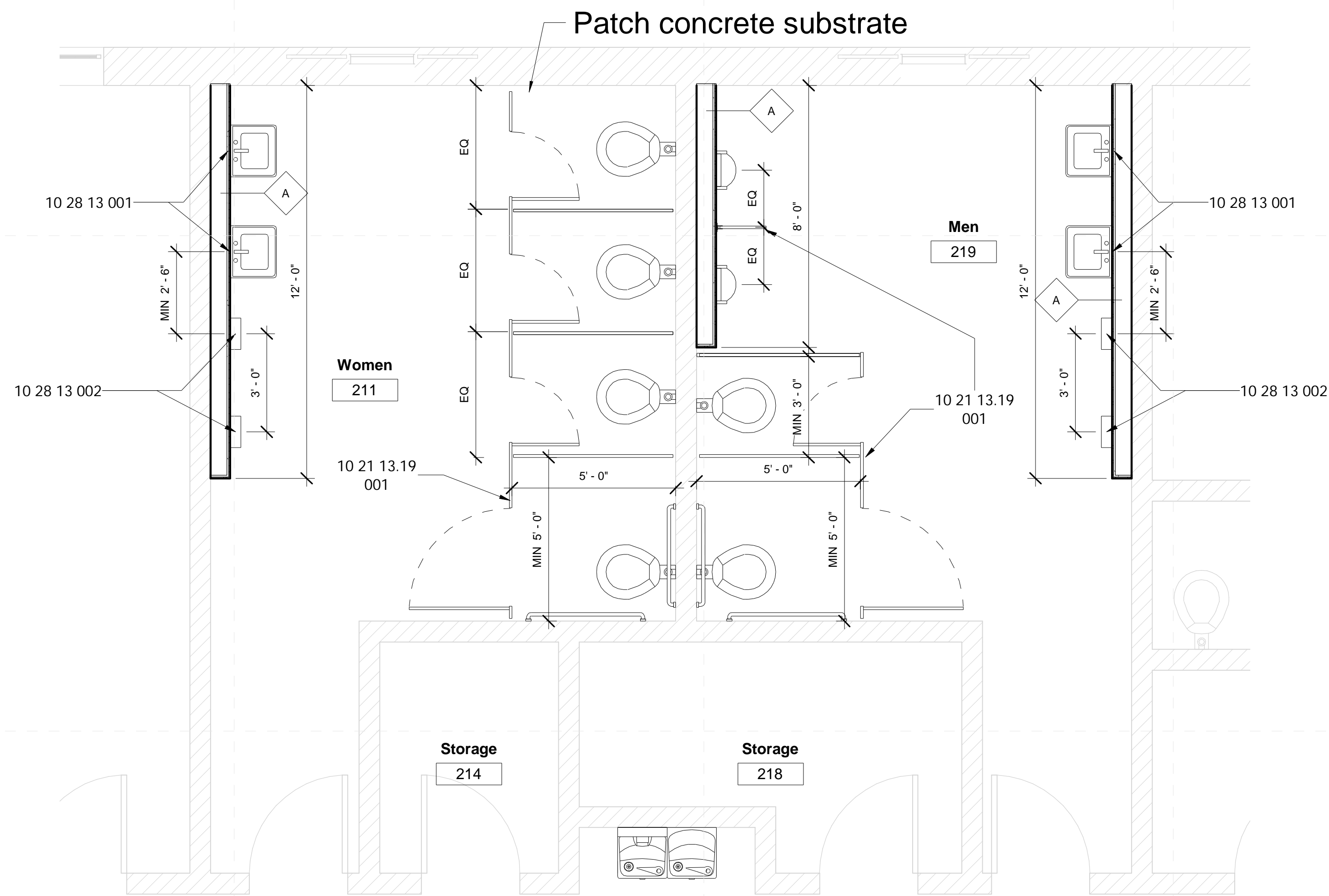
Specific Notes

- 22 42 00 002 New fixtures only in this toilet room; coordinate with mechanical
- 22 47 13 001 Install double drinking fountain here; coordinate with mechanical & electrical drawings

1 West Section of School - New Construction
1/16" = 1'-0"



2 Main Floor - Demolition - E N Toilets
3/8" = 1'-0"



1 Main Floor - New Construction - E N Toilets
3/8" = 1'-0"

General Demolition Notes

- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc., where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
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- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

Specific Notes

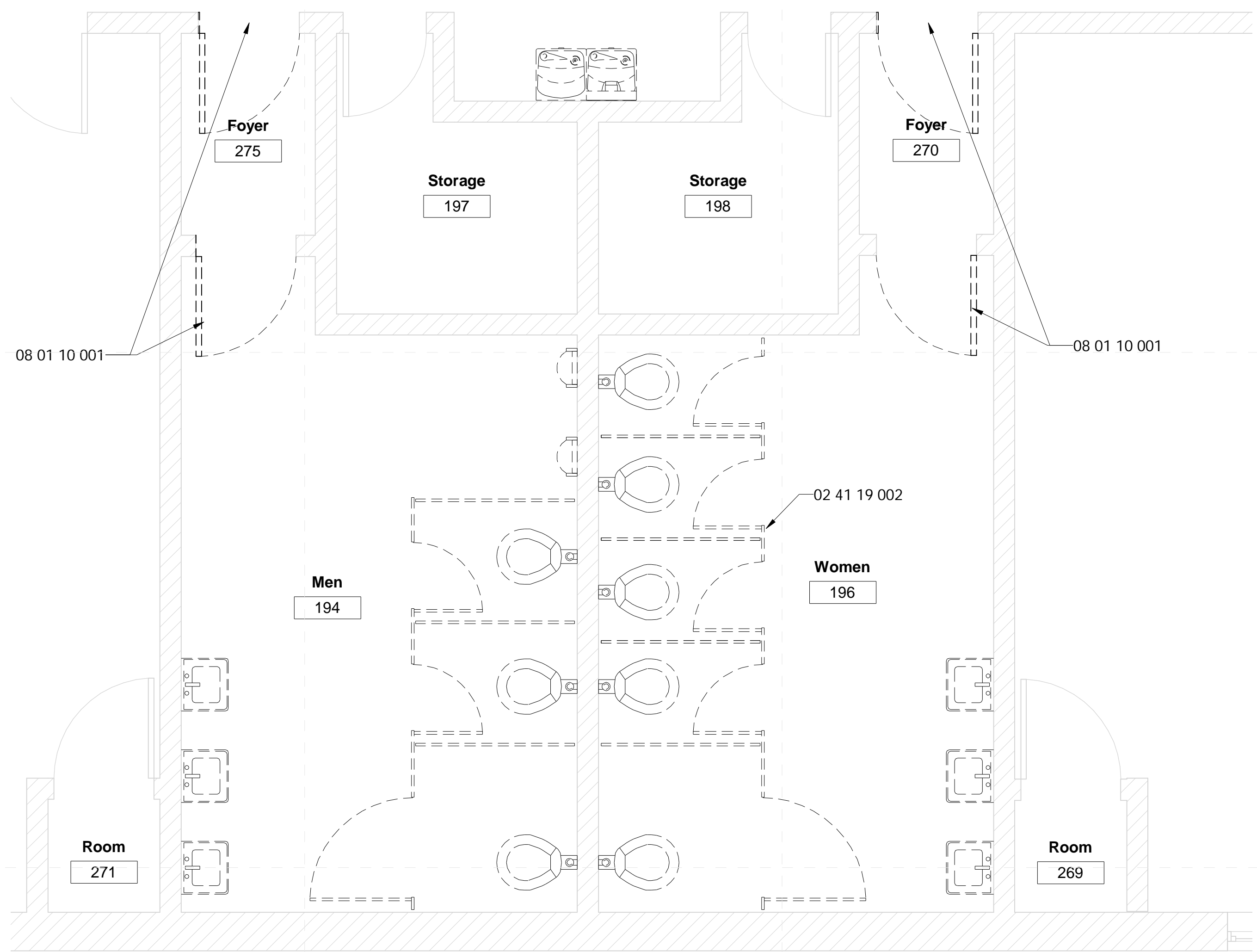
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here: center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here: coordinate with electrical & mechanical

General Finish Plan Notes

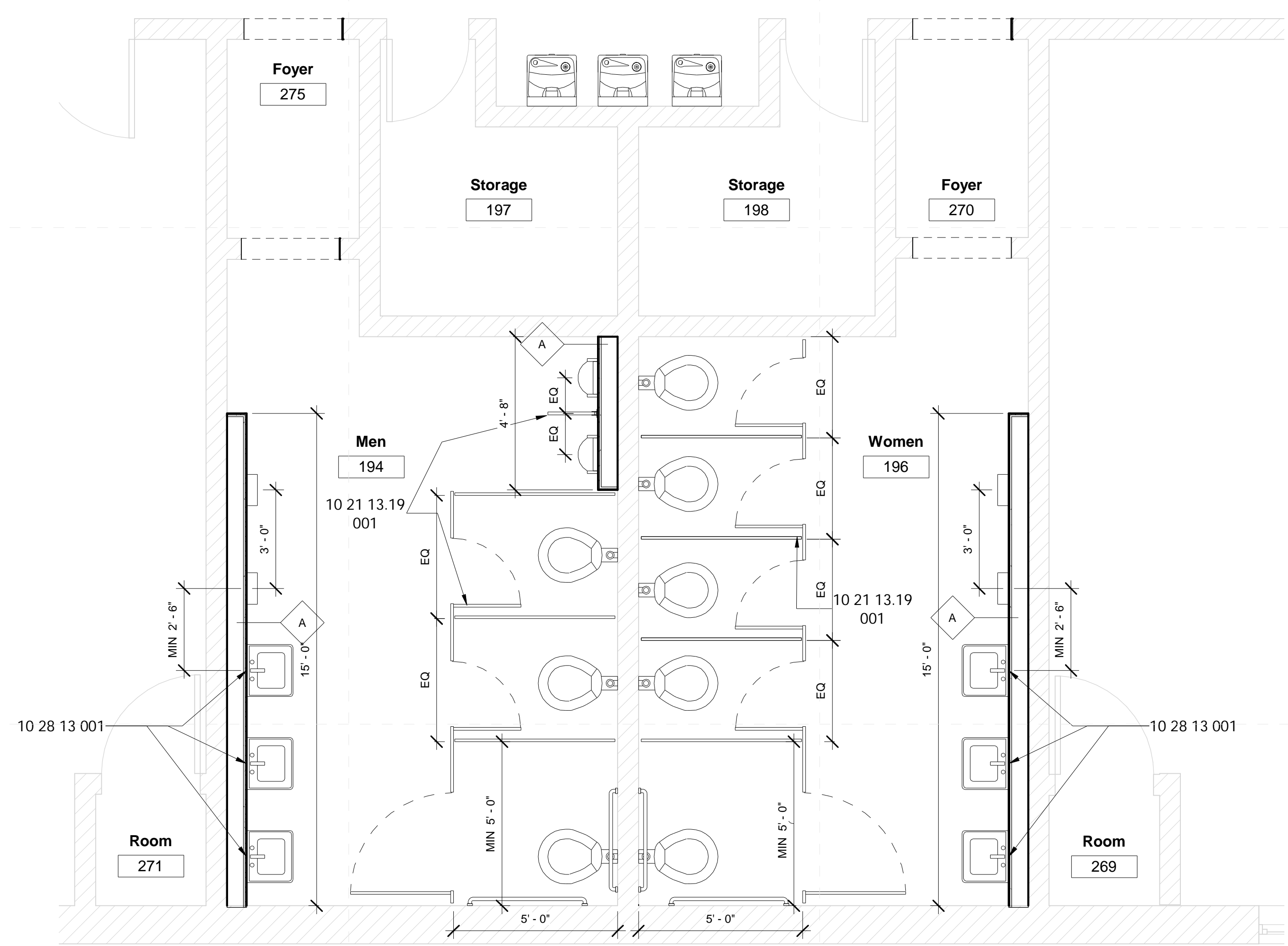
- All flooring transitions are to occur at center line of door panel.
- Patch tile at all floors and walls with matching material where missing or removed due to construction, unless noted otherwise.
- New Fixture locations shall be coordinated with mechanical sheets.
- Install new grab bars at all ADA & AMB toilets
- Paint all exposed CMU at renovated toilets.
- Paint all tile wainscot, unless otherwise noted.
- Clean floor grout and reseat.



Project No	21027
Date	Issue Date
Revisions	Rev Date



1 Main Floor - Demolition - E S Toilets
3/8" = 1'-0"



2 Main Floor - New Construction - E S Toilets
3/8" = 1'-0"

General Demolition Notes

- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
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Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
08 01 10 001	Remove Door Leaves; patch hinges recessions with plate covers & paint to match jamb
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here: center over fixture unless noted otherwise

General Finish Plan Notes

- All flooring transitions are to occur at center line of door panel.
- Patch tile at all floors and walls with matching material where missing or removed due to construction, unless noted otherwise.
- New Fixture locations shall be coordinated with mechanical sheets.
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- Paint all tile wainscot, unless otherwise noted.
- Clean floor grout and reseal.

Architects
One Jackson Place 250
188 East Capitol Street
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p 601.352.5411

201 Park Court Suite B
Ridgeland, MS 39157
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Biloxi, MS 39530
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dalebaileyplans.com

Not For Construction

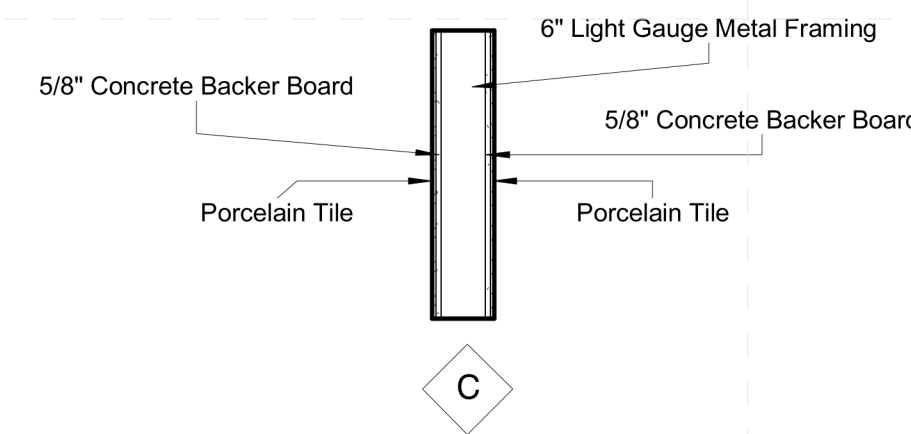
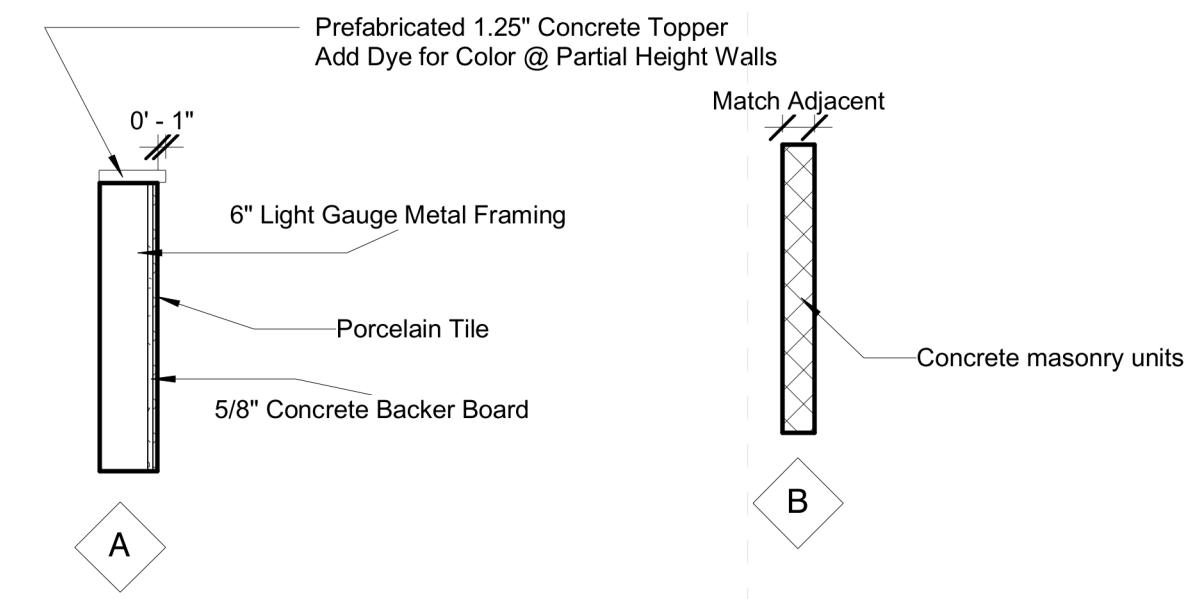
Sunflower Consolidated School District ESSER 2&3 Phase I
Carver Elementary School: 404 Jefferson St. Indianola, MS 38751

Construction Documents

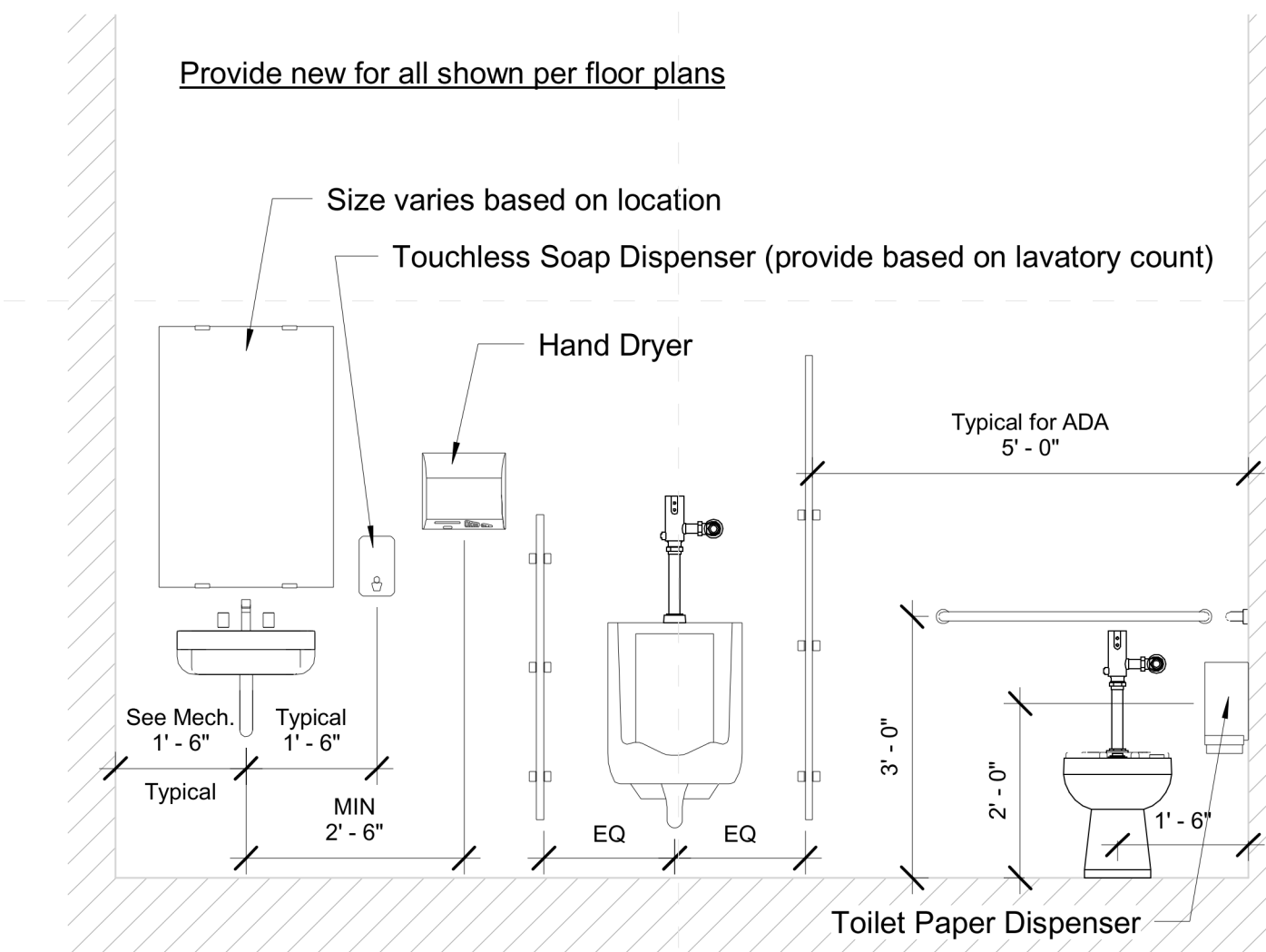
Project No	21027
Date	Issue Date
Revisions	Rev Date

All School's Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
08 11 13 001	Install metall door and frame to match existing for corrected swing
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here: center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here: coordinate with electrical & mechanical
22 40 00 001	New fixtures throughout (typical): see plumbing
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new
22 42 00 002	New fixtures only in this toilet room: coordinate with mechanical
22 42 00 003	New touchless faucet at sink/cabinet: coordinate with mechanical
22 47 13 001	Install double drinking fountain here: coordinate with mechanical & electrical drawings
22 47 13 002	Install single drinking fountain here with bottle filler attachment: coordinate with mechanical & electrical drawings



Wall Standards
1/2" = 1'-0"



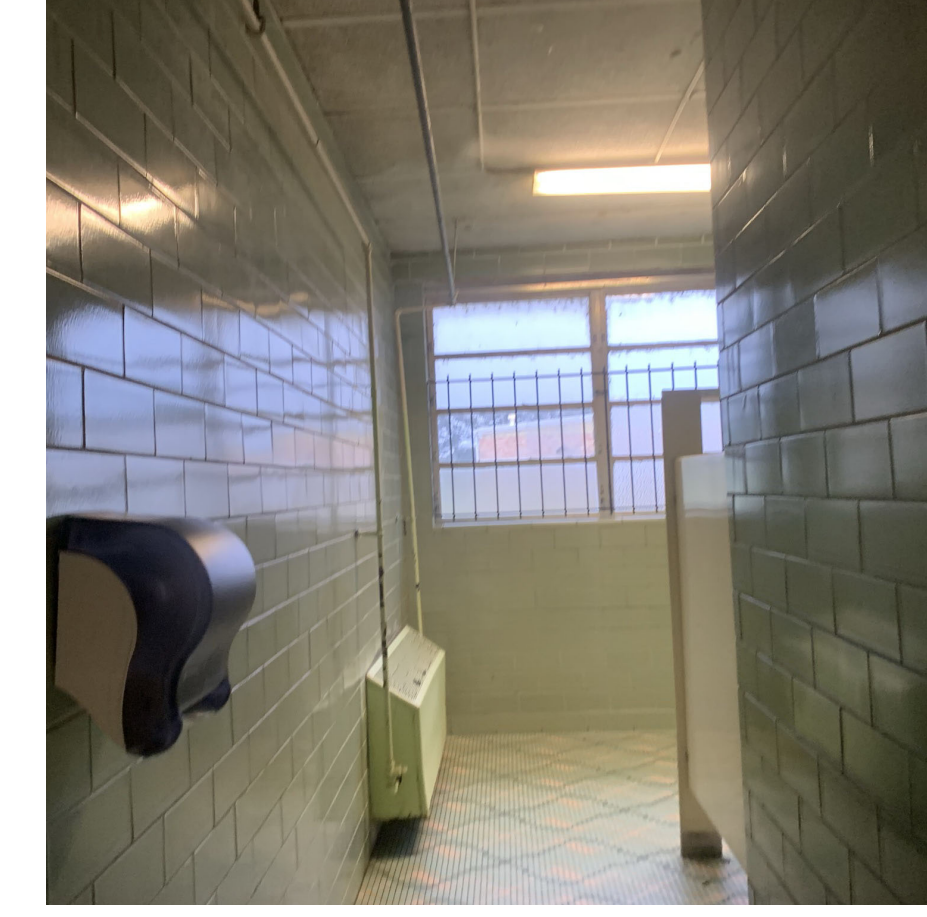
1 Typical Toilet Room Wall
1/2" = 1'-0"



Front of School



Womens 65



Mens 61



Womens 119



Mens 118

Architects

One Jackson Place 250
188 East Capitol Street
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p 601.352.5411

201 Park Court Suite B
Ridgeland, MS 39157
p 601.790.9432

161 Lameuse St. Suite 201
Biloxi, MS 39530
p 228.374.1409

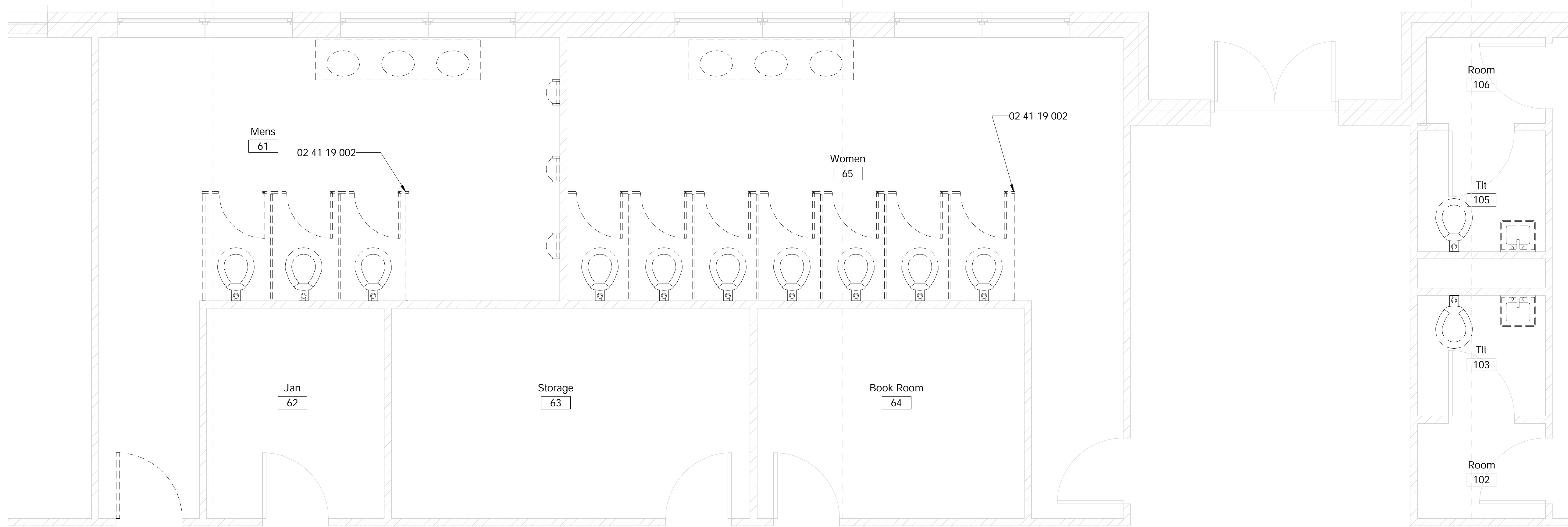
dalebaileyplans.com

Not For Construction

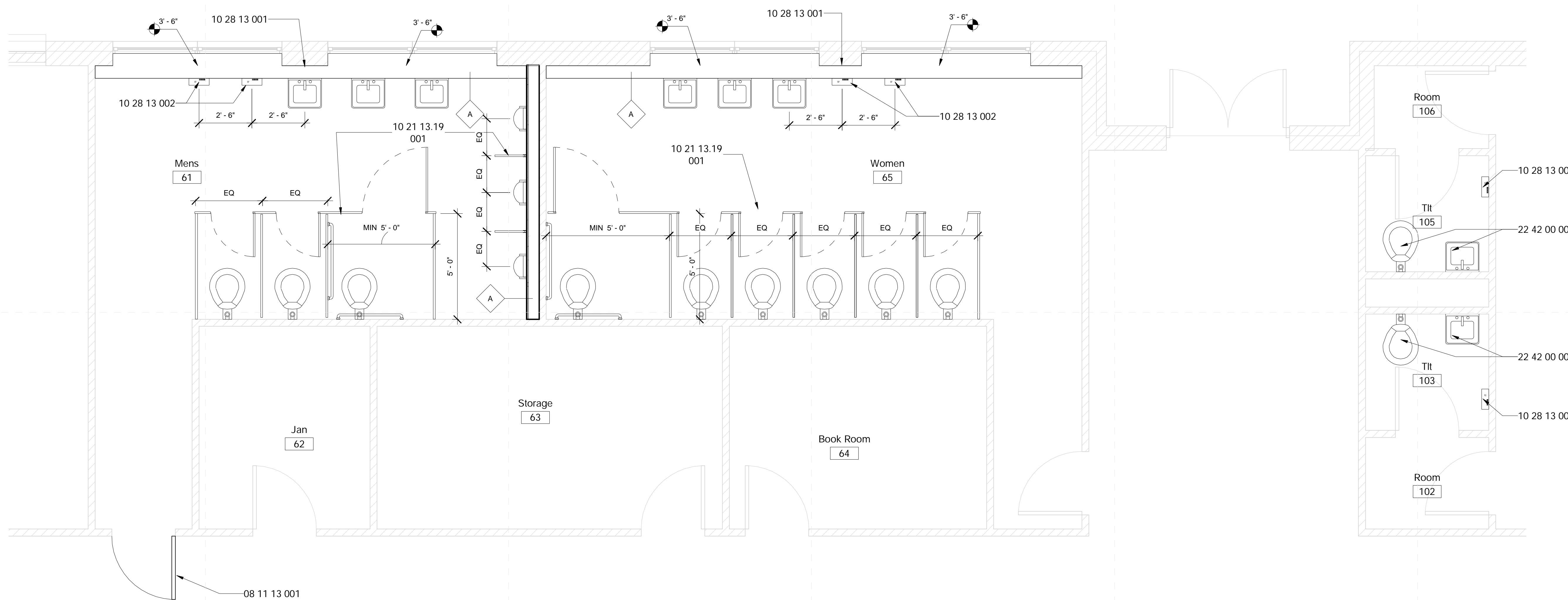
Sunflower Consolidated School District ESSER 2&3 Phase I
Drew Hunter Middle School: 10 Swoope Rd, Drew, MS 38737

Construction Documents

Project No	21027
Date	Issue Date
Revisions	Rev Date



2 Central Toilets - Demolition
3/8" = 1'-0"



1 Central Toilets - New Construction
3/8" = 1'-0"

General Demolition Notes

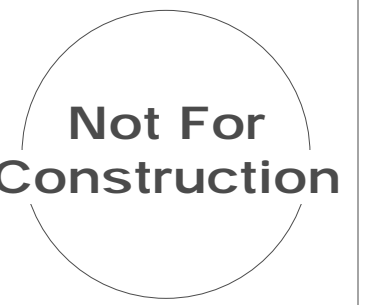
- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- Burying or Burning of materials will not be permitted on site.
- Repair any damage caused to building construction identified to remain.
- Refer to other discipline drawings for additional demolition information as noted
- Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
08 11 13 001	Install metal door and frame to match existing for corrected swing
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here: center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here: coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

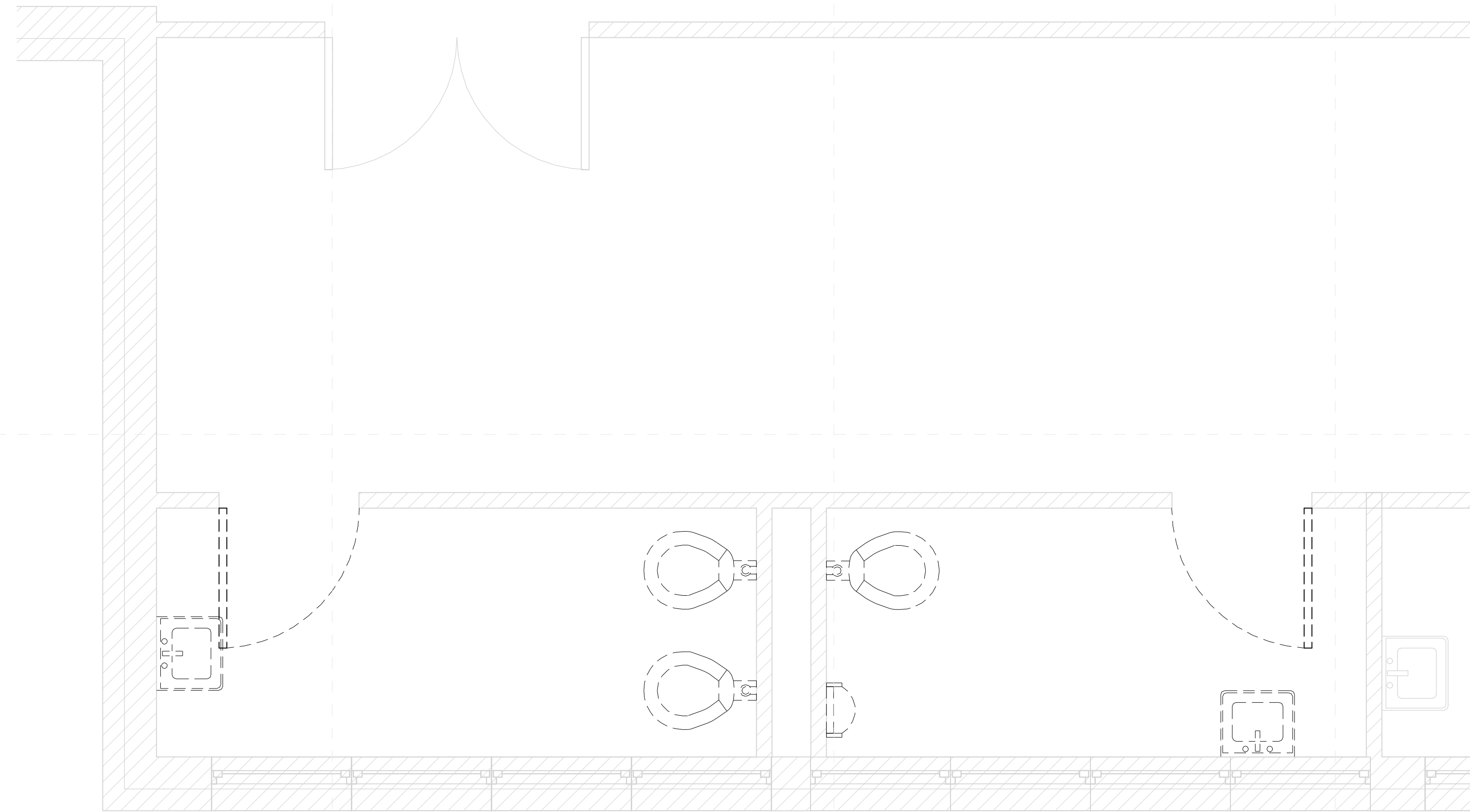
General Finish Plan Notes

- All flooring transitions are to occur at center line of door panel.
- Patch tile at all floors and walls with matching material where missing or removed due to construction, unless noted otherwise.
- New Fixture locations shall be coordinated with mechanical sheets.
- Install new grab bars at all ADA & AMB toilets
- Repair damaged glass at toilet room renovations with like material.
- Clean floor grout and reseal.

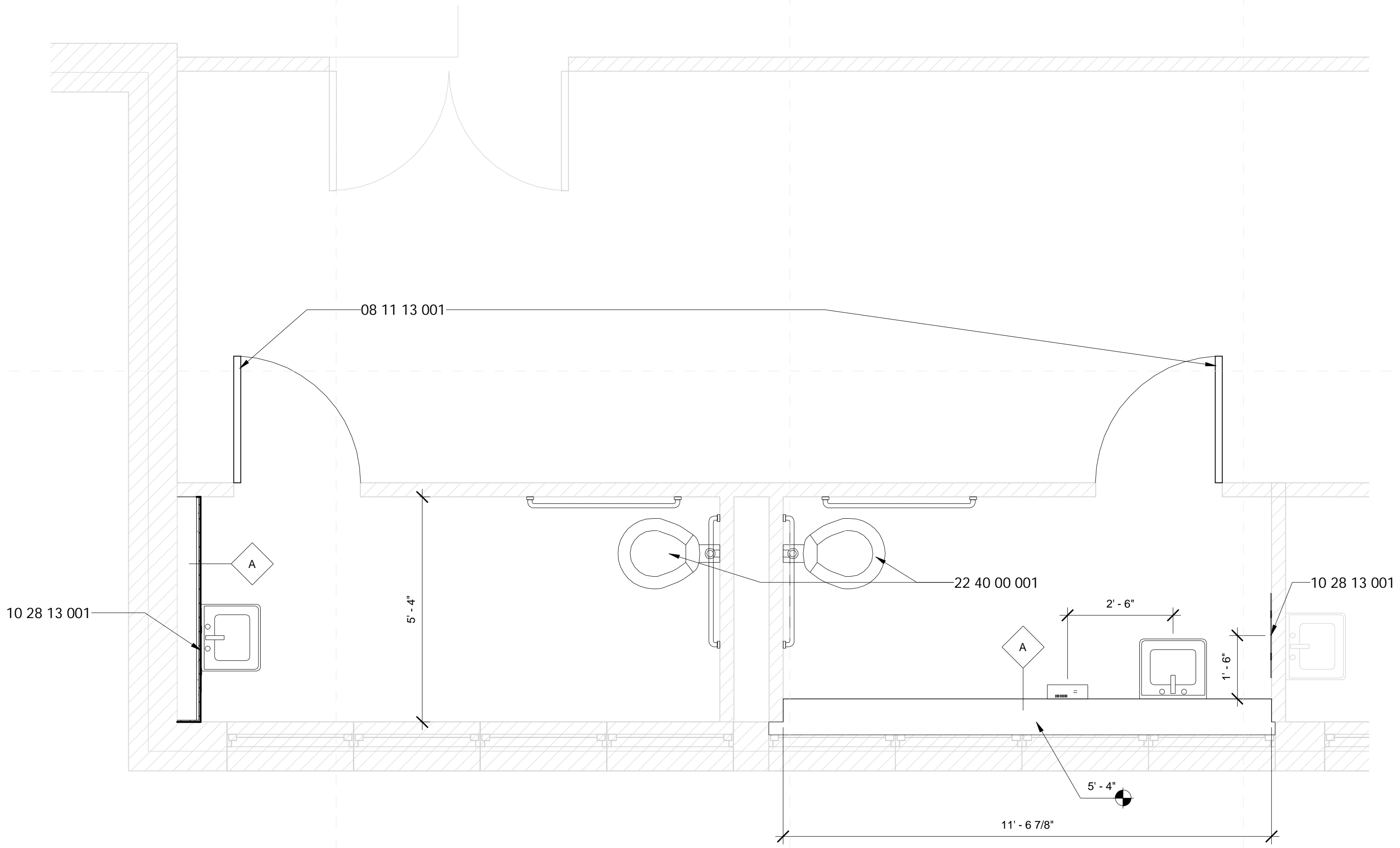


Construction Documents

Project No	21027
Date	Issue Date
Revisions	Rev Date



1 Gym Toilets - Demolition
1/2" = 1'-0"



2 Gym Toilets - New Construction
1/2" = 1'-0"

General Demolition Notes

- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
5. Burying or Burning of materials will not be permitted on site.
6. Repair any damage caused to building construction identified to remain.
7. Refer to other discipline drawings for additional demolition information as noted
8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
9. Existing loose school property to be the responsibility of the school district. removal of property by owner to be coordinated between the contractor and school district.
10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

Specific Notes

Table with 2 columns: Item Code and Description. Includes notes for door swing, mirror placement, and fixture locations.

General Finish Plan Notes

- 1. All flooring transitions are to occur at center line of door panel.
2. Patch tile at all floors and walls with matching material where missing or removed due to construction, unless noted otherwise.
3. New Fixture locations shall be coordinated with mechanical sheets.
4. Install new grab bars at all ADA & AMB toilets
5. Repair damaged glass at toilet room renovations with like material.
6. Clean floor grout and reseal.

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Not For Construction

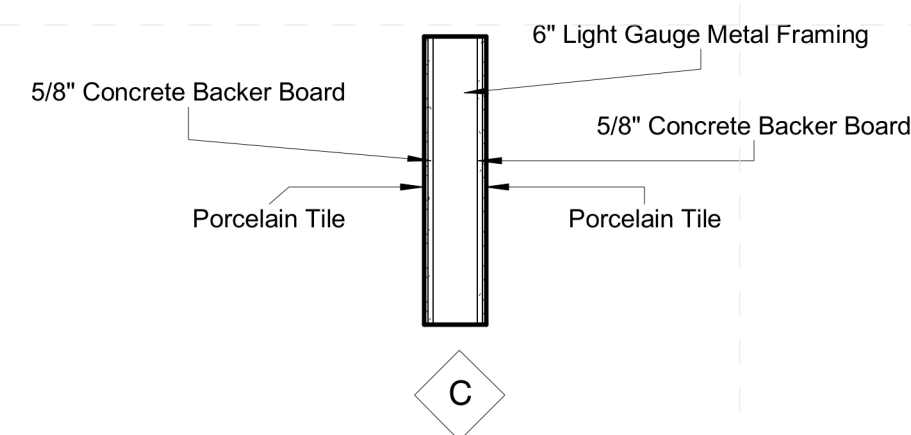
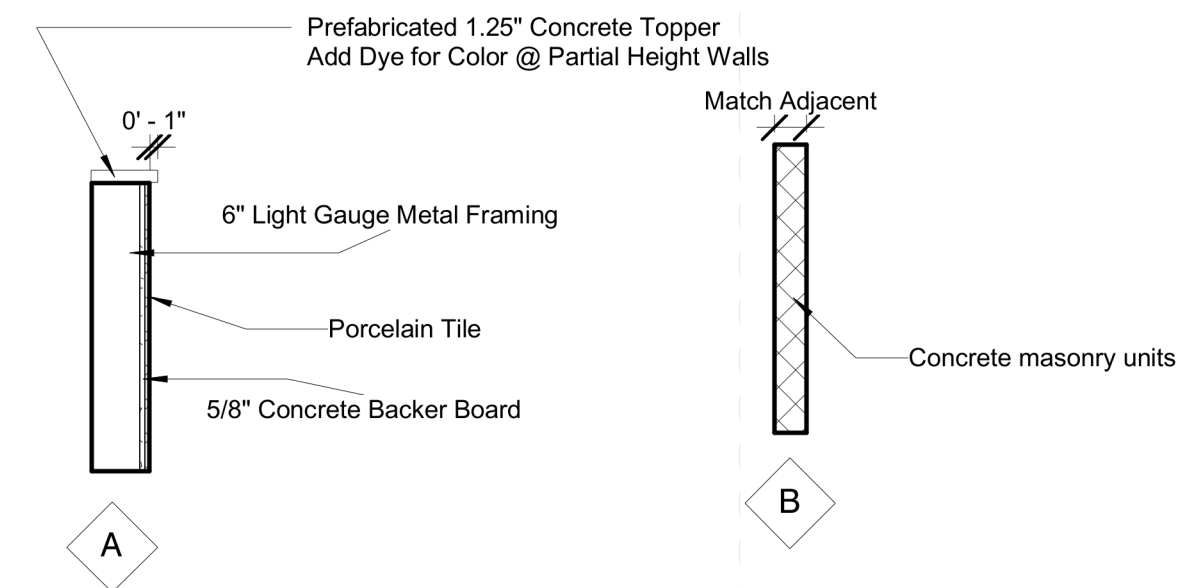
Sunflower Consolidated School District ESSER 2&3 Phase I
Drew Hunter Middle School: 10 Swoope Rd, Drew, MS 38737

Construction Documents

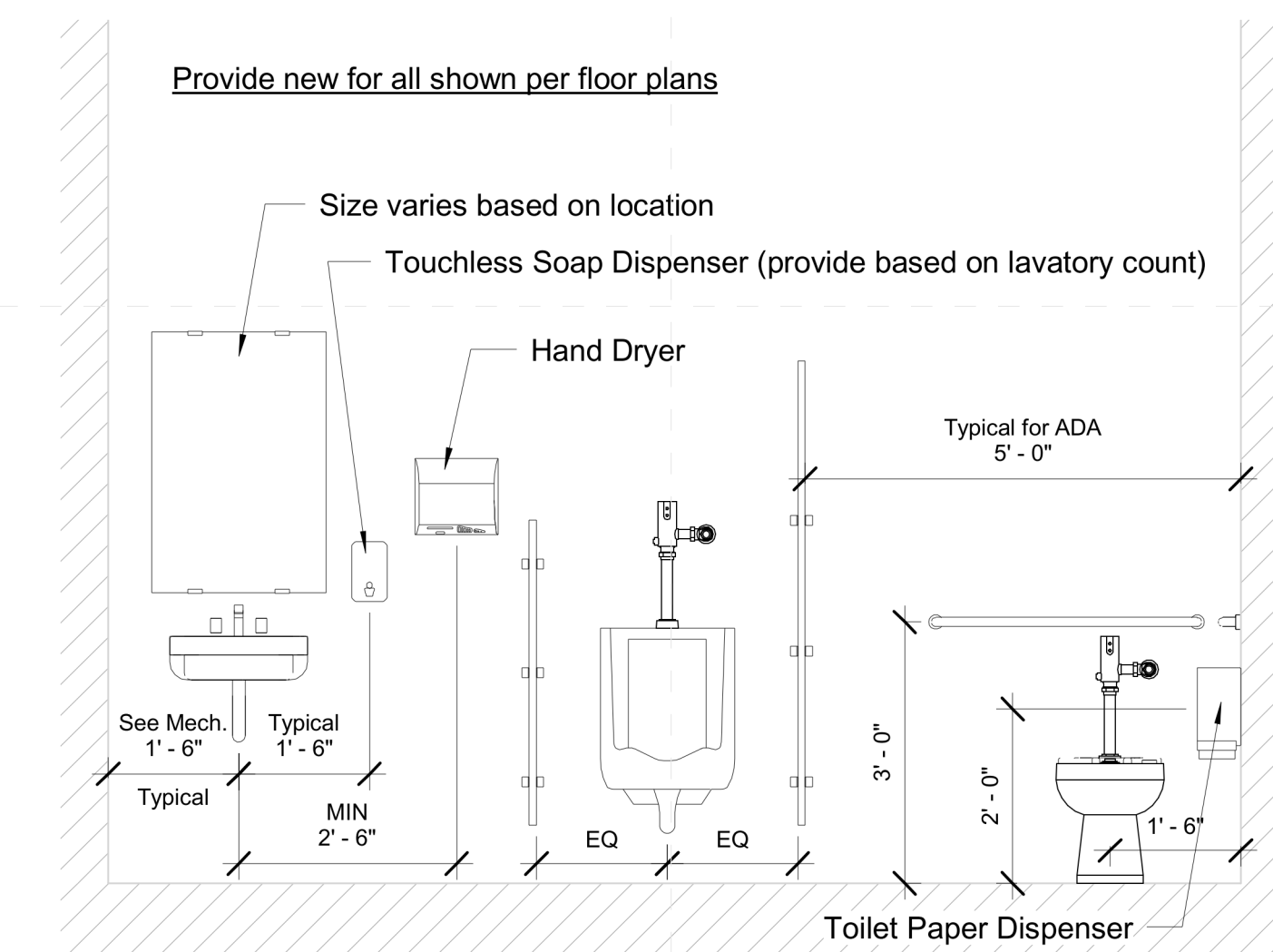
Table with 2 columns: Project No, Date, Revisions, Issue Date, Rev Date

All School's Specific Notes

- 02 41 19 002 Dashed lines indicated extent of demoed work
- 08 11 13 002 Install new 36" HM Door and Frame with new hardware
- 08 11 13 003 Remove Door jambs and finish masonry edge; ensure MIN 32" wide opening; paint to match CMU
- 09 30 13 005 Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
- 10 21 13.19 001 Install new toilet partitions (typical)
- 10 28 13 001 Install wall hung mirror here; center over fixture unless noted otherwise
- 10 28 13 002 Install hand dryer here; coordinate with electrical & mechanical
- 22 42 00 001 Coordinate new fixture installations with mechanical, typical for new
- 22 42 00 002 New fixtures only in this toilet room; coordinate with mechanical
- 22 42 00 003 New touchless faucet at sink/cabinet; coordinate with mechanical
- 22 47 13 001 Install double drinking fountain here; coordinate with mechanical & electrical drawings
- 22 47 13 002 Install single drinking fountain here with bottle filler attachment; coordinate with mechanical & electrical drawings



Wall Standards
1/2" = 1'-0"



1 Typical Toilet Room Wall
1/2" = 1'-0"



Front of School



Toilets South



Toilets South



Toilets Central



Toilets Central



Toilets North



Toilets North

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Sunflower Consolidated School District ESSER 2&3 Phase I
Lockard Elementary School: 302 College Ave., Indianola, MS 38751

Construction
Documents

Project No	21027
Date	Issue Date
Revisions	Rev Date



1 RCP - Demolition
1/16" = 1'-0"

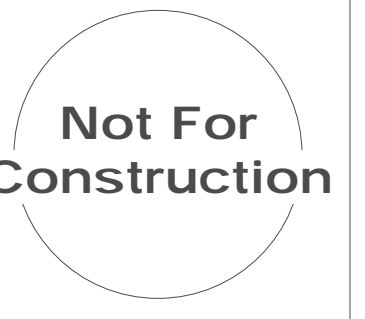
General RCP Demolition Notes

- Where ceiling transitions from new ceiling to existing ceiling, coordinate with Architect detail.
- Remove all existing ceiling grid & tile unless noted otherwise, as well as any wall fasteners and/or mastics attached therein where shown to be replaced by new materials.
- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- Burying or Burning of materials will not be permitted on site.
- Repair any damage caused to building construction identified to remain.
- Refer to other discipline drawings for additional demolition information as noted.
- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- No work in rooms with ceiling open to the structure above, unless noted otherwise.

Ceiling Legend

- Moisture Resistant Acoustical Lay In Ceiling
- Colored Acoustical Lay In Ceiling
- Vinyl Faced Acoustical Lay In Ceiling
- Gypsum Board Ceiling
- 2x2 Acoustical Lay In Ceiling
- Plaster/Stucco
- Concealed Fastener Painted Metal Soffit
- 2x2 Fluorescent Fixture
- Surface-Mounted Fluorescent Light Fixture
- Recessed Can Light Fixture
- HVAC Supply Grille
- HVAC Return Grille
- Exterior Wall Light
- Interior Wall Light
- Open to Structure (OTS)

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Sunflower Consolidated School District ESSER 2&3 Phase I
Lockard Elementary School: 302 College Ave., Indianola, MS 38751

Construction Documents

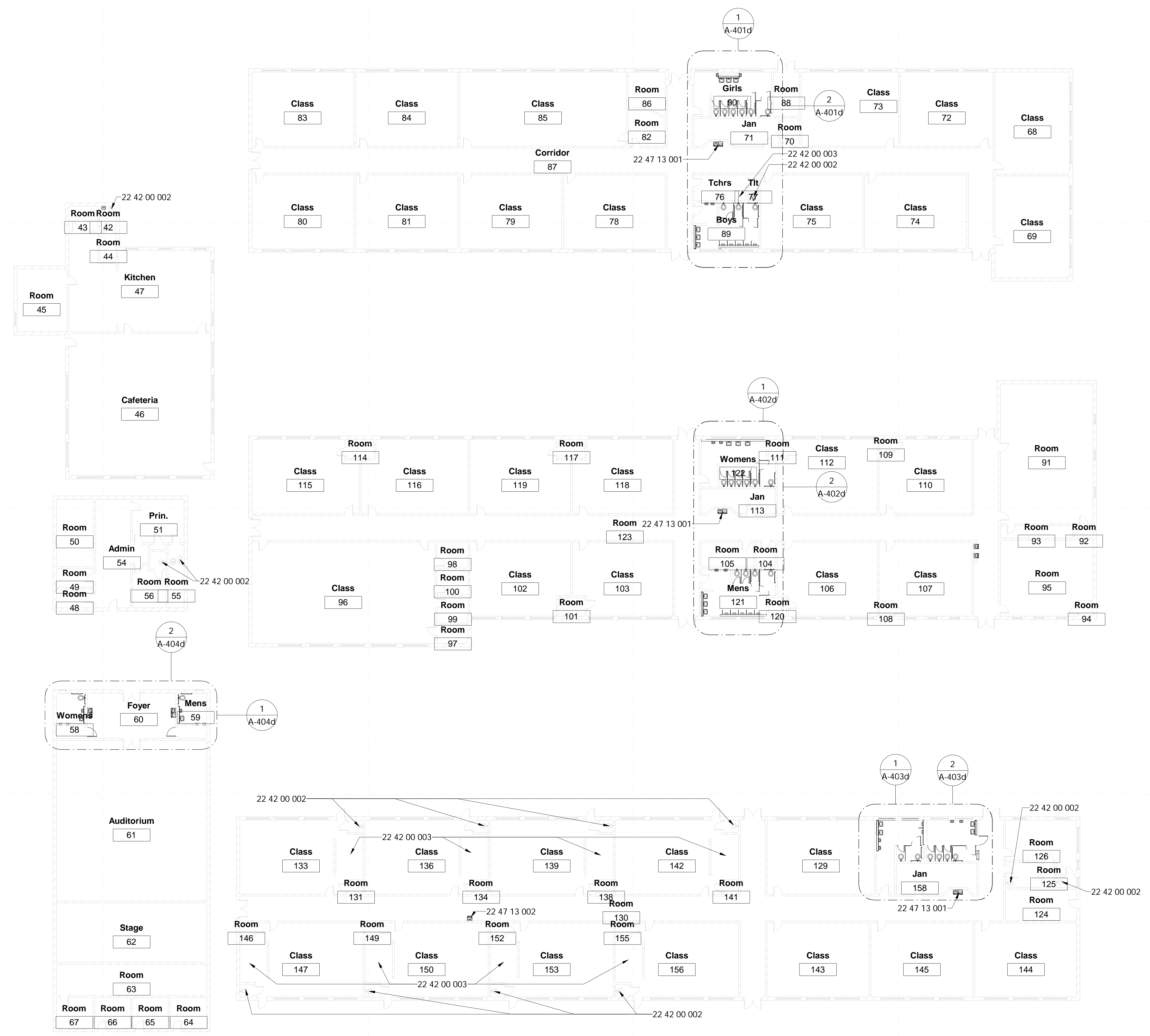
Project No	21027
Date	Issue Date
Revisions	Rev Date

Not For
Construction

Sunflower Consolidated School District ESSER 2&3 Phase I
Lockard Elementary School: 302 College Ave., Indianola, MS 38751

Construction
Documents

Project No	21027
Date	Issue Date
Revisions	Rev Date



Specific Notes

- 22 42 00 002 New fixtures only in this toilet room: coordinate with mechanical
- 22 42 00 003 New touchless faucet at sink/cabinet: coordinate with mechanical
- 22 47 13 001 Install double drinking fountain here: coordinate with mechanical & electrical drawings
- 22 47 13 002 Install single drinking fountain here with bottle filler attachment; coordinate with mechanical & electrical drawings

1 Main Floor - New Construction
1/16" = 1'-0"

Not For
Construction

Sunflower Consolidated School District ESSER 2&3 Phase I
Lockard Elementary School: 302 College Ave., Indianola, MS 38751

Construction
Documents

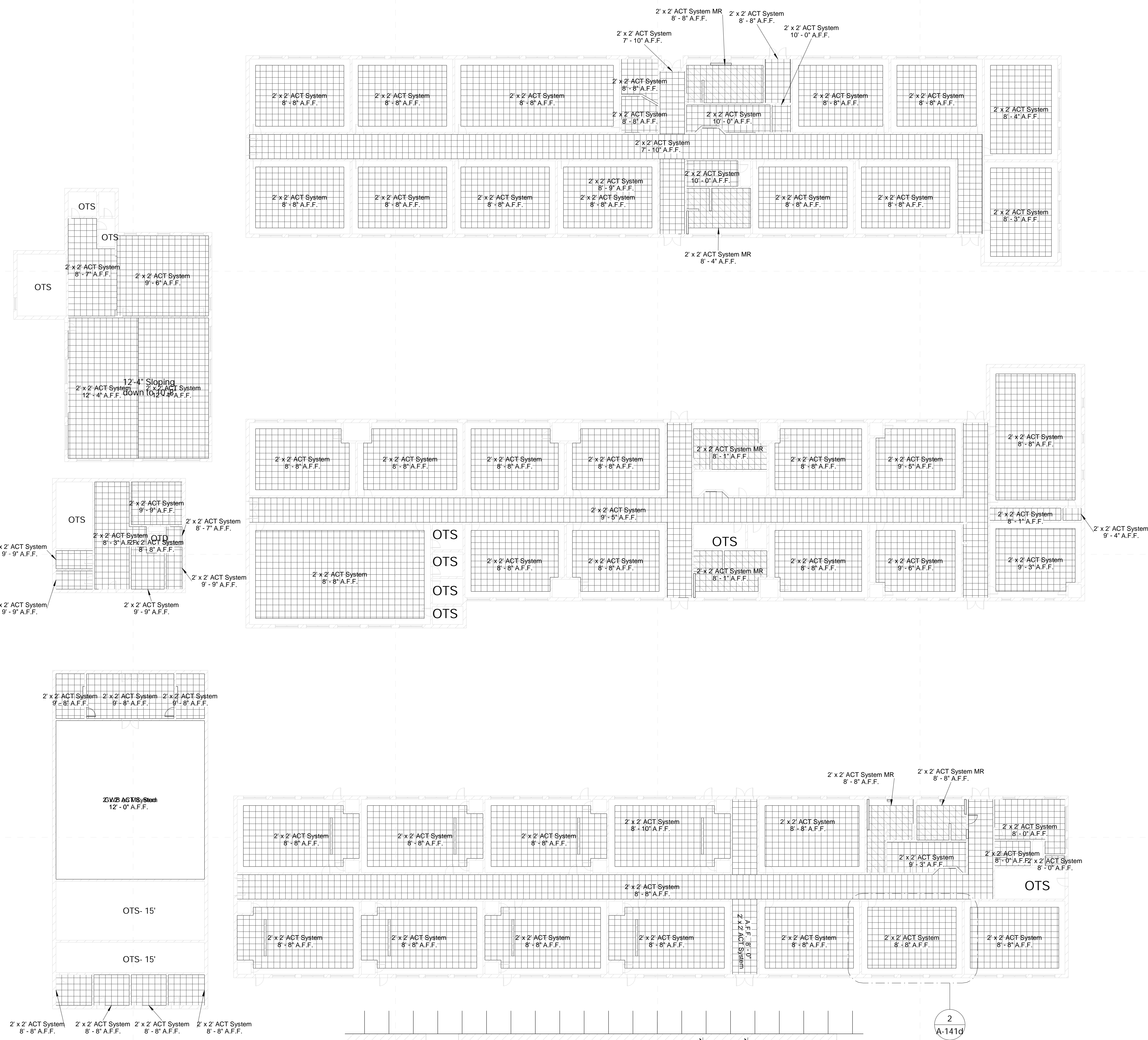
Project No	21027
Date	Issue Date
Revisions	Rev Date

General RCP Notes

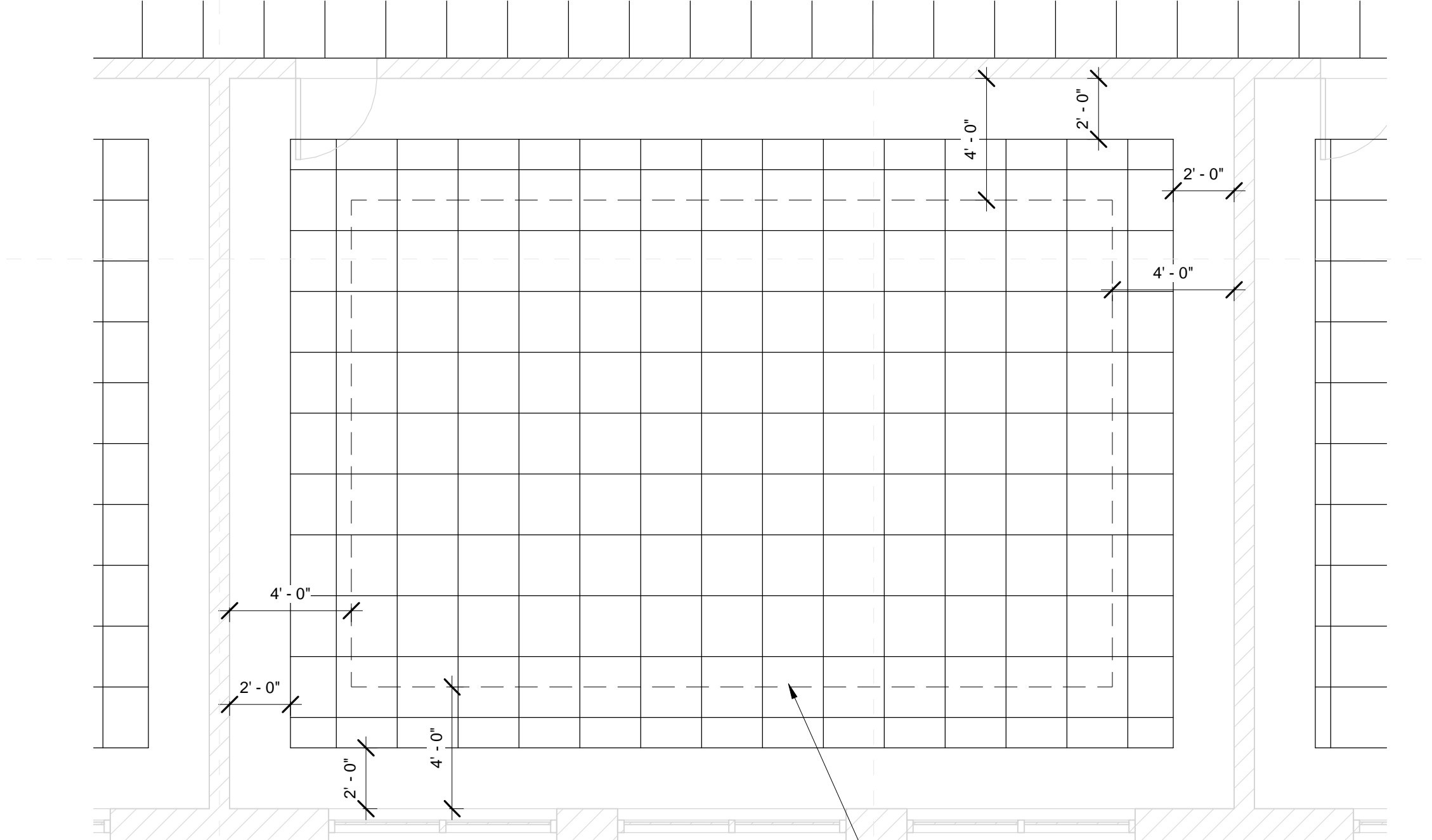
- All ceiling heights shall be same as existing or lower, unless noted otherwise.
- Contractor shall paint all surfaces above 8'-8" at wall, roof, and ceiling, as well as anything attached therein at all exposed sections of ceilings where not covered by new 2x2 ACT, unless noted otherwise.
- Repair/replace any and all ceiling damaged due to construction activities.
- Bent ceiling grid damaged due to construction activities shall be replaced or bent to appear as new in shape.

Ceiling Legend

- Moisture Resistant Acoustical Lay In Ceiling
- Colored Acoustical Lay In Ceiling
- Vinyl Faced Acoustical Lay In Ceiling
- Gypsum Board Ceiling
- 2x2 Acoustical Lay In Ceiling
- Plaster/Stucco
- Concealed Fastender Painted Metal Soffit
- 2x2 Fluorescent Fixture
- Surface-Mounted Fluorescent Light Fixture
- Recessed Can Light Fixture
- HVAC Supply Grille
- HVAC Return Grille
- Exterior Wall Light
- Interior Wall Light
- Open to Structure (OTS)

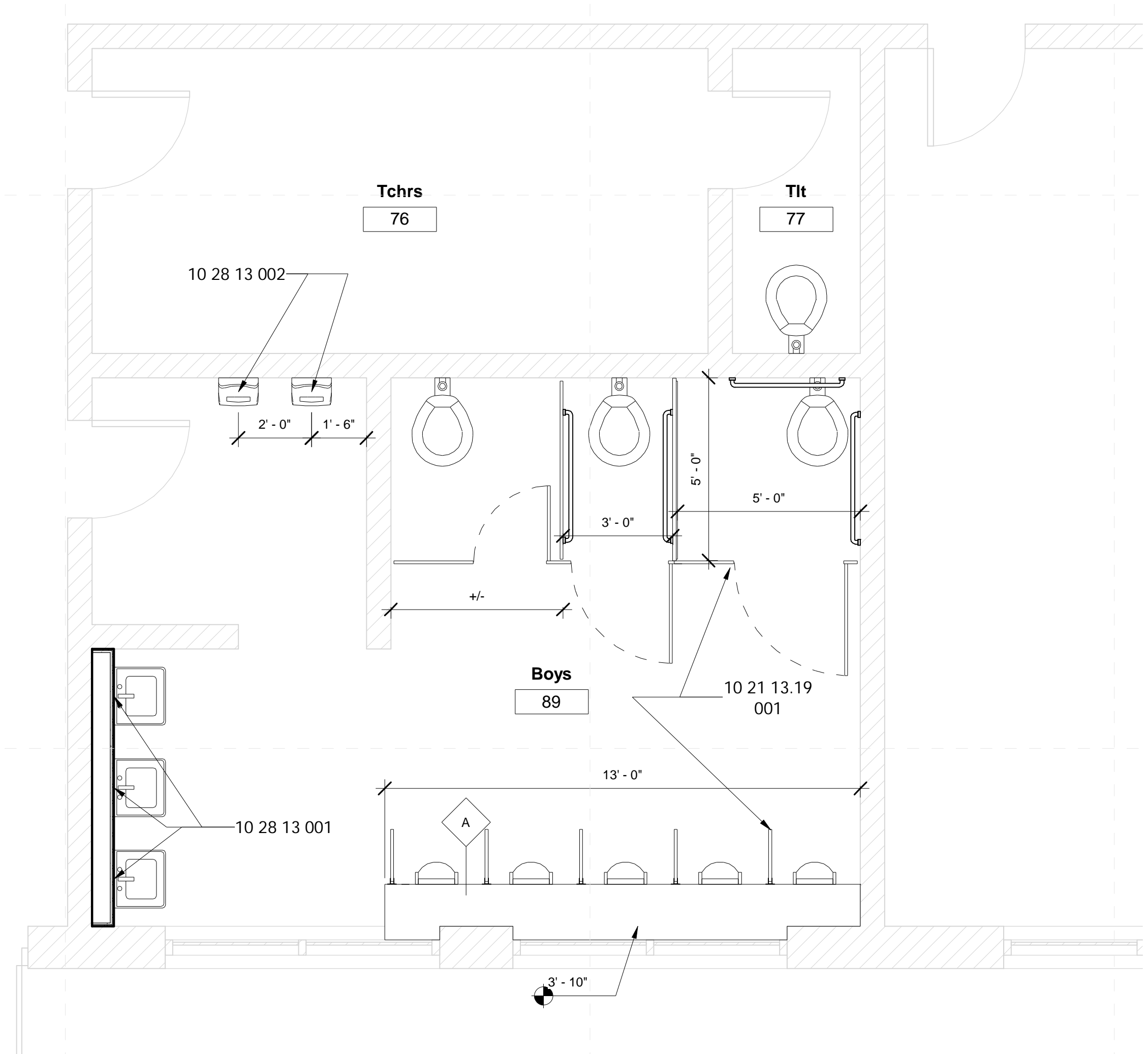
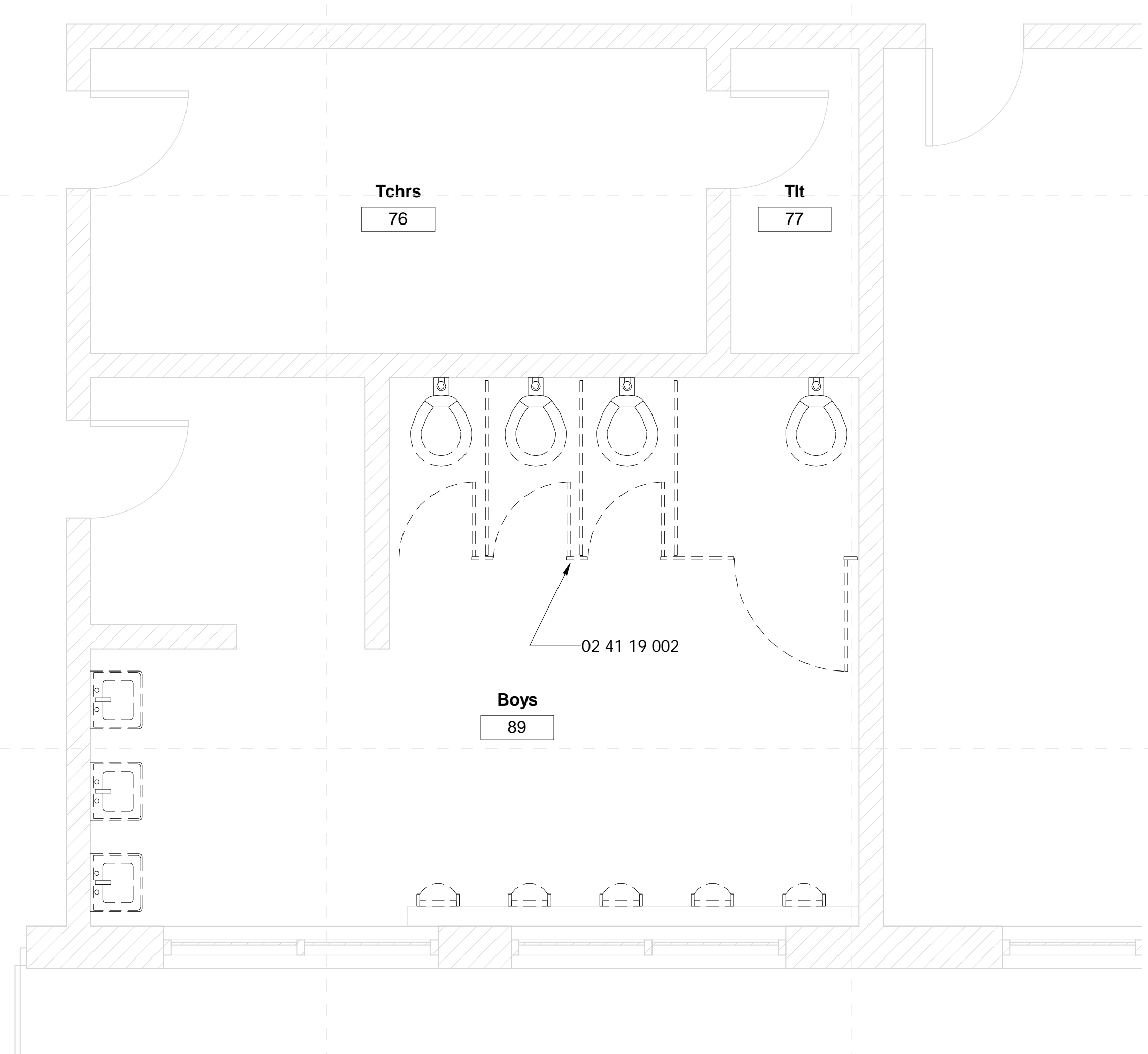
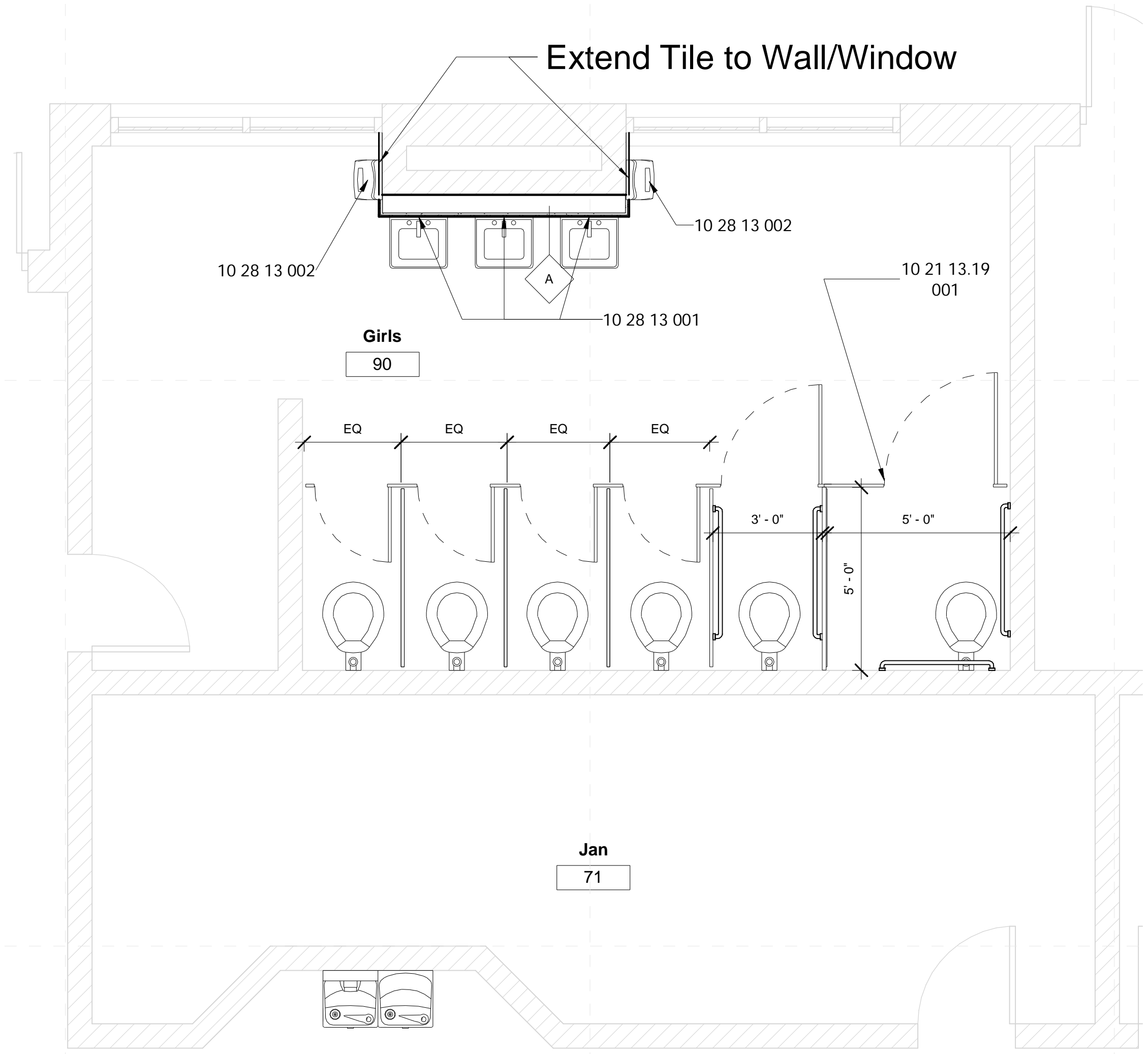
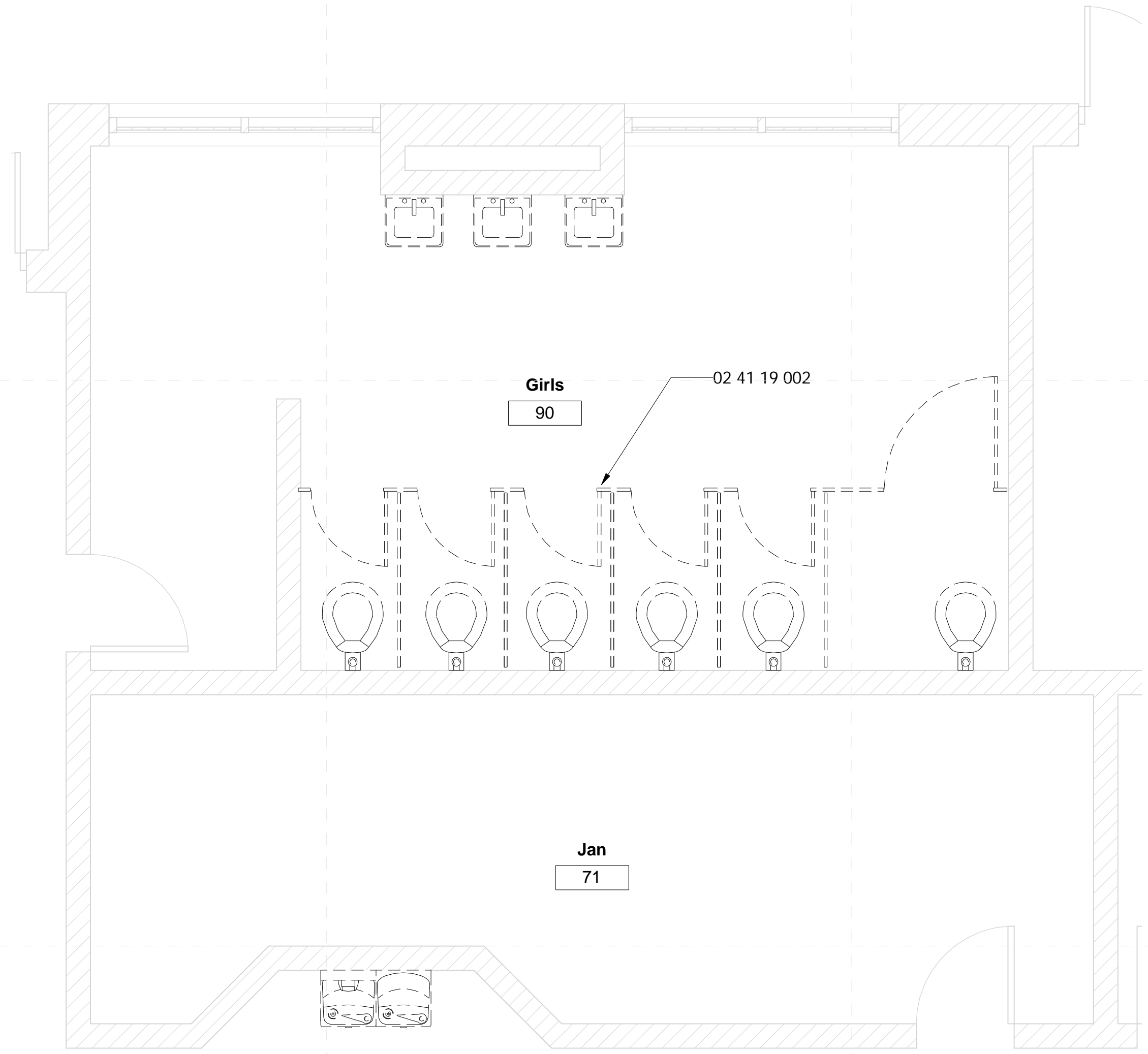


1 RCP - New Construction
1/16" = 1'-0"



2 Typical Ceiling Layout
1/4" = 1'-0"

Extent of Paint @ Ceiling Surface



1 Toilets (North) - Demolition
3/8" = 1'-0"

2 Toilets (North) - New Construction
3/8" = 1'-0"

General Demolition Notes

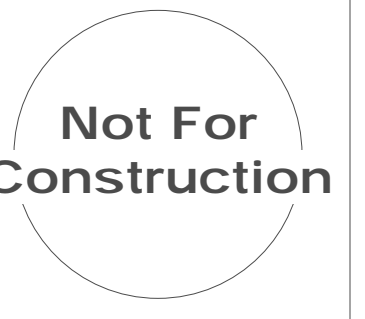
- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc., where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
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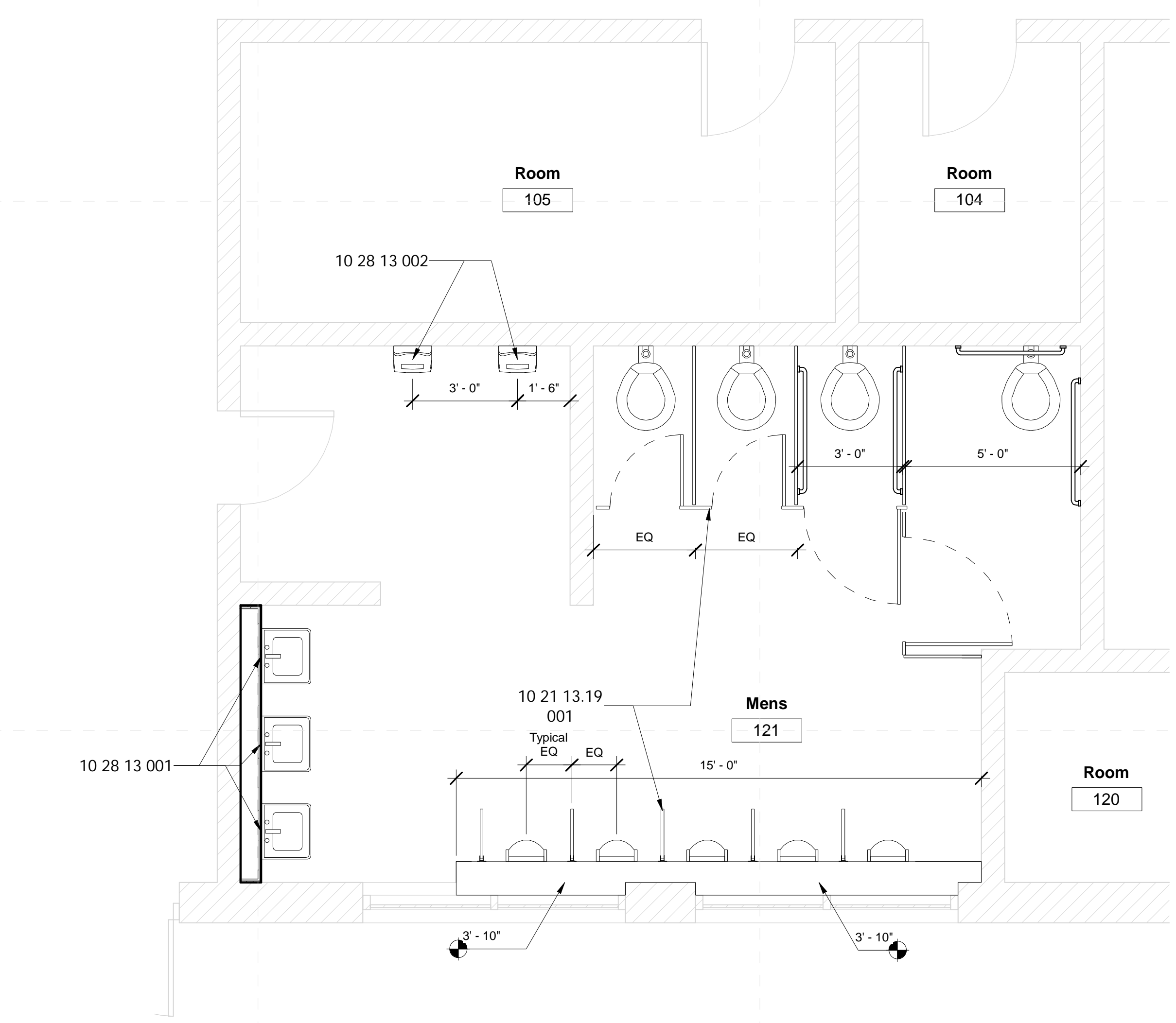
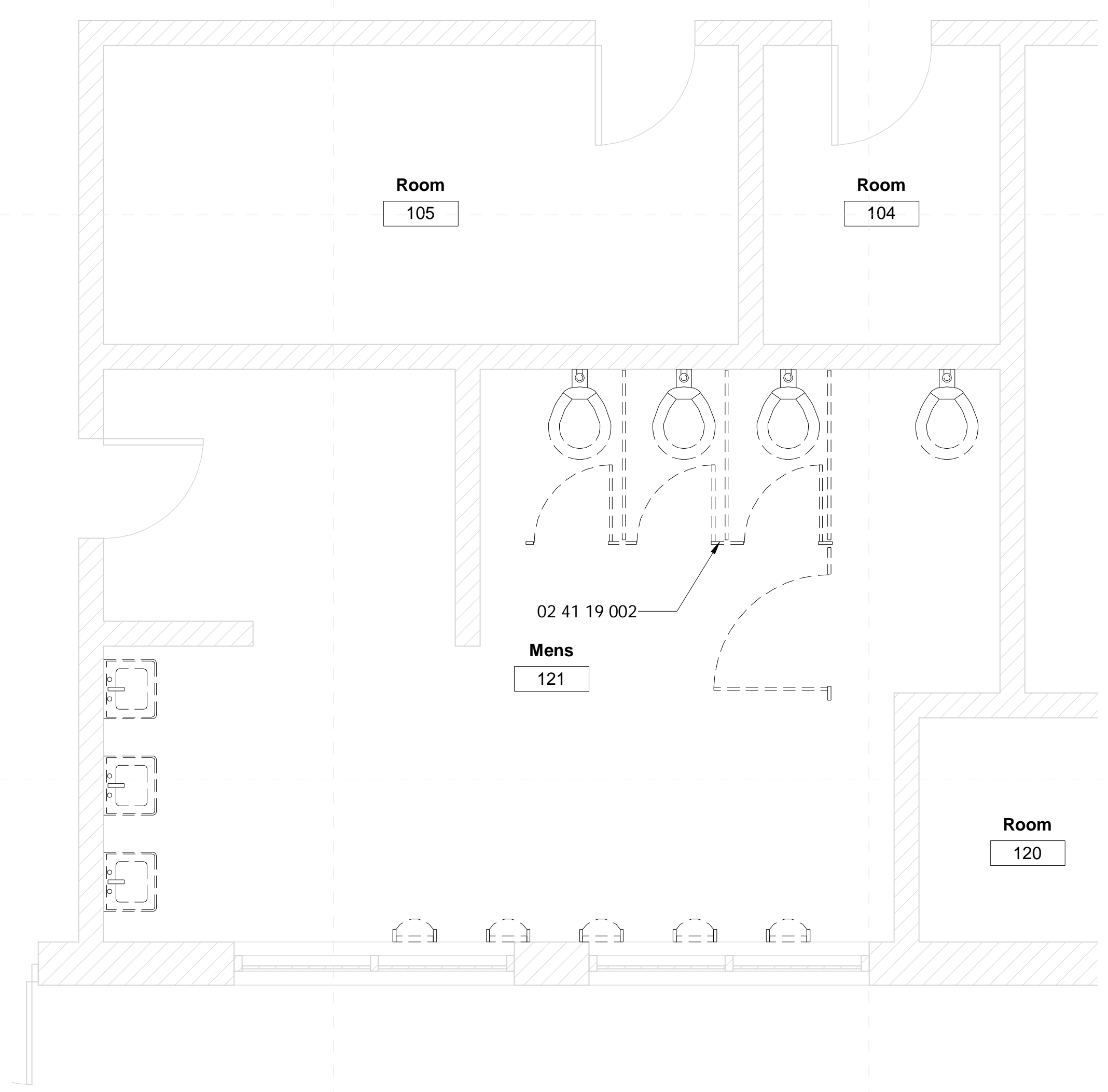
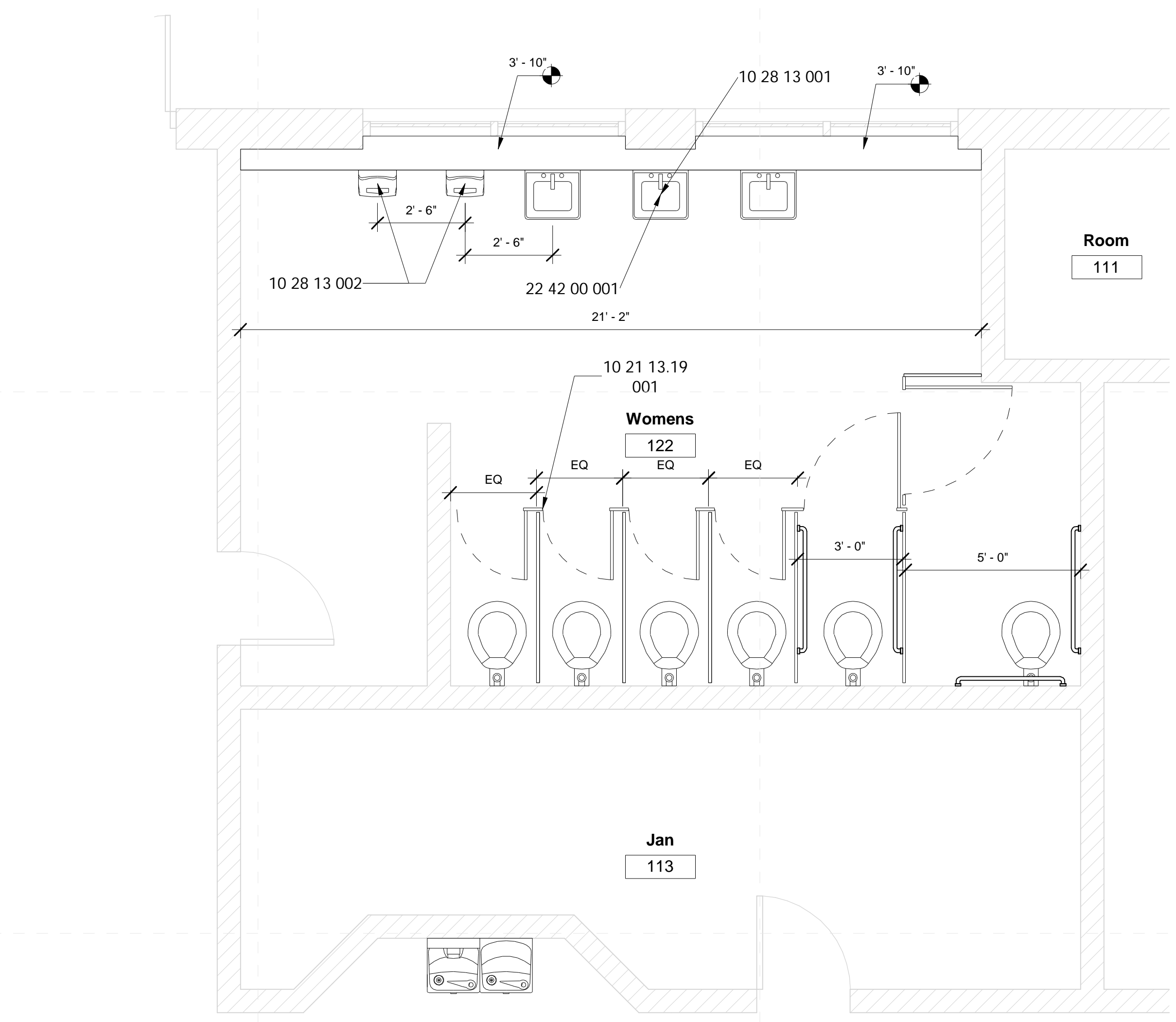
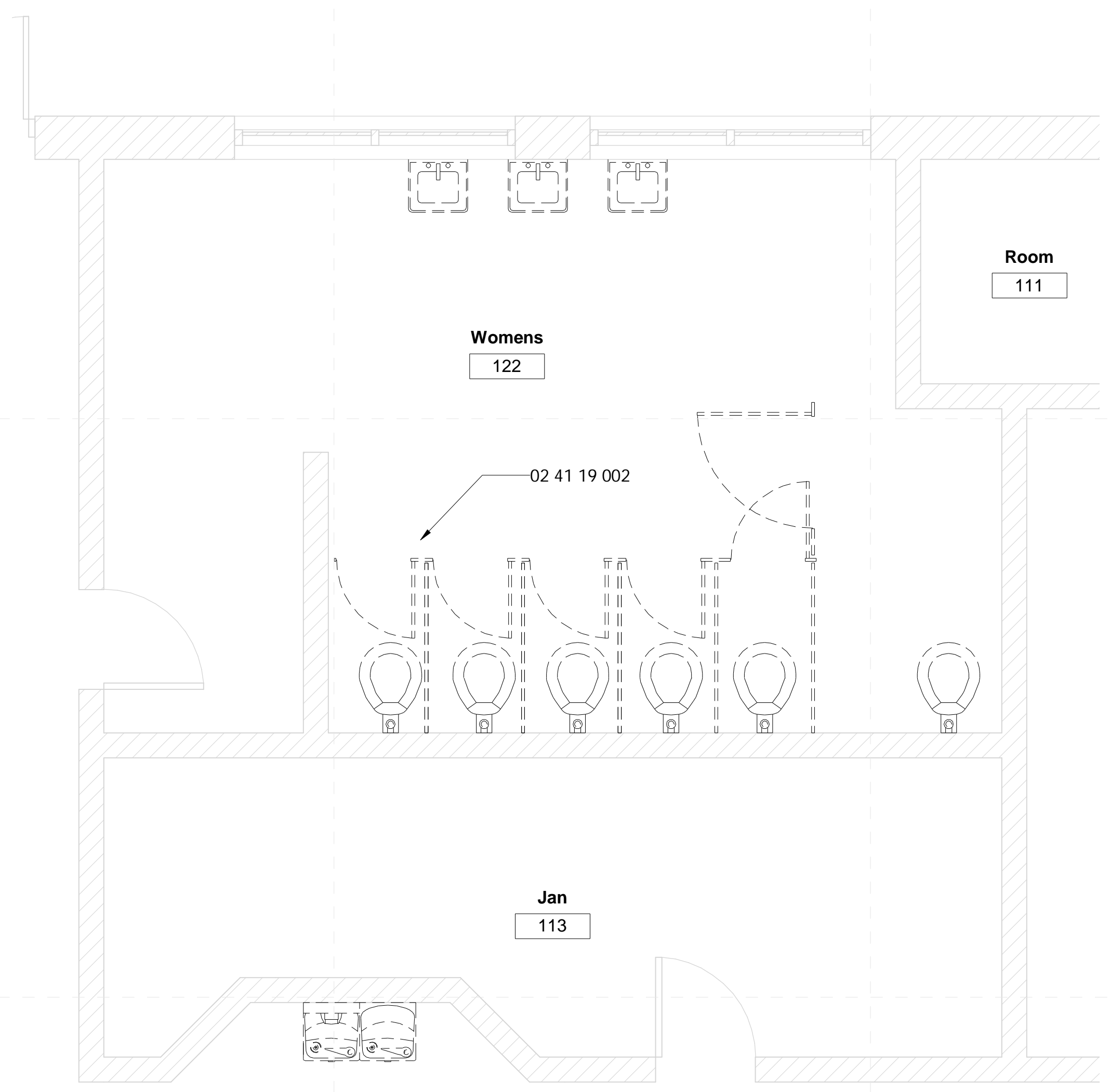
Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here: center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here: coordinate with electrical & mechanical

General Finish Plan Notes

- All flooring transitions are to occur at center line of door panel.
- Patch tile at all floors and walls with matching material where missing or removed due to construction, unless noted otherwise.
- New Fixture locations shall be coordinated with mechanical sheets.
- Install new grab bars at all ADA & AMB toilets
- Paint all exposed CMU at renovated toilets.
- Paint all tile wainscot.
- Clean floor grout and reseat.





1 Toilets (Central) - Demolition
3/8" = 1'-0"

2 Toilets (Central) - New Construction
3/8" = 1'-0"

General Demolition Notes

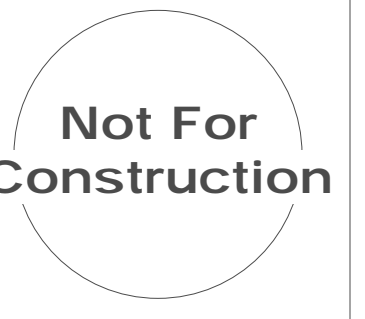
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- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

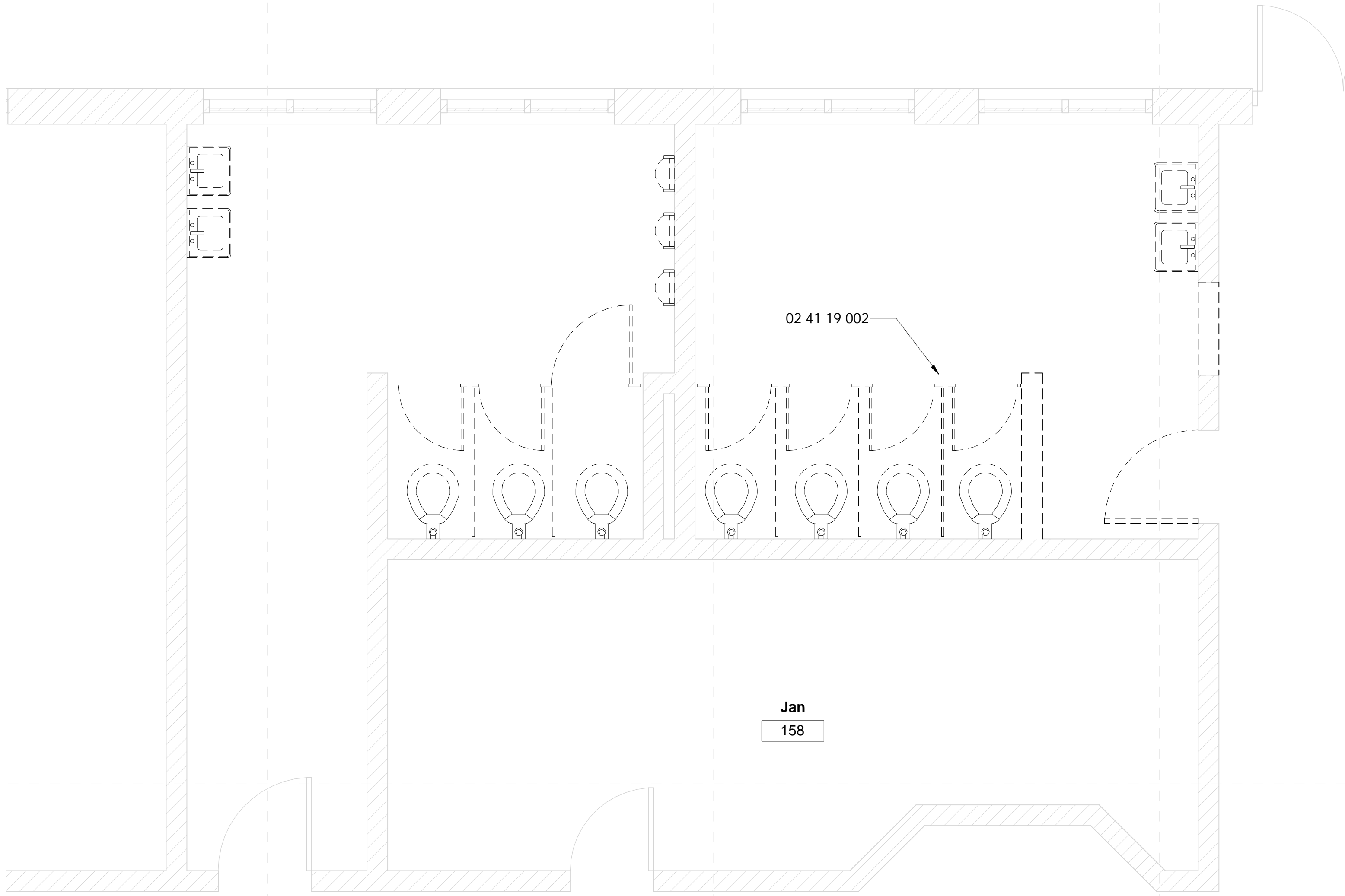
Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here: center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here: coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

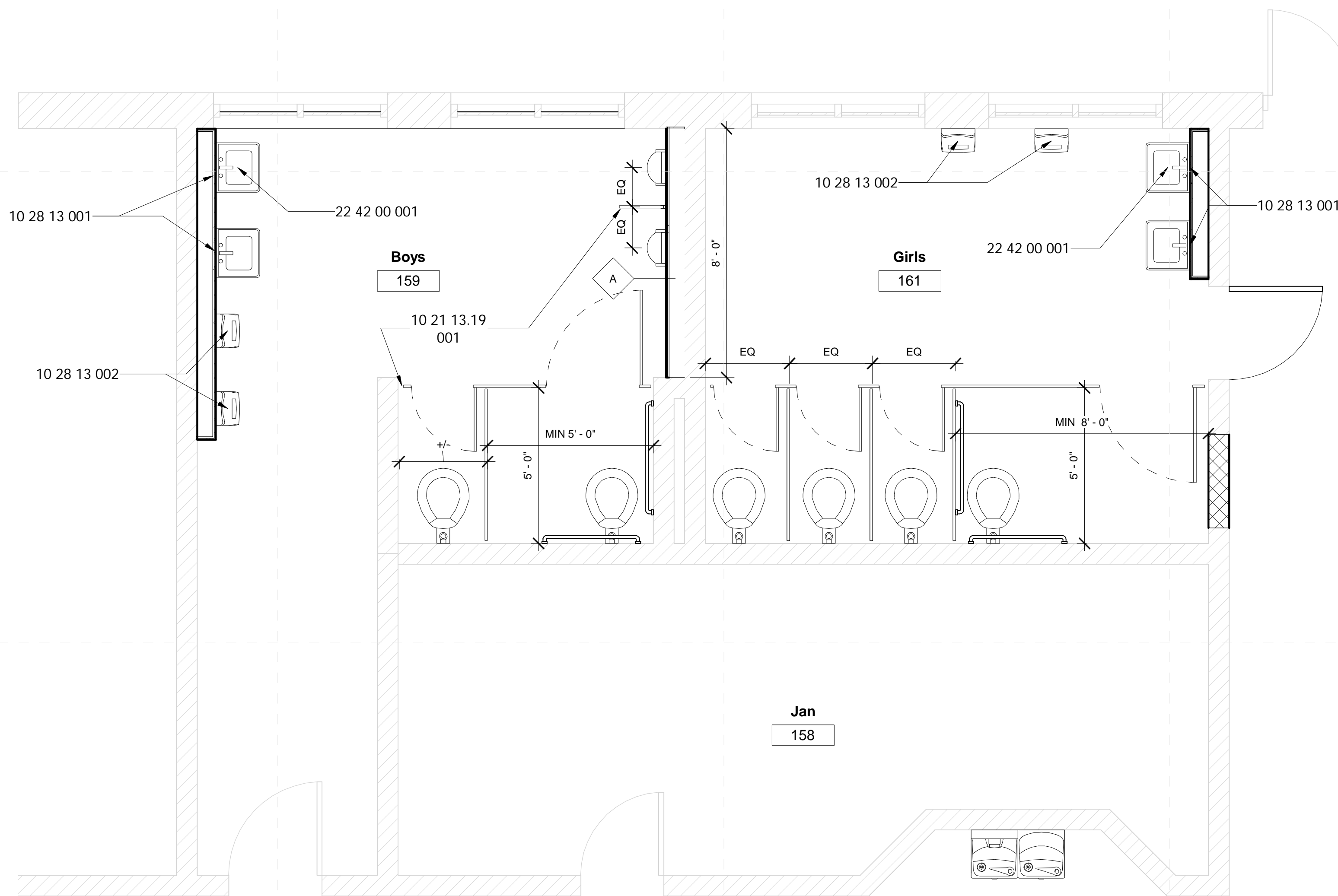
General Finish Plan Notes

- All flooring transitions are to occur at center line of door panel.
- Patch tile at all floors and walls with matching material where missing or removed due to construction, unless noted otherwise.
- New Fixture locations shall be coordinated with mechanical sheets.
- Install new grab bars at all ADA & AMB toilets
- Paint all exposed CMU at renovated toilets.
- Paint all tile wainscot.
- Clean floor grout and reseal.





1 Toilets (South) - Demolition
3/8" = 1'-0"



2 Toilets (South) - New Construction
3/8" = 1'-0"

General Demolition Notes

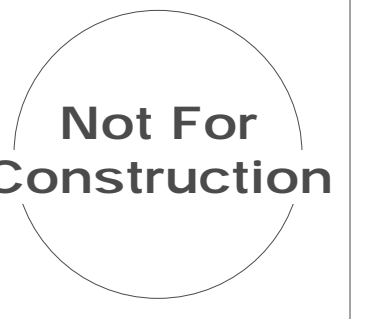
- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc., where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
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- Repair any damage caused to building construction identified to remain.
- Refer to other discipline drawings for additional demolition information as noted
- Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
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Specific Notes

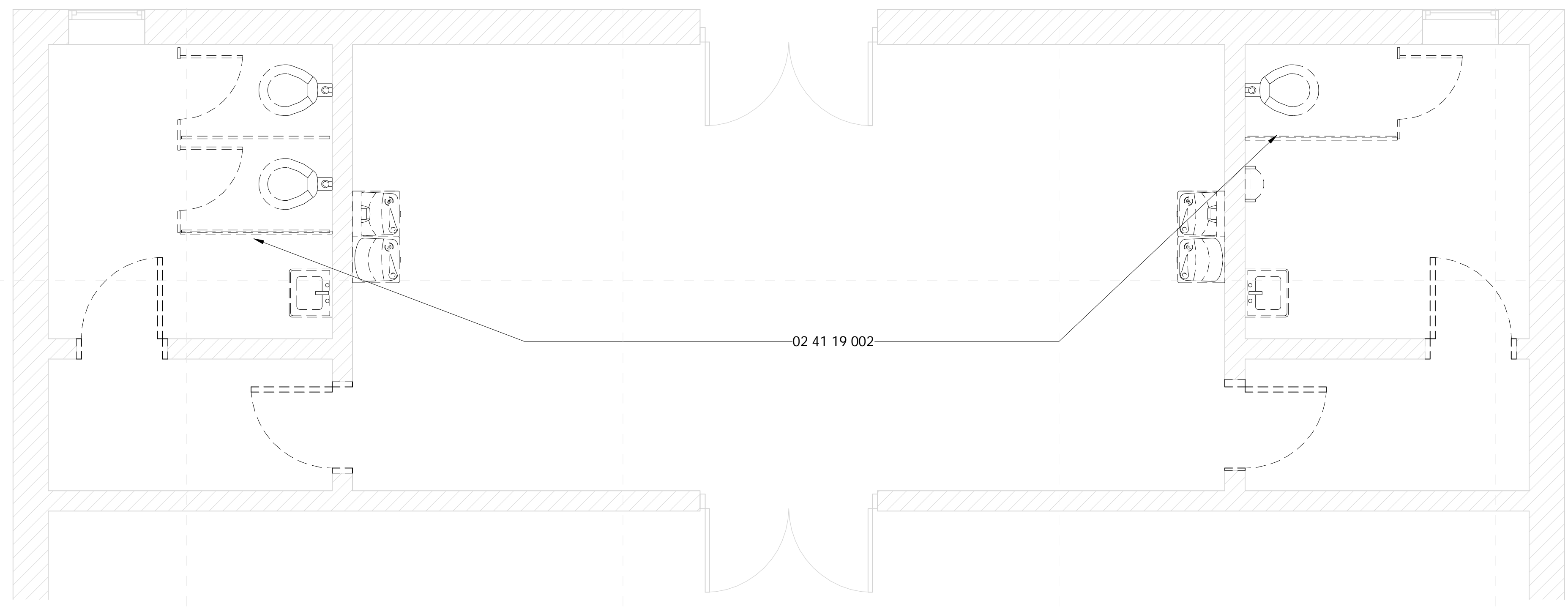
02 41 19 002	Dashed lines indicated extent of demoed work
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here: center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here: coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

General Finish Plan Notes

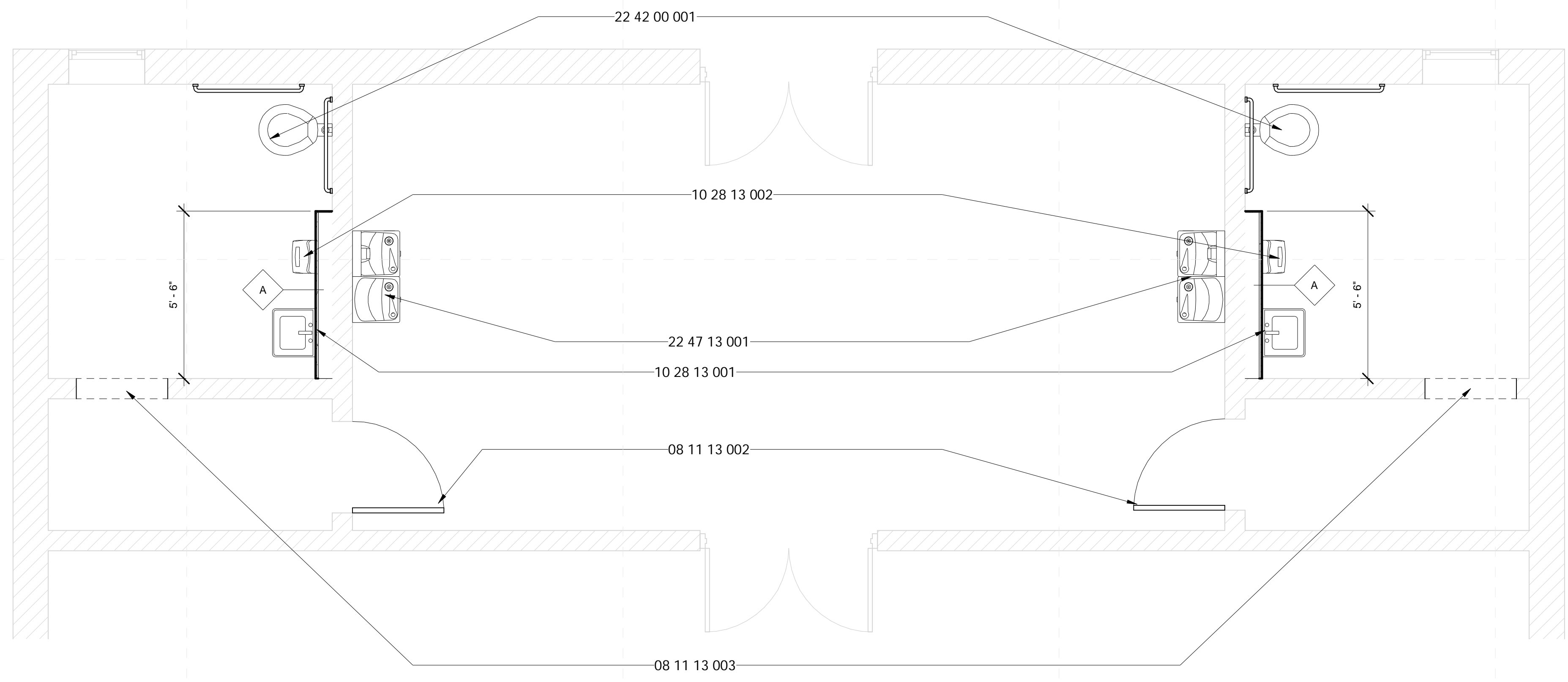
- All flooring transitions are to occur at center line of door panel.
- Patch tile at all floors and walls with matching material where missing or removed due to construction, unless noted otherwise.
- New Fixture locations shall be coordinated with mechanical sheets.
- Install new grab bars at all ADA & AMB toilets
- Paint all exposed CMU at renovated toilets.
- Paint all tile wainscot.
- Clean floor grout and reseal.



Project No	21027
Date	Issue Date
Revisions	Rev Date



1 Toilets (Auditorium) - Demolition
3/8" = 1'-0"



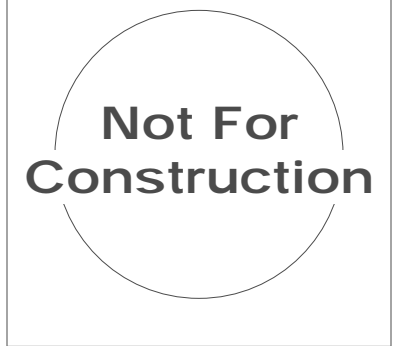
2 Toilets (Auditorium) - New Construction
3/8" = 1'-0"

General Demolition Notes

1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
2. Remove all existing flooring, ceiling tile, rubber base, etc., where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
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9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- 10.



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 Biloxi, MS 39530
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 dalebailypress.com



Specific Notes

02 41 19 002	Dashed lines indicated extent of demoeed work
08 11 13 002	Install new 36" HM Door and Frame with new hardware
08 11 13 003	Remove Door jambs and finish masonry edge; ensure MIN 32" wide opening; paint to match CMU
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new
22 47 13 001	Install double drinking fountain here; coordinate with mechanical & electrical drawings

General Finish Plan Notes

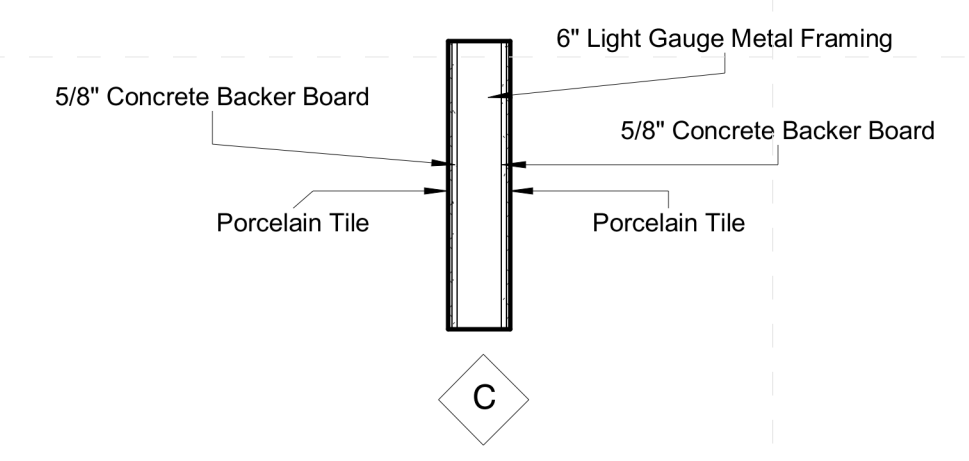
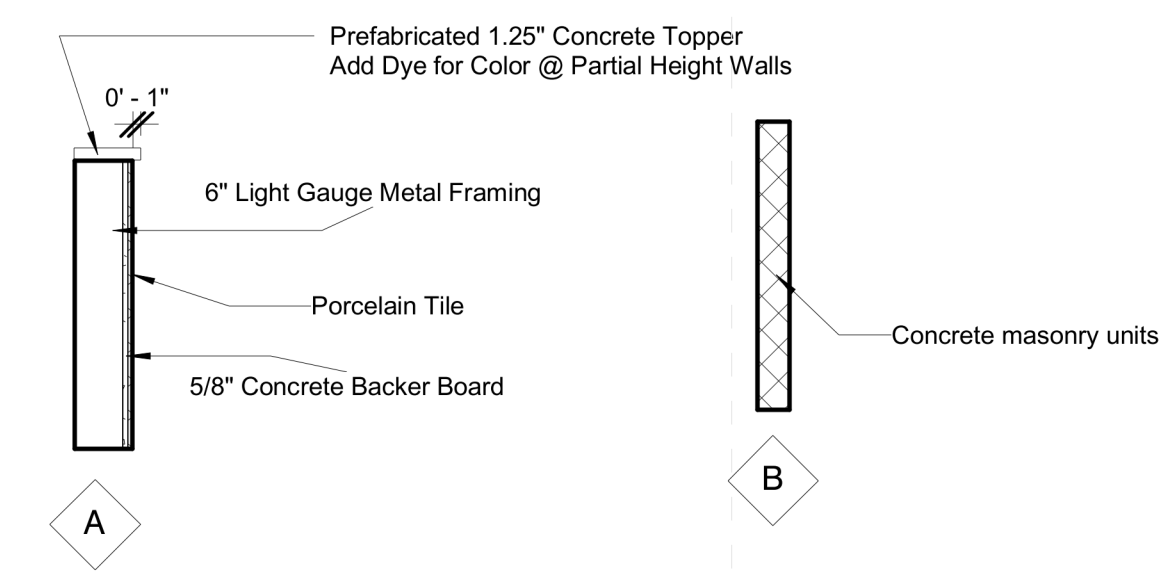
1. All flooring transitions are to occur at center line of door panel.
2. Patch tile at all floors and walls with matching material where missing or removed due to construction, unless noted otherwise.
3. New Fixture locations shall be coordinated with mechanical sheets.
4. Install new grab bars at all ADA & AMB toilets
5. Paint all exposed CMU at renovated toilets.
6. Paint all tile wainscot.
7. Clean floor grout and reseat.

Sunflower Consolidated School District ESSER 2&3 Phase I
 Lockard Elementary School: 302 College Ave., Indianola, MS 38751

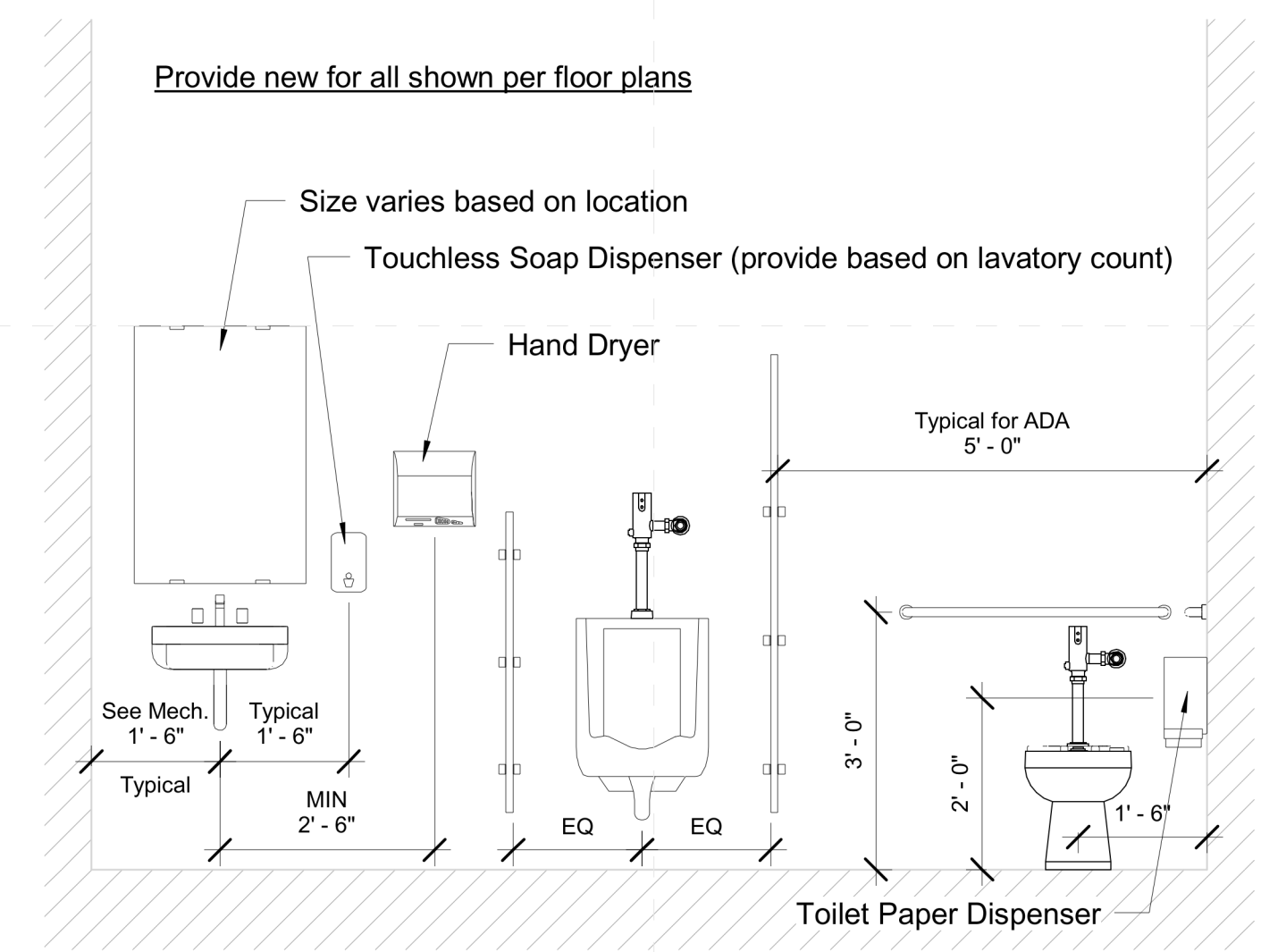
Construction Documents	
Project No	21027
Date	Issue Date
Revisions	Rev Date

All School's Specific Notes

- 02 41 19 002 Dashed lines indicated extent of demoed work
- 10 21 13.19 001 Install new toilet partitions (typical)
- 10 28 13 001 Install wall hung mirror here; center over fixture unless noted otherwise
- 10 28 13 002 Install hand dryer here; coordinate with electrical & mechanical
- 22 05 05 02 New rough plumbing; see plumbing
- 22 40 00 001 New fixtures throughout (typical); see plumbing
- 22 42 00 001 Coordinate new fixture installations with mechanical, typical for new
- 22 42 00 002 New fixtures only in this toilet room; coordinate with mechanical
- 22 42 00 003 New touchless faucet at sink/cabinet; coordinate with mechanical
- 22 47 13 001 Install double drinking fountain here; coordinate with mechanical & electrical drawings
- 22 47 13 003 Install 3 Single Drinking fountains here (center to receive bottle filler attachment); coordinate with mechanical & electrical drawings
- 22 47 13 004 Install 4 Single Drinking fountains here (every other to receive bottle filler attachment); coordinate with mechanical & electrical drawings



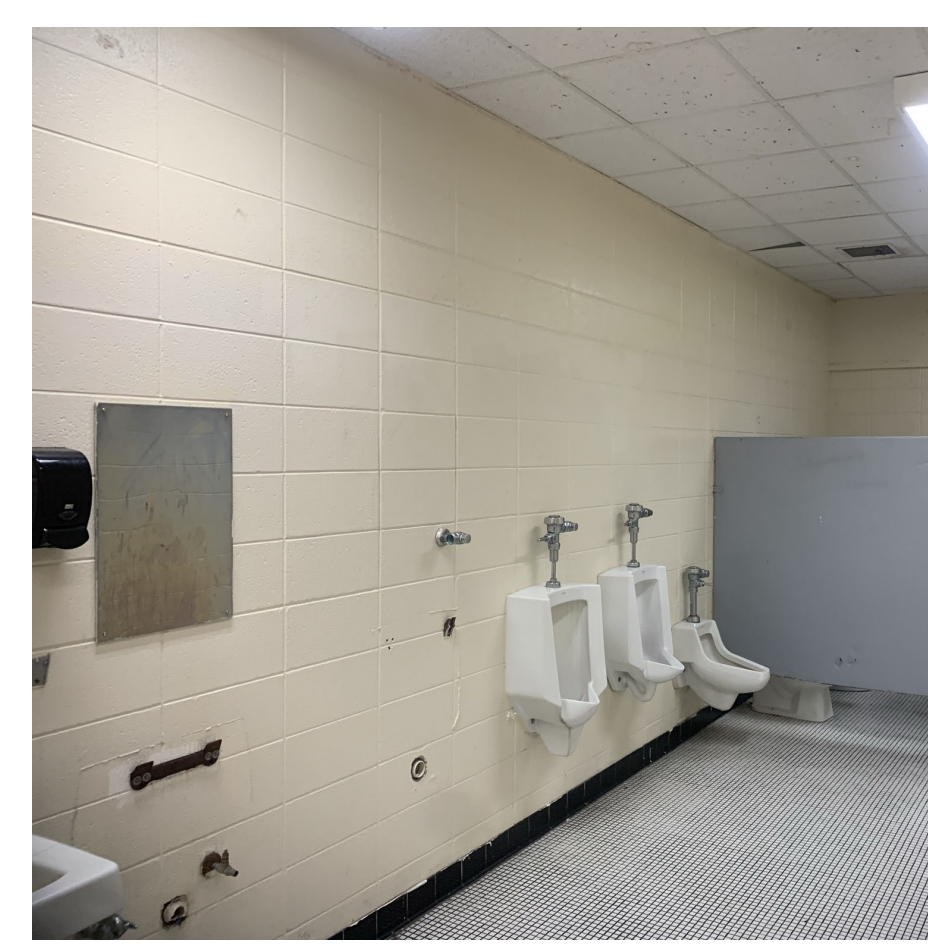
Wall Standards
1/2" = 1'-0"



1 Typical Toilet Room Wall
1/2" = 1'-0"



Front of School



Typical Toilet Room



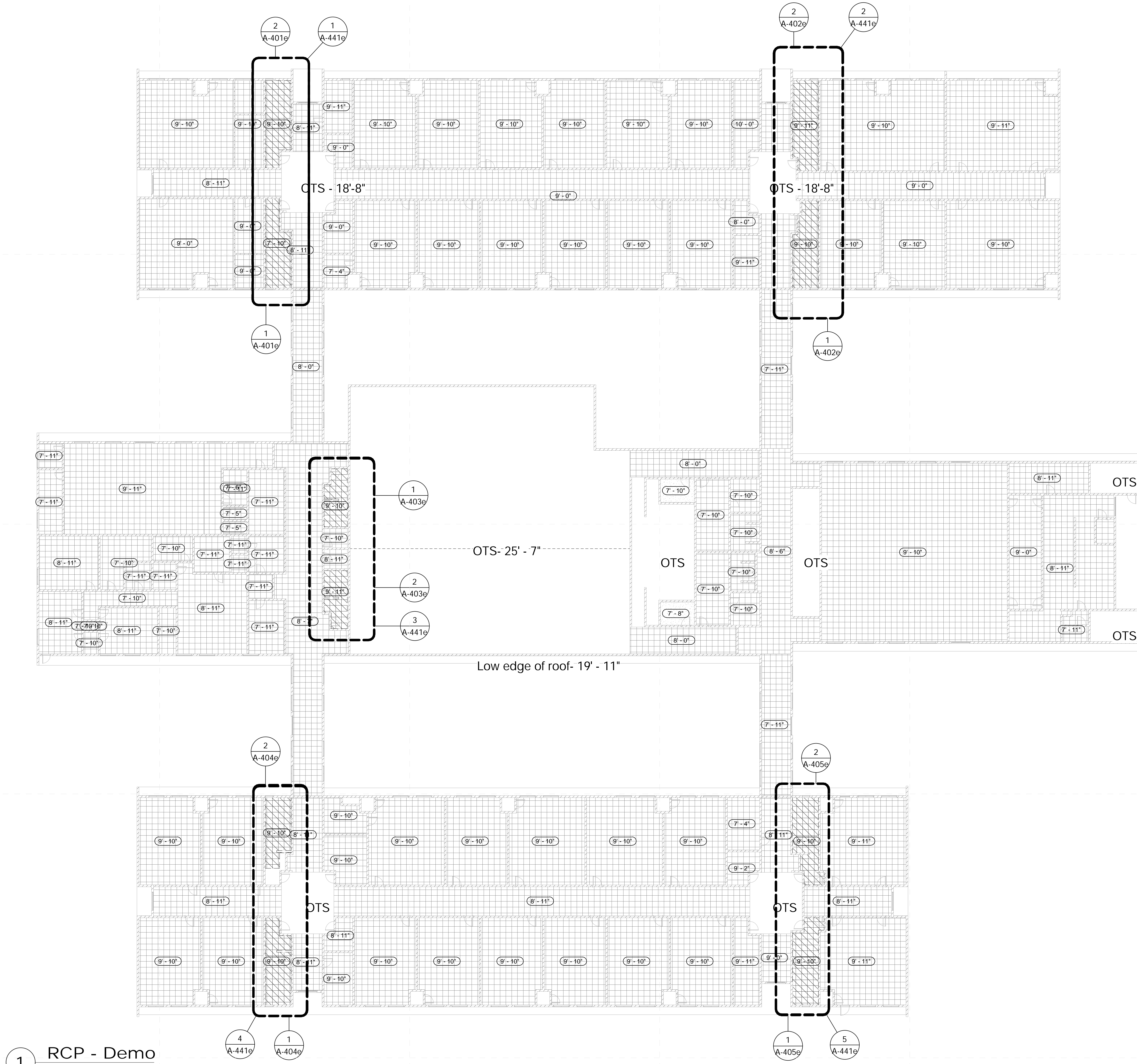
Typical Toilet Room

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161 Lameuse St. Suite 201
Biloxi, MS 39530
p 228.374.1409
dalebaileyplans.com

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Sunflower Consolidated School District ESSER 2&3 Phase I
Merritt Middle School: 705 Kinlock Rd, Indianola, MS 38751

Construction Documents
Project No 21027
Date 3 January 2018
Revisions Rev Date



1 RCP - Demo
1/16" = 1'-0"

General RCP Demolition Notes

1. Where ceiling transitions from new ceiling to existing ceiling, coordinate with Architect detail.
2. Remove existing ceiling grid & ceiling tile at all bathrooms to be renovated and all corridors, as well as any wall fasteners and/or mastics attached therein.
3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
5. Burying or Burning of materials will not be permitted on site.
6. Repair any damage caused to building construction identified to remain.
7. Refer to other discipline drawings for additional demolition information as noted.
8. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
9. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

Ceiling Legend

- Moisture Resistant Acoustical Lay In Ceiling
- Colored Acoustical Lay In Ceiling
- Vinyl Faced Acoustical Lay In Ceiling
- Gypsum Board Ceiling
- 2x2 Acoustical Lay In Ceiling
- Plaster/Stucco
- Concealed Fastener Painted Metal Soffit
- 2x2 Fluorescent Fixture
- Surface-Mounted Fluorescent Light Fixture
- Recessed Can Light Fixture
- HVAC Supply Grille
- HVAC Return Grille
- Exterior Wall Light
- Interior Wall Light
- Open to Structure (OTS)

Not For
Construction

Sunflower Consolidated School District ESSER 2&3 Phase I
Merritt Middle School: 705 Kinlock Rd, Indianola, MS 38751

Construction Documents

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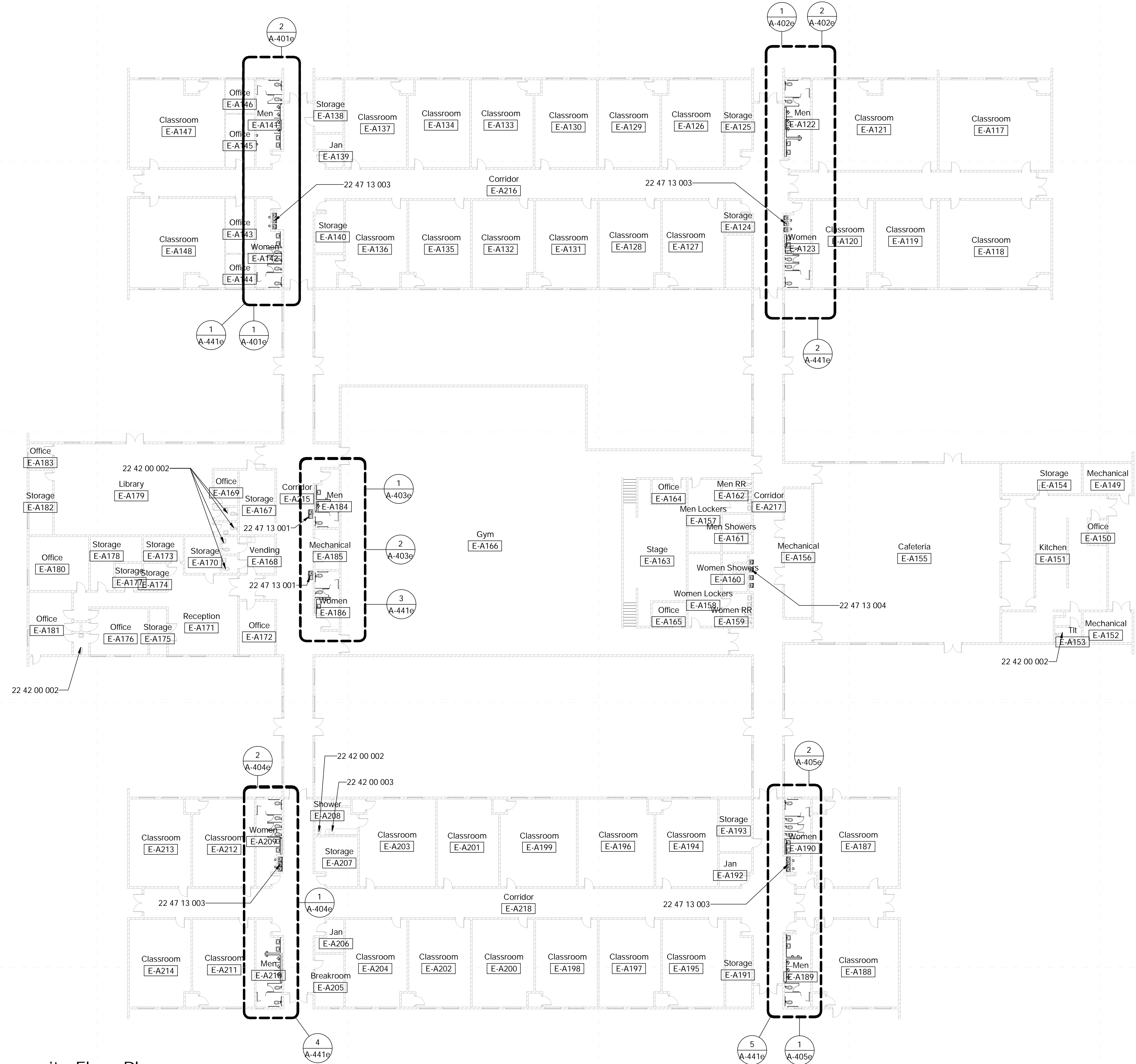
Sunflower Consolidated School District ESSER 2&3 Phase I
Merritt Middle School: 705 Kinlock Rd, Indianola, MS 38751

Construction
Documents

Project No 21027
Date 3 January 2018
Revisions Rev Date

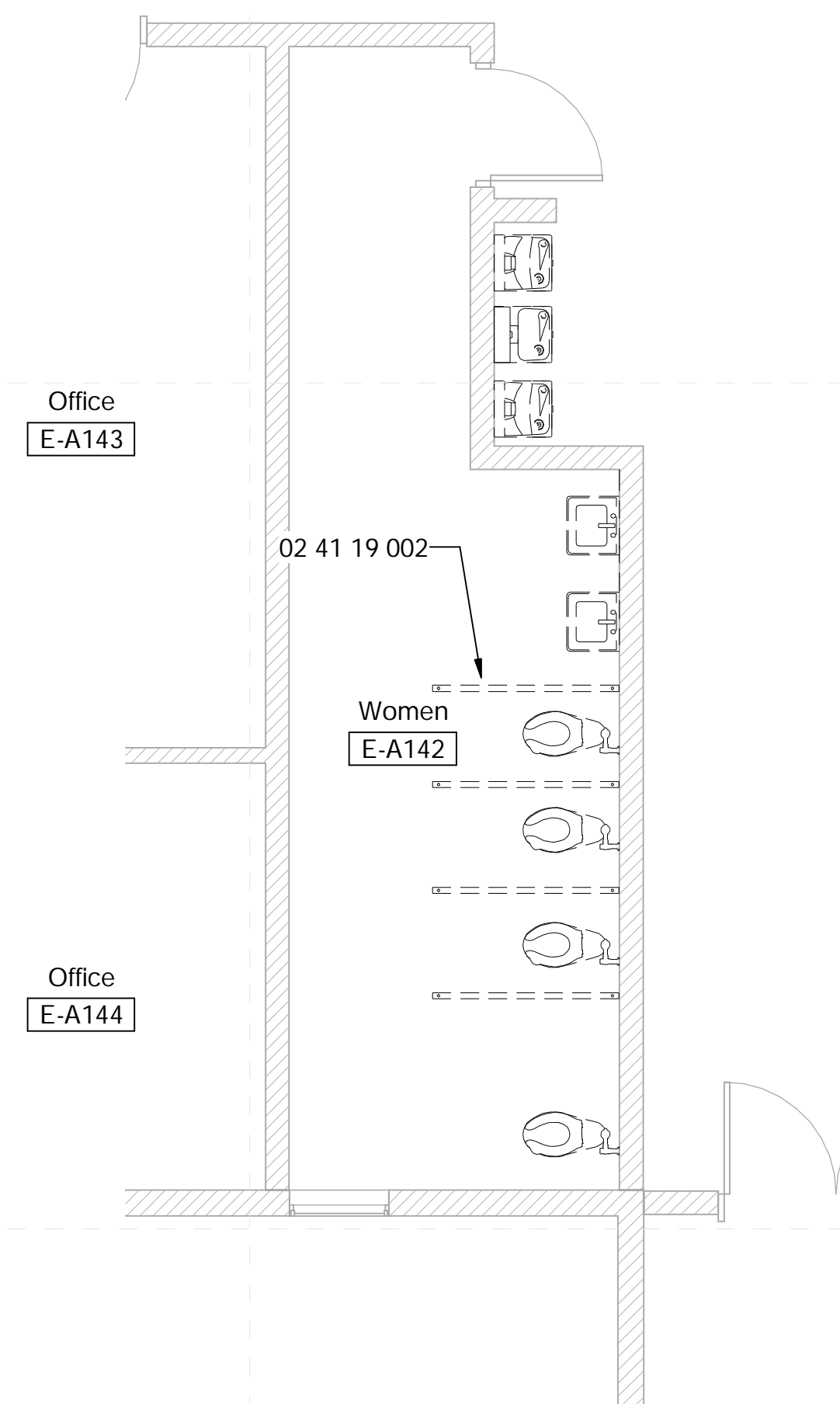
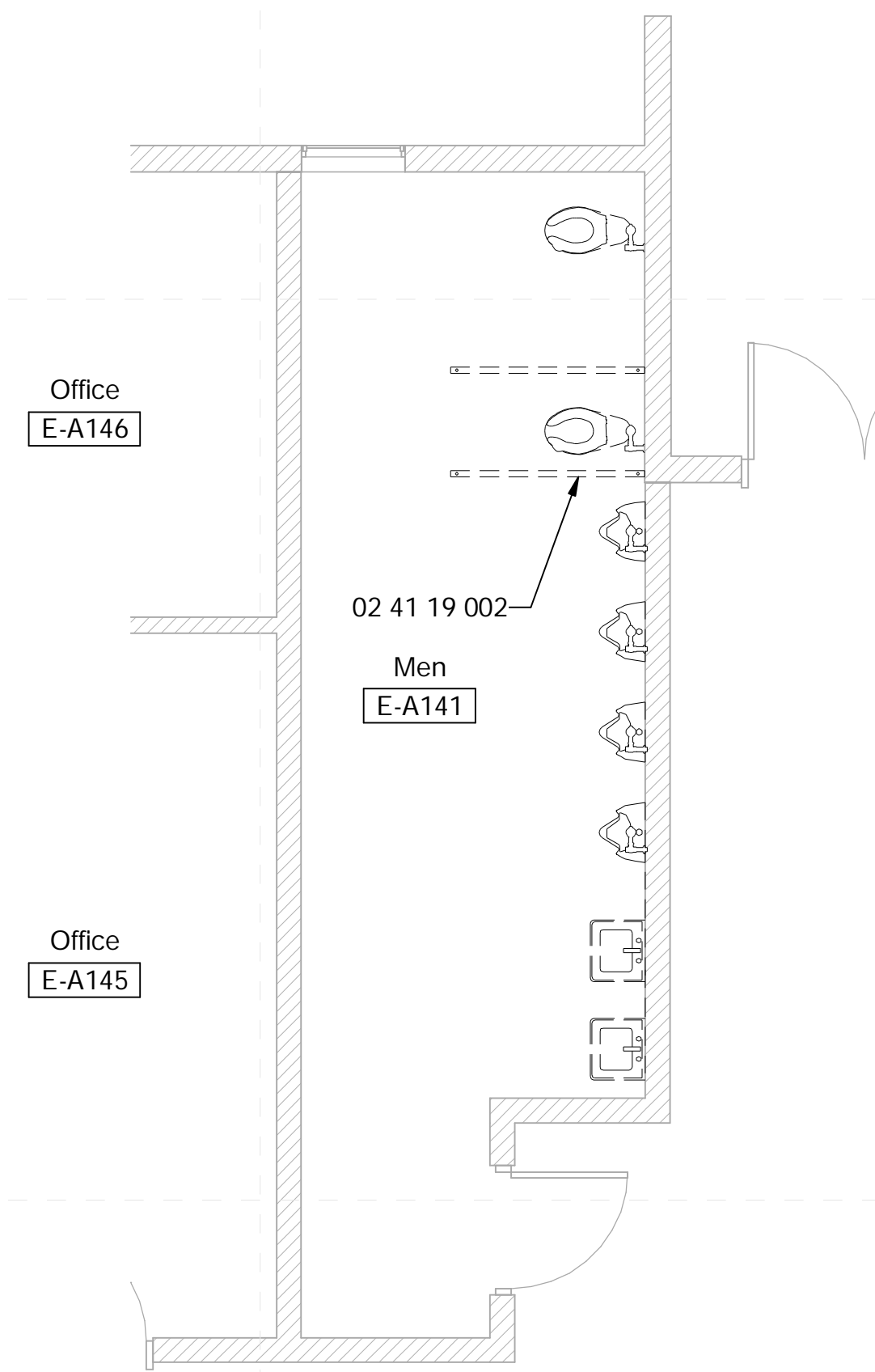
A-101e

Composite Floor Plan

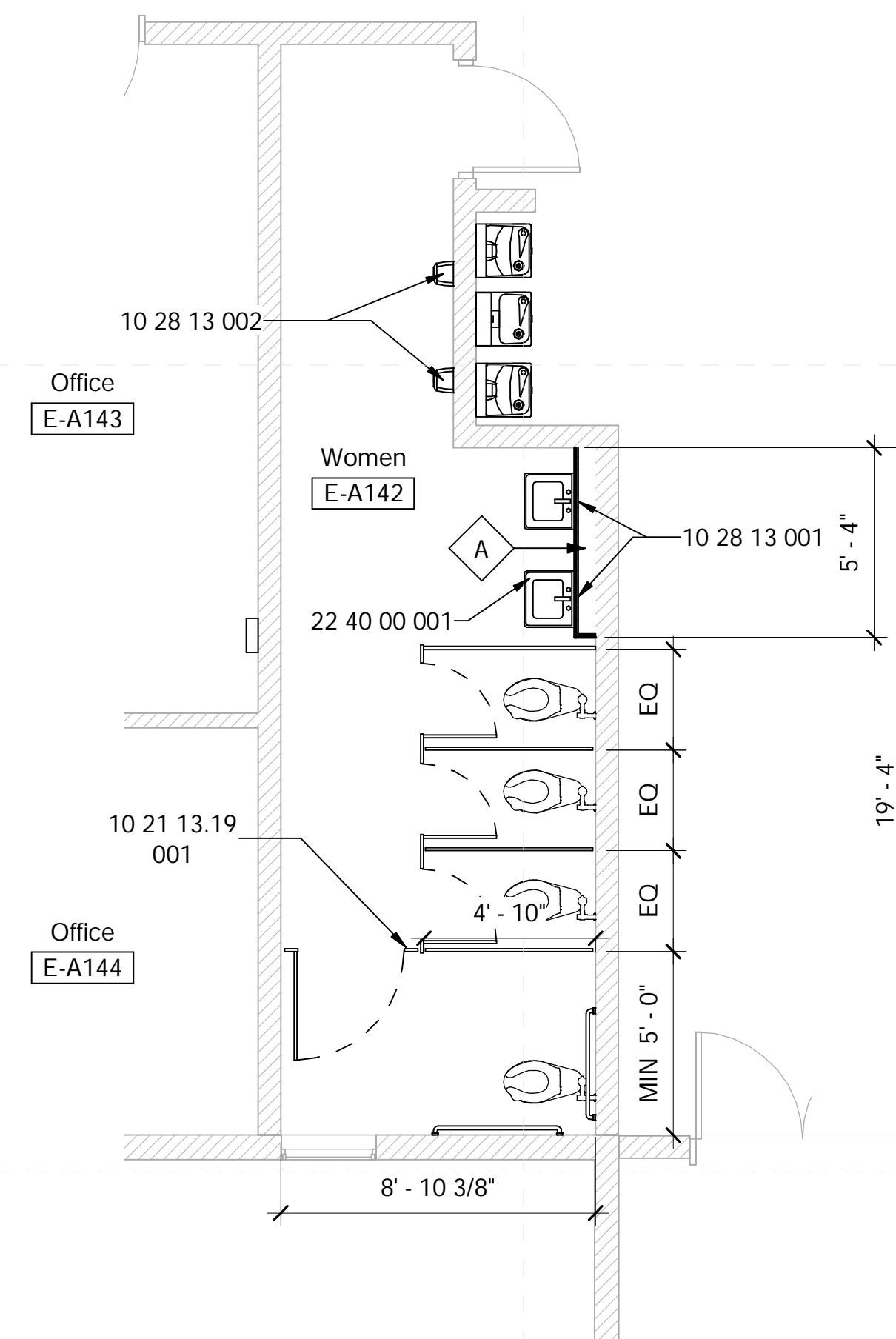
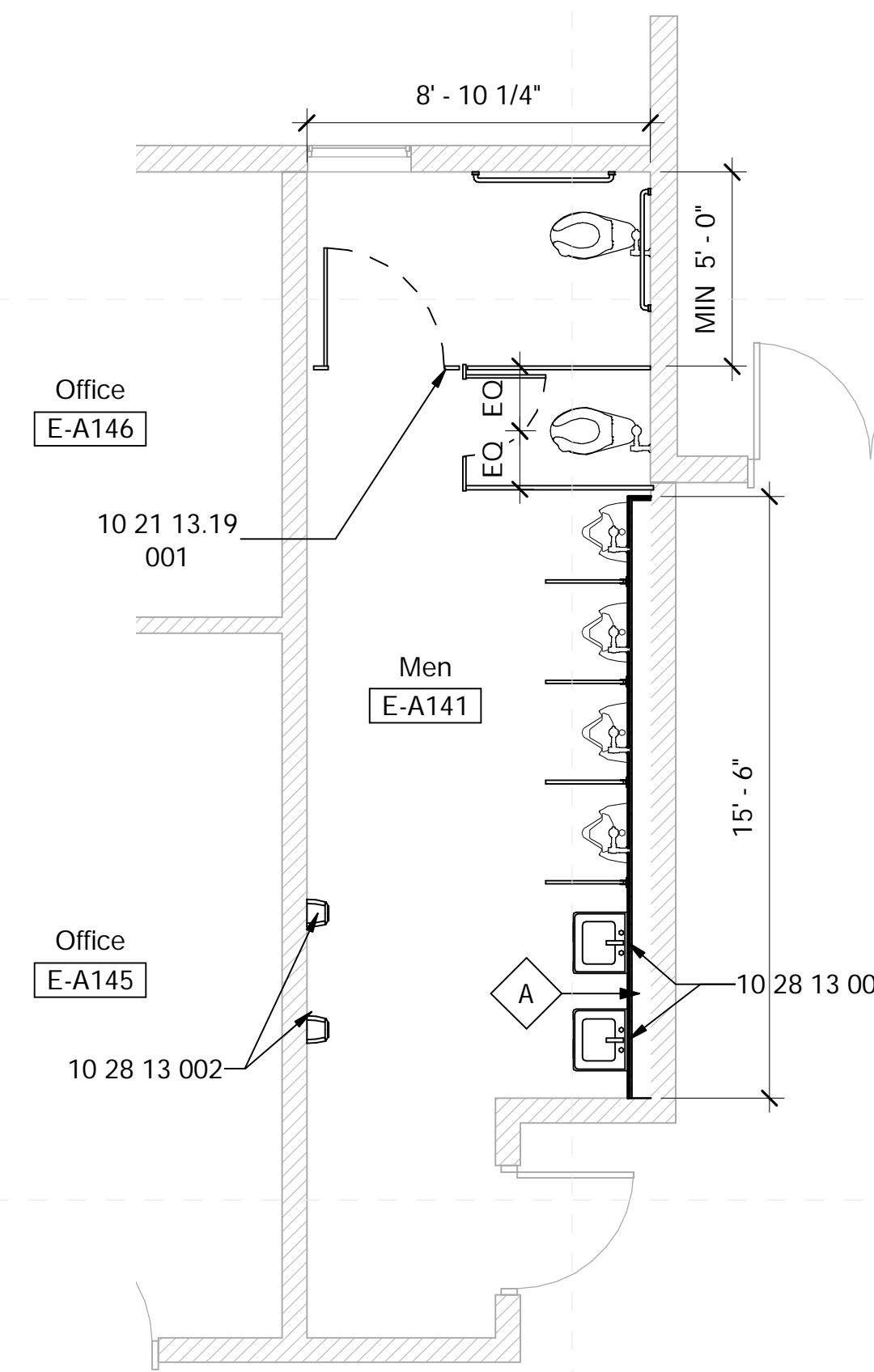


- Specific Notes**
- 22 42 00 002 New fixtures only in this toilet room: coordinate with mechanical
 - 22 42 00 003 New touchless faucet at sink/cabinet: coordinate with mechanical
 - 22 47 13 001 Install double drinking fountain here: coordinate with mechanical & electrical drawings
 - 22 47 13 003 Install 3 Single Drinking fountains here (center to receive bottle filter attachment); coordinate with mechanical & electrical drawings
 - 22 47 13 004 Install 4 Single Drinking fountains here (every other to receive bottle filter attachment); coordinate with mechanical & electrical drawings

1 Composite Floor Plan
1/16" = 1'-0"



1 Main Floor - NW Toilets - Existing
1/4" = 1'-0"



2 Main Floor - NW Toilets - New Construction
1/4" = 1'-0"

General Demolition Notes

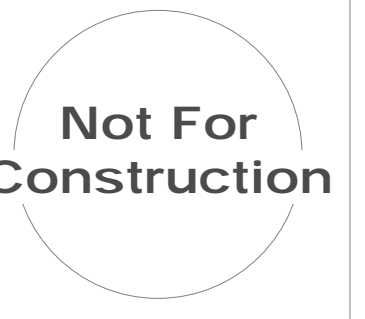
- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc., where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
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- Repair any damage caused to building construction identified to remain.
- Refer to other discipline drawings for additional demolition information as noted
- Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- Remove partitions and existing fixtures.

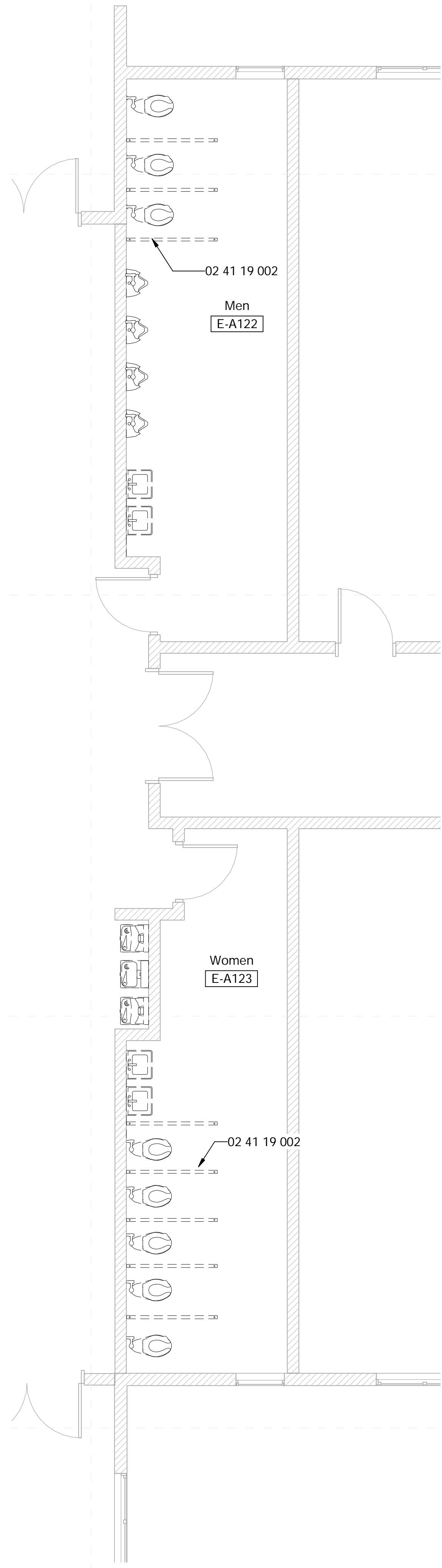
Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 40 00 001	New fixtures throughout (typical); see plumbing

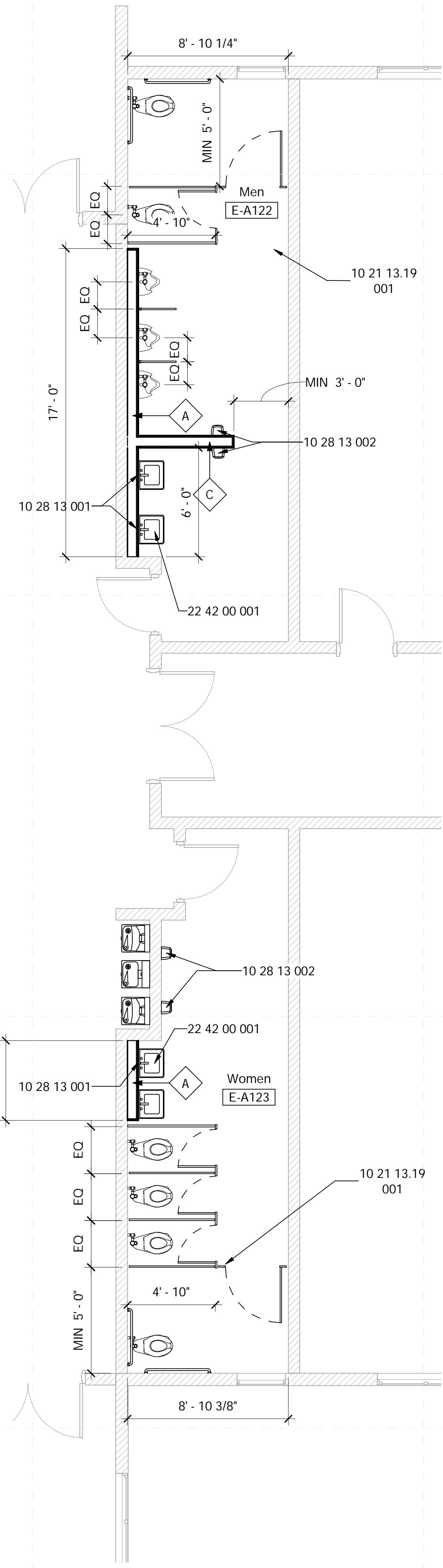
General Finish Plan Notes

- All flooring transitions are to occur at center line of door panel.
- Clean floor tile and reseal.
- New Fixture locations shall be coordinated with mechanical sheets.
- Patch and repair tiles where missing due to existing or construction.
- Install new grab bars at all ADA & AMB toilets
- Paint all Exposed CMU at bathroom interiors with epoxy paint.





1 Main Floor - NE Toilets - Existing
1/4" = 1'-0"



2 Main Floor - NE Toilets - New Construction
1/4" = 1'-0"

General Demolition Notes

- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc., where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
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- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- Remove partitions and existing fixtures.

Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

General Finish Plan Notes

- All flooring transitions are to occur at center line of door panel.
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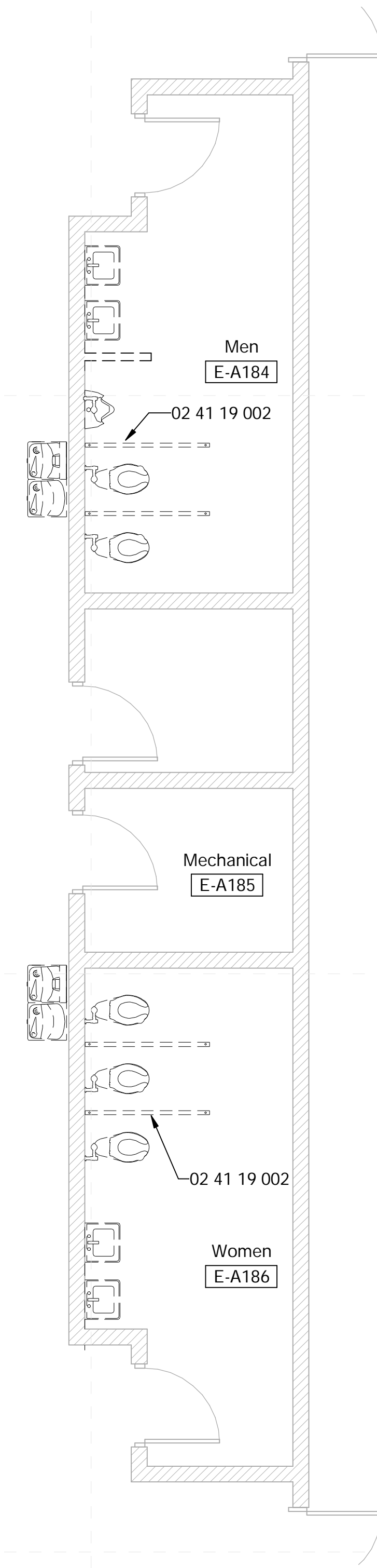
dalebaileyplans.com

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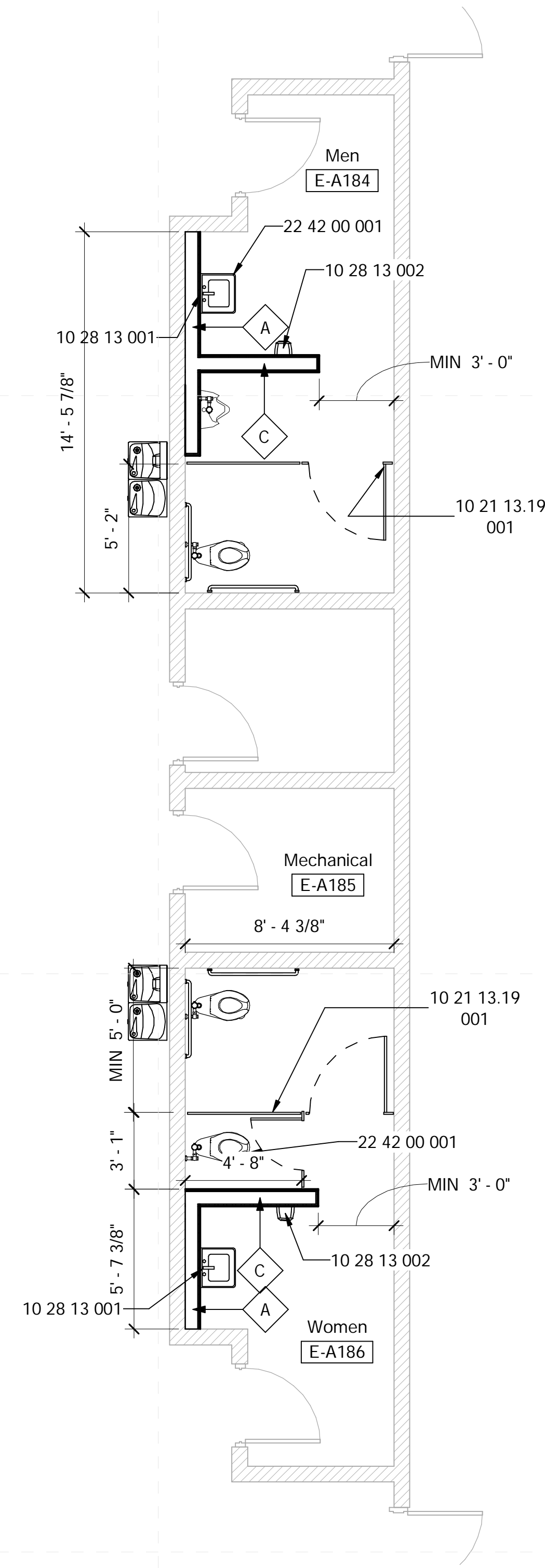
Sunflower Consolidated School District ESSER 2&3 Phase I
Merritt Middle School: 705 Kinlock Rd, Indianola, MS 38751

Construction Documents

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Date	3 January 2018
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1 Main Floor - W Toilets - Existing
1/4" = 1'-0"



2 Main Floor - W Toilets - New Construction
1/4" = 1'-0"

General Demolition Notes

- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc., where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
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- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- Remove partitions and existing fixtures.

Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

General Finish Plan Notes

- All flooring transitions are to occur at center line of door panel.
- Clean floor tile and reseal.
- New Fixture locations shall be coordinated with mechanical sheets.
- Patch and repair tiles where missing due to existing or construction.
- Install new grab bars at all ADA & AMB toilets
- Paint all Exposed CMU at bathroom interiors with epoxy paint.

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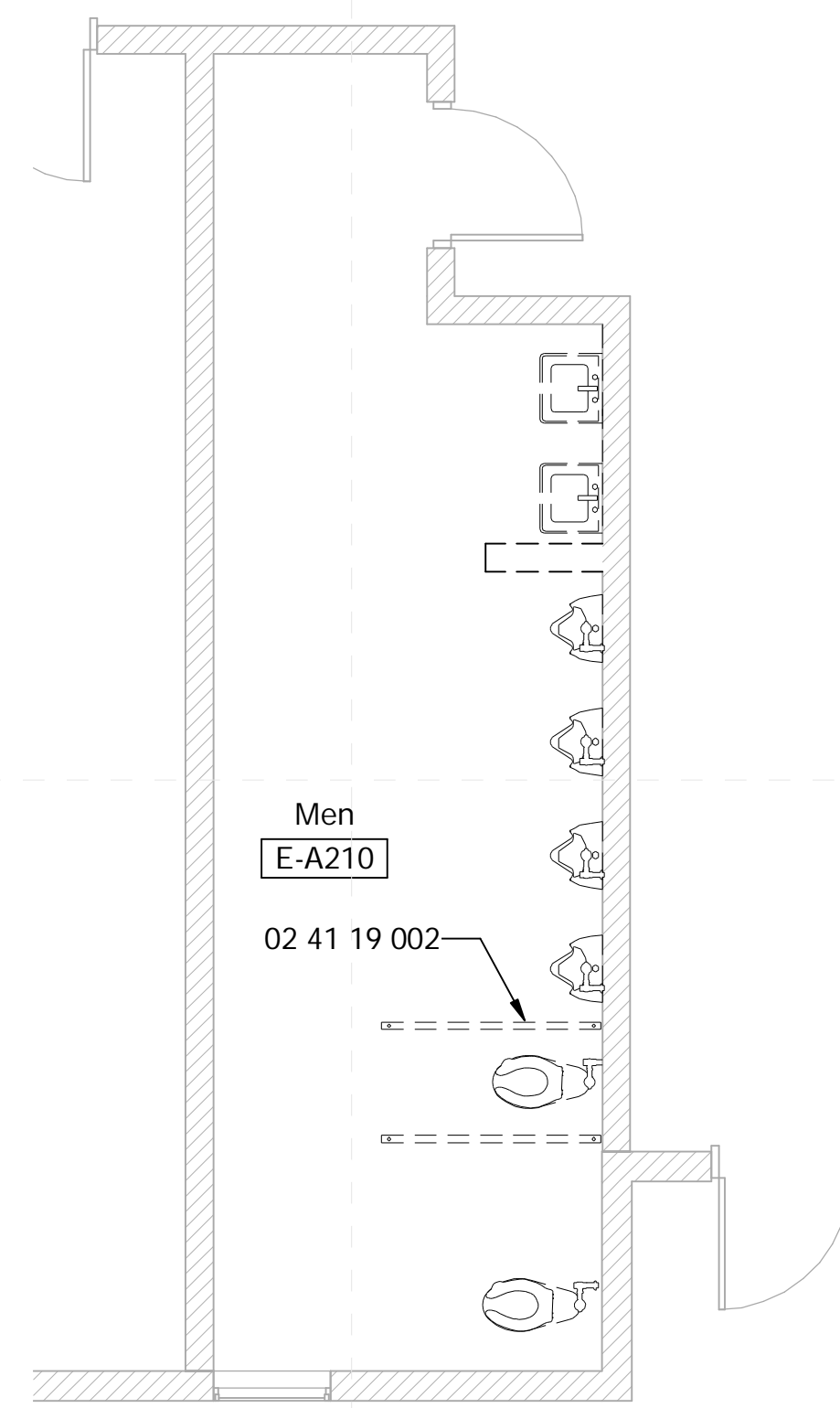
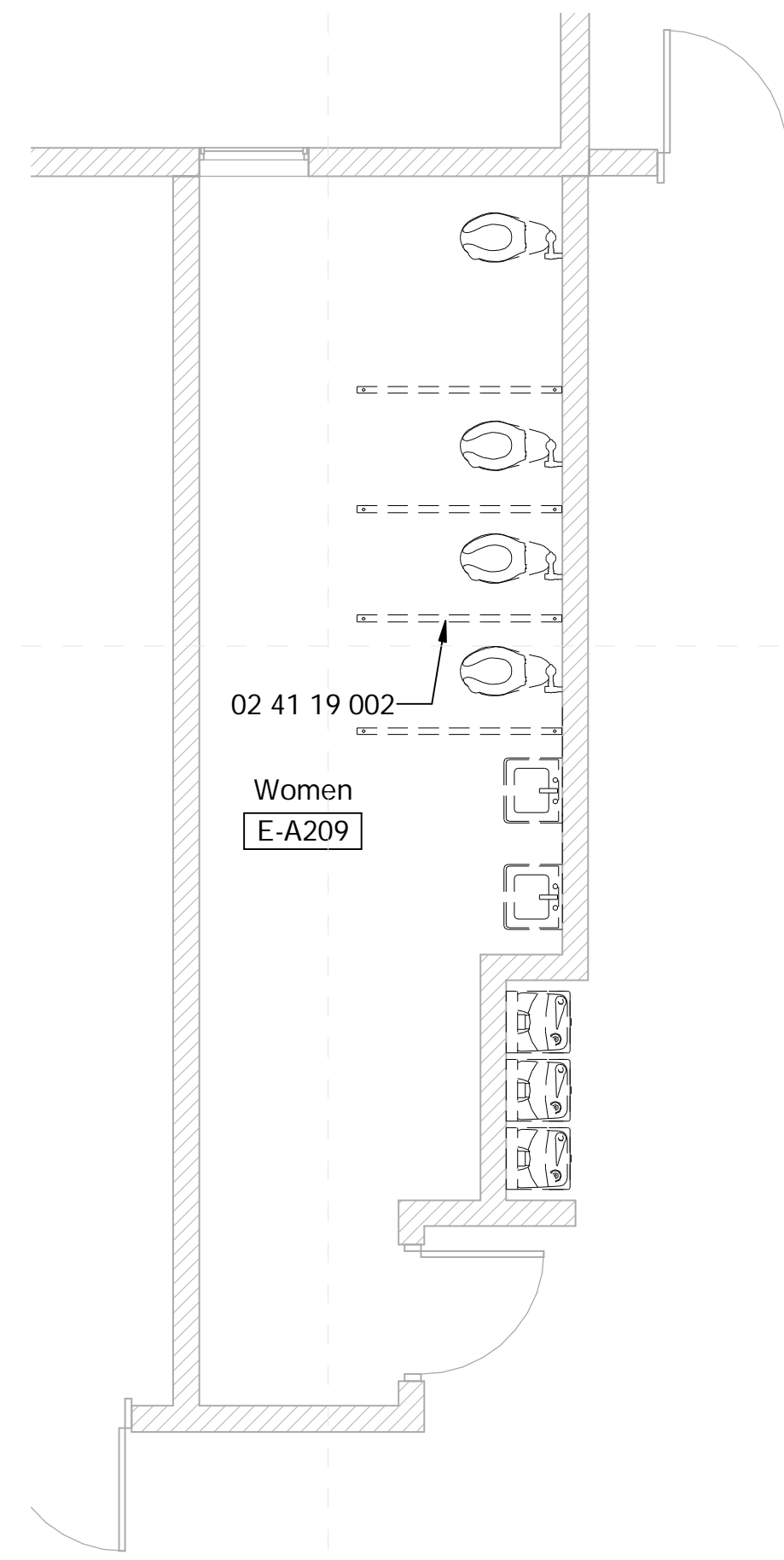
dalebaileyplans.com

Not For Construction

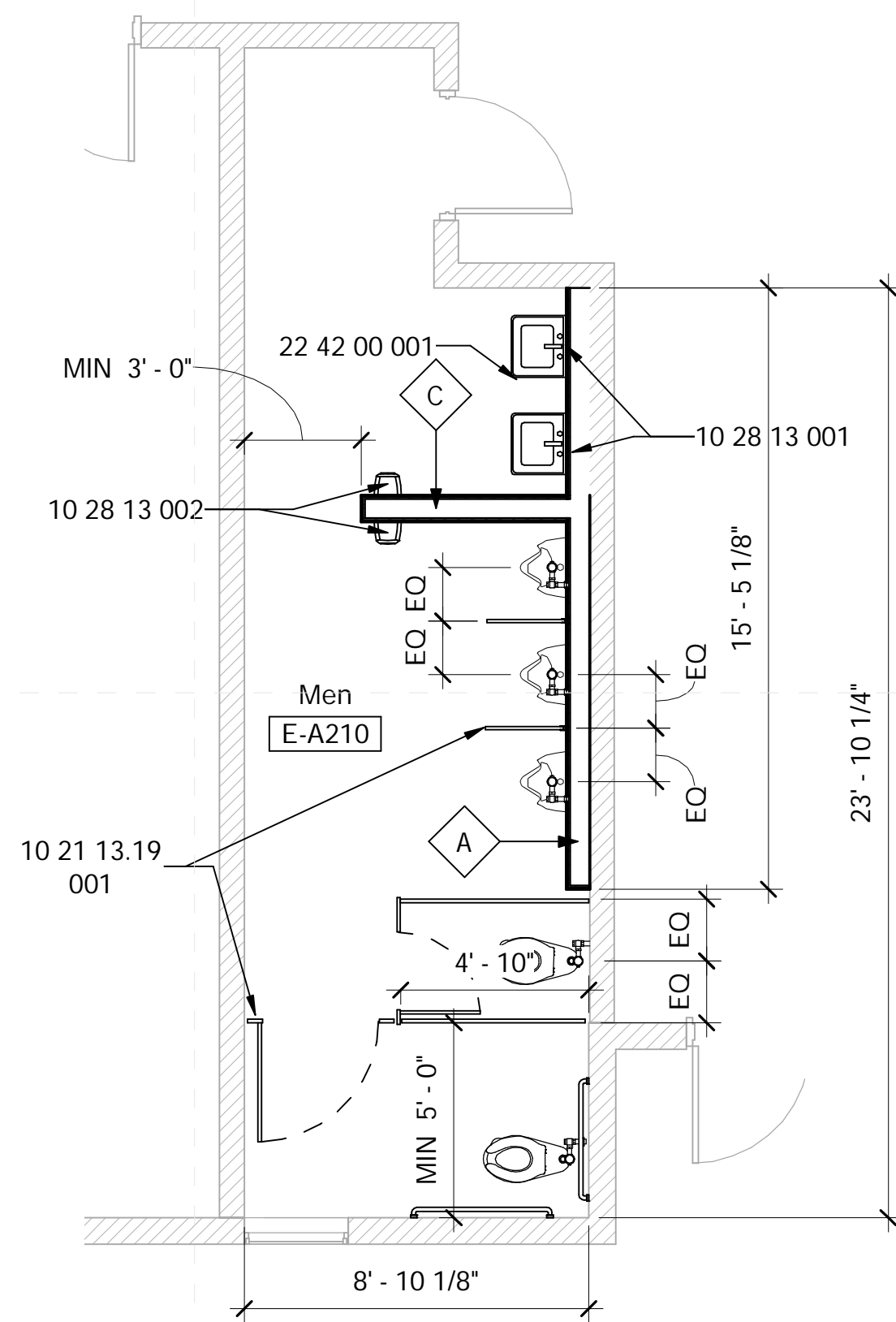
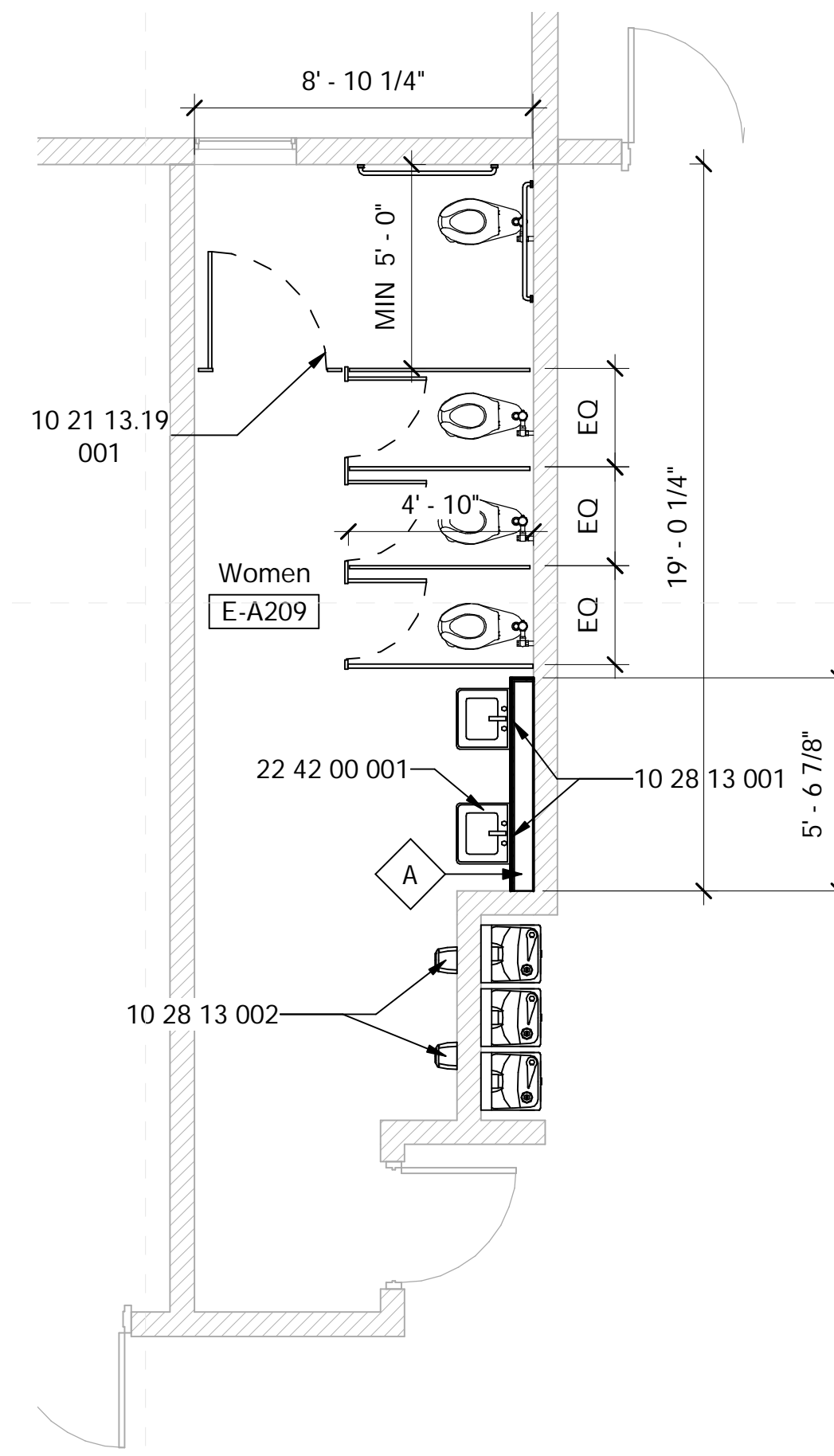
Sunflower Consolidated School District ESSER 2&3 Phase I
Merritt Middle School: 705 Kinlock Rd, Indianola, MS 38751

Construction Documents

Project No	21027
Date	3 January 2018
Revisions	Rev Date



1 Main Floor - SW Toilets - Existing
1/4" = 1'-0"



2 Main Floor - SW Toilets - New Construction
1/4" = 1'-0"

General Demolition Notes

- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc., where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
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- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- Remove partitions and existing fixtures.

Specific Notes

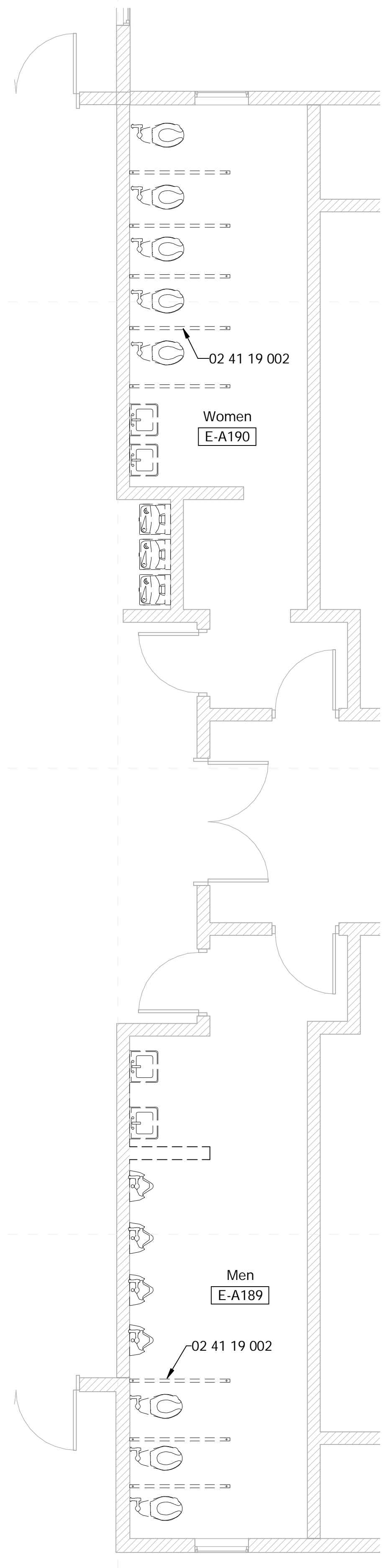
02 41 19 002	Dashed lines indicated extent of demoed work
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here: center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here: coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

General Finish Plan Notes

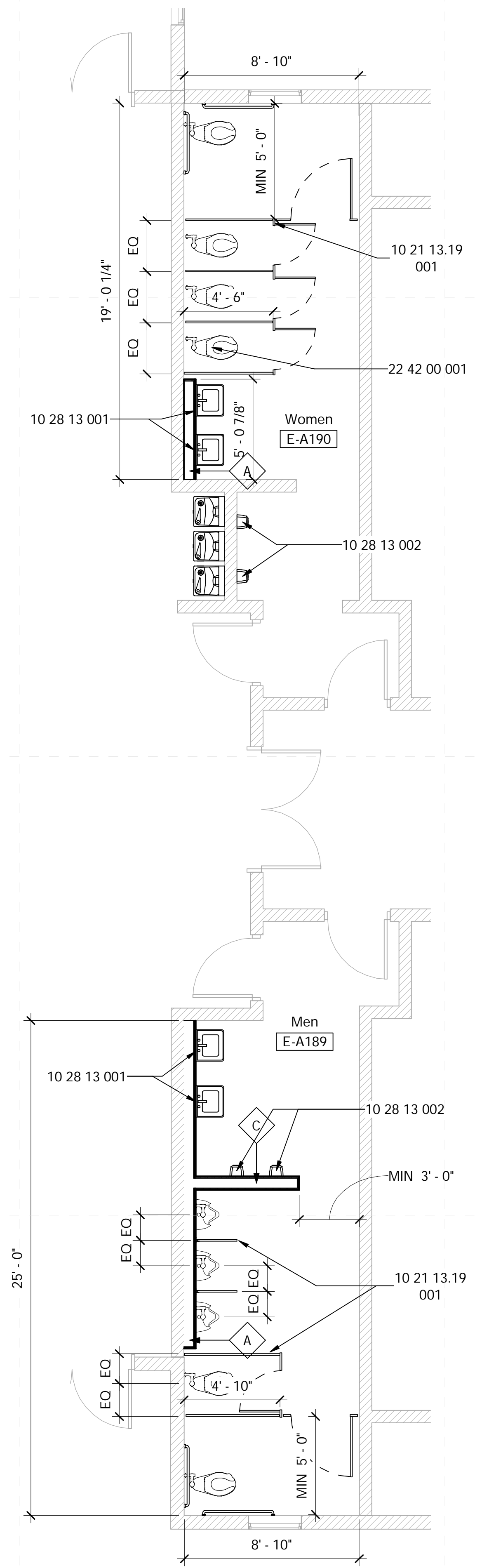
- All flooring transitions are to occur at center line of door panel.
- Clean floor tile and reseal.
- New Fixture locations shall be coordinated with mechanical sheets.
- Patch and repair tiles where missing due to existing or construction.
- Install new grab bars at all ADA & AMB toilets
- Paint all Exposed CMU at bathroom interiors with epoxy paint.



1 Main Floor - SE Toilets - Existing
1/4" = 1'-0"



2 Main Floor - SE Toilets - New Construction
1/4" = 1'-0"



General Demolition Notes

- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
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- Remove partitions and existing fixtures.

Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

General Finish Plan Notes

- All flooring transitions are to occur at center line of door panel.
- Clean floor tile and reseat.
- New Fixture locations shall be coordinated with mechanical sheets.
- Patch and repair tiles where missing due to existing or construction.
- Install new grab bars at all ADA & AMB toilets
- Paint all Exposed CMU at bathroom interiors with epoxy paint.

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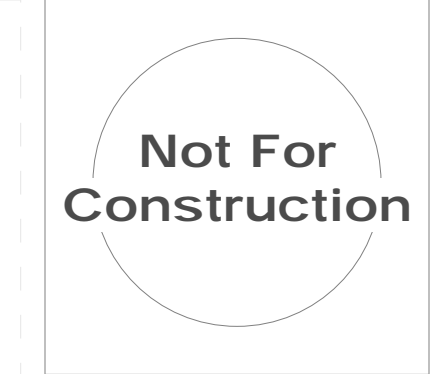
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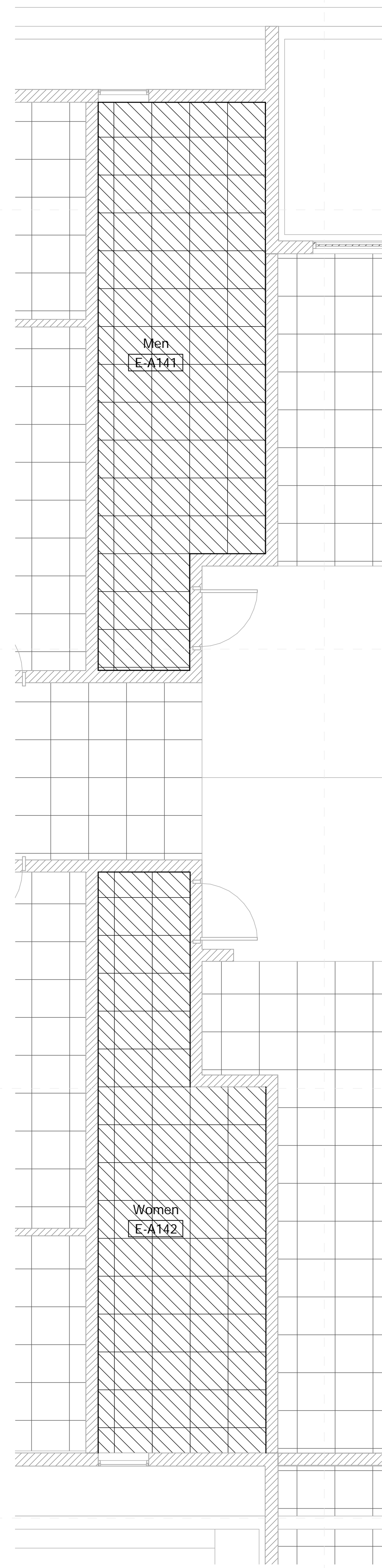
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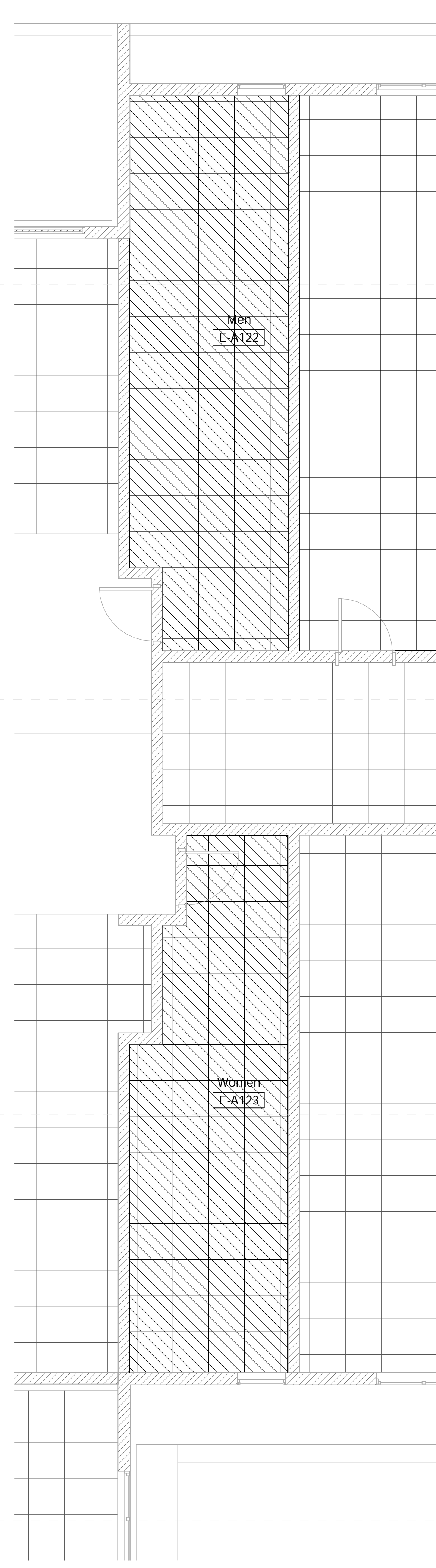
Sunflower Consolidated School District ESSER 2&3 Phase I
Merritt Middle School: 705 Kinlock Rd, Indianola, MS 38751

Construction Documents

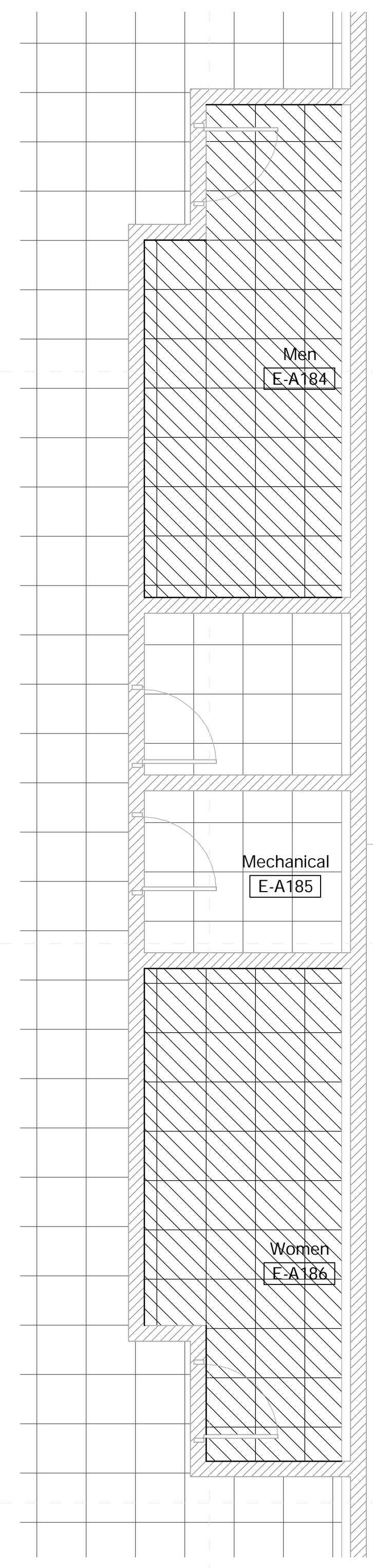
Project No	21027
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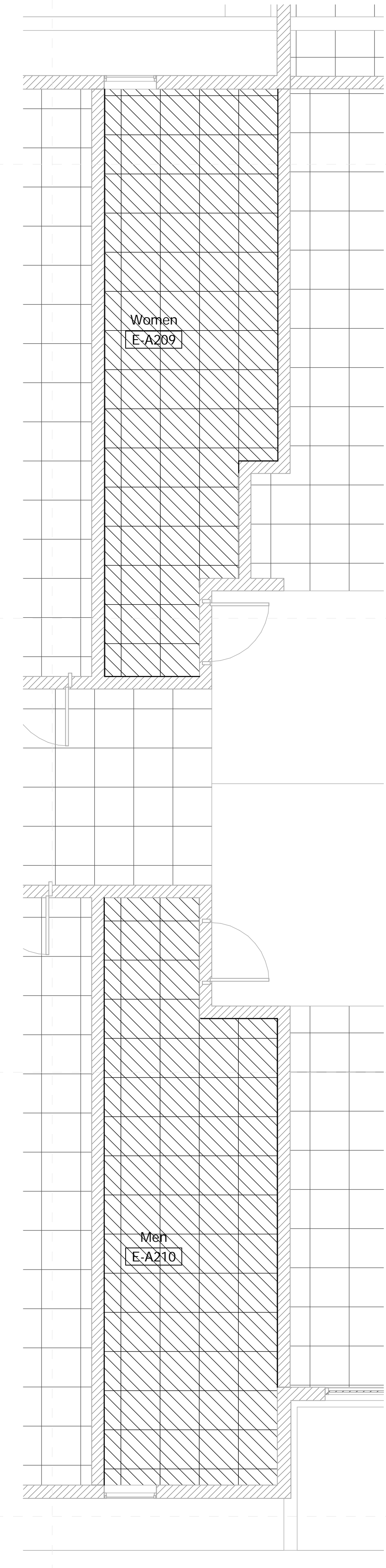
1 RCP - NW Toilets - NC
1/4" = 1'-0"



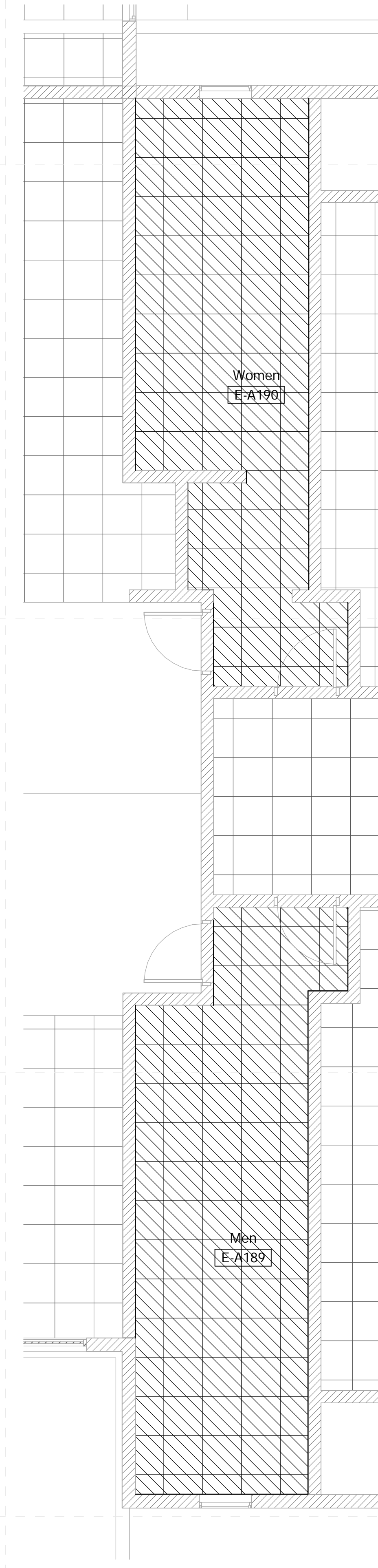
2 RCP - NE Toilets - NC
1/4" = 1'-0"



3 RCP - W Toilets - NC
1/4" = 1'-0"



4 RCP - SW Toilets - NC
1/4" = 1'-0"



5 RCP - SE Toilets - NC
1/4" = 1'-0"

General RCP Notes

- All ceiling heights shall be same as existing or lower, unless noted otherwise.
- Repair/replace any and all ceiling damaged due to construction activities.
- Bent ceiling grid damaged due to construction activities shall be replaced or bent to appear as new in shape.
- Install new Vinyl Ceiling Tile @ Renovated Toilet Rooms.
- Install new 2x2 Layin Ceiling at all Corridors.

Ceiling Legend

- Moisture Resistant Acoustical Lay In Ceiling
- Colored Acoustical Lay In Ceiling
- Vinyl Faced Acoustical Lay In Ceiling
- Gypsum Board Ceiling
- 2x2 Acoustical Lay In Ceiling
- Plaster/Stucco
- Concealed Fastender Painted Metal Soffit
- 2x2 Fluorescent Fixture
- Surface-Mounted Fluorescent Light Fixture
- Recessed Can Light Fixture
- HVAC Supply Grille
- HVAC Return Grille
- Exterior Wall Light
- Interior Wall Light
- Open to Structure (OTS)

Not For Construction

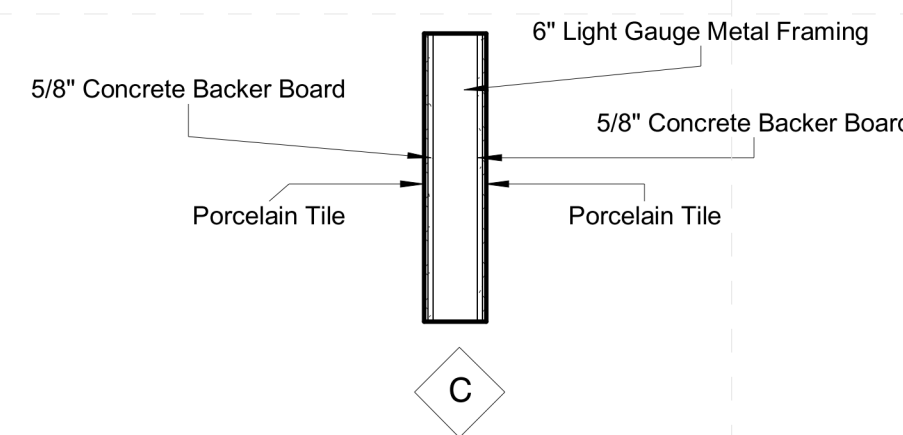
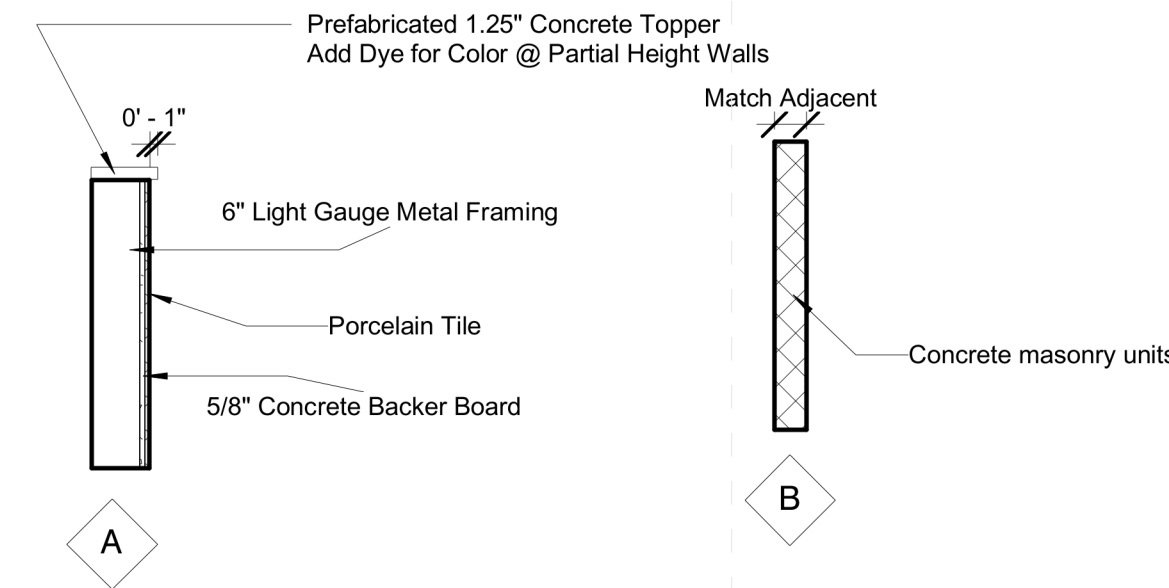
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Merritt Middle School: 705 Kinlock Rd, Indianola, MS 38751

Construction Documents

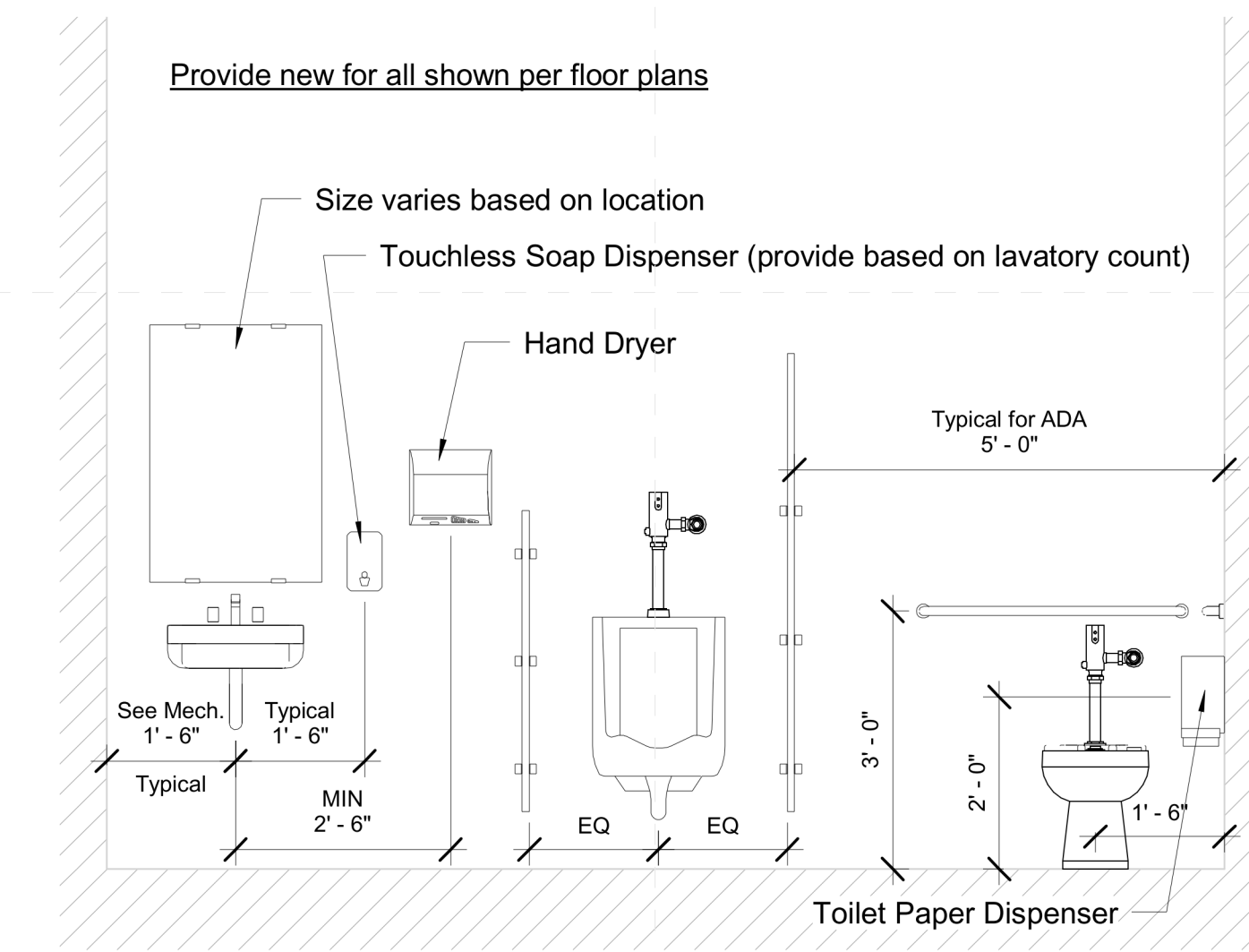
Project No 21027
 Date 3 January 2018
 Revisions Rev Date

All School's Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 010	Repair demoed to remain with like material
08 71 00 001	Replace all door hardware with new at existing leaf
09 30 13 001	Install new floor tile; slope to floor drain is drain provided
09 30 13 004	Prep surface for new tile install; contractor shall be responsible for issues concerning lack of adhesion between mortar and substrates as well as levelness of finished tile
09 30 13 005	Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
09 51 23 002	Install ATC as wall from ceiling level up to roof/floor deck
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new
22 42 00 002	New fixtures only in this toilet room; coordinate with mechanical
22 47 13 001	Install double drinking fountain here; coordinate with mechanical & electrical drawings
22 47 13 002	Install single drinking fountain here with bottle filler attachment; coordinate with mechanical & electrical drawings



Wall Standards
1/2" = 1'-0"



1 Typical Toilet Room Wall
1/2" = 1'-0"



Front of School



Boys 49



Girls 50



Boys 57



Girls 59



Boys 86



Girls 85

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Not For Construction

Sunflower Consolidated School District ESSER 2&3 Phase I
Ruleville Elementary School: 410 L F Packer Dr. Ruleville, MS 38771

Construction Documents

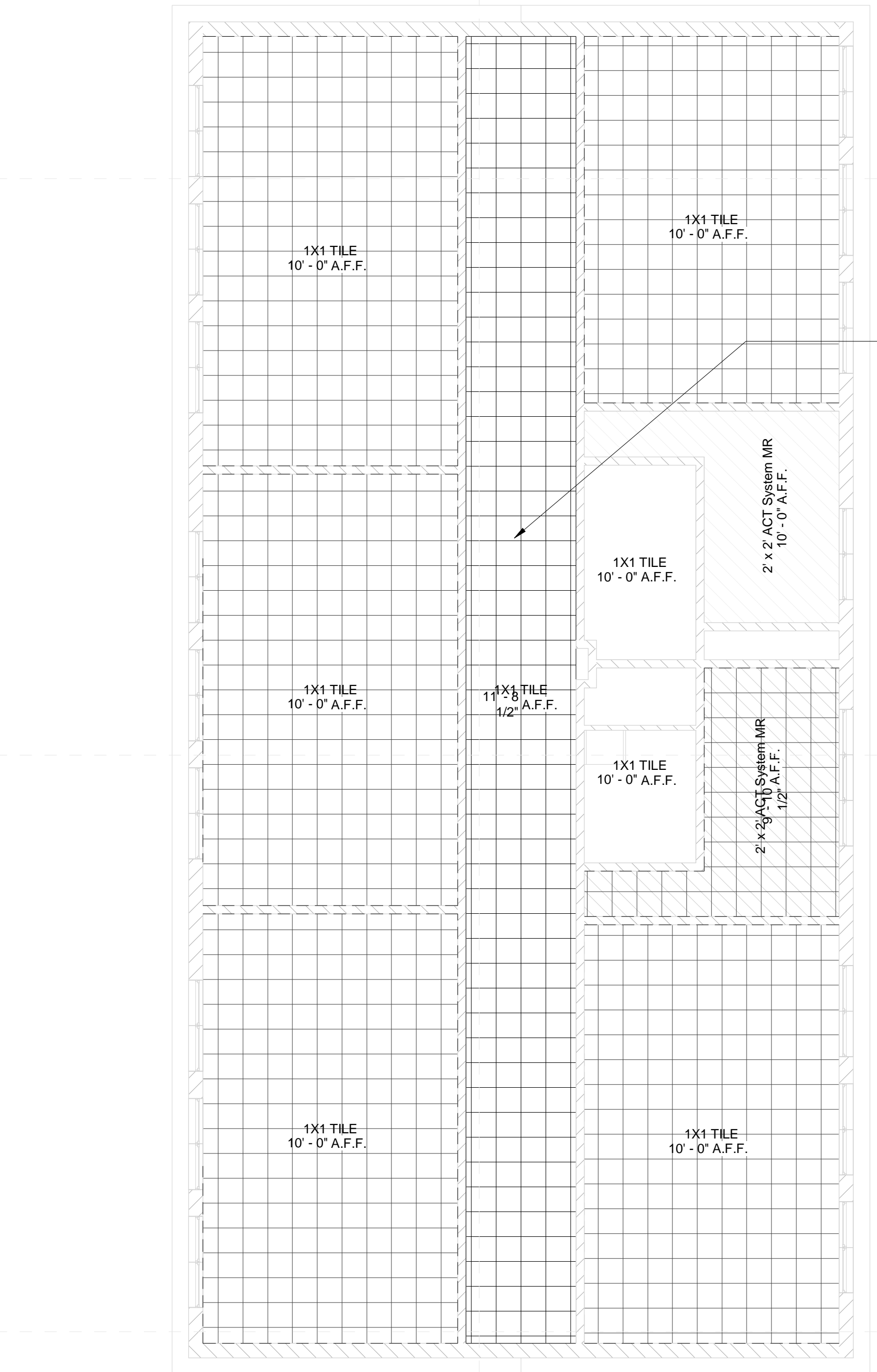
Project No	21027
Date	Issue Date
Revisions	Rev Date

General RCP Demolition Notes

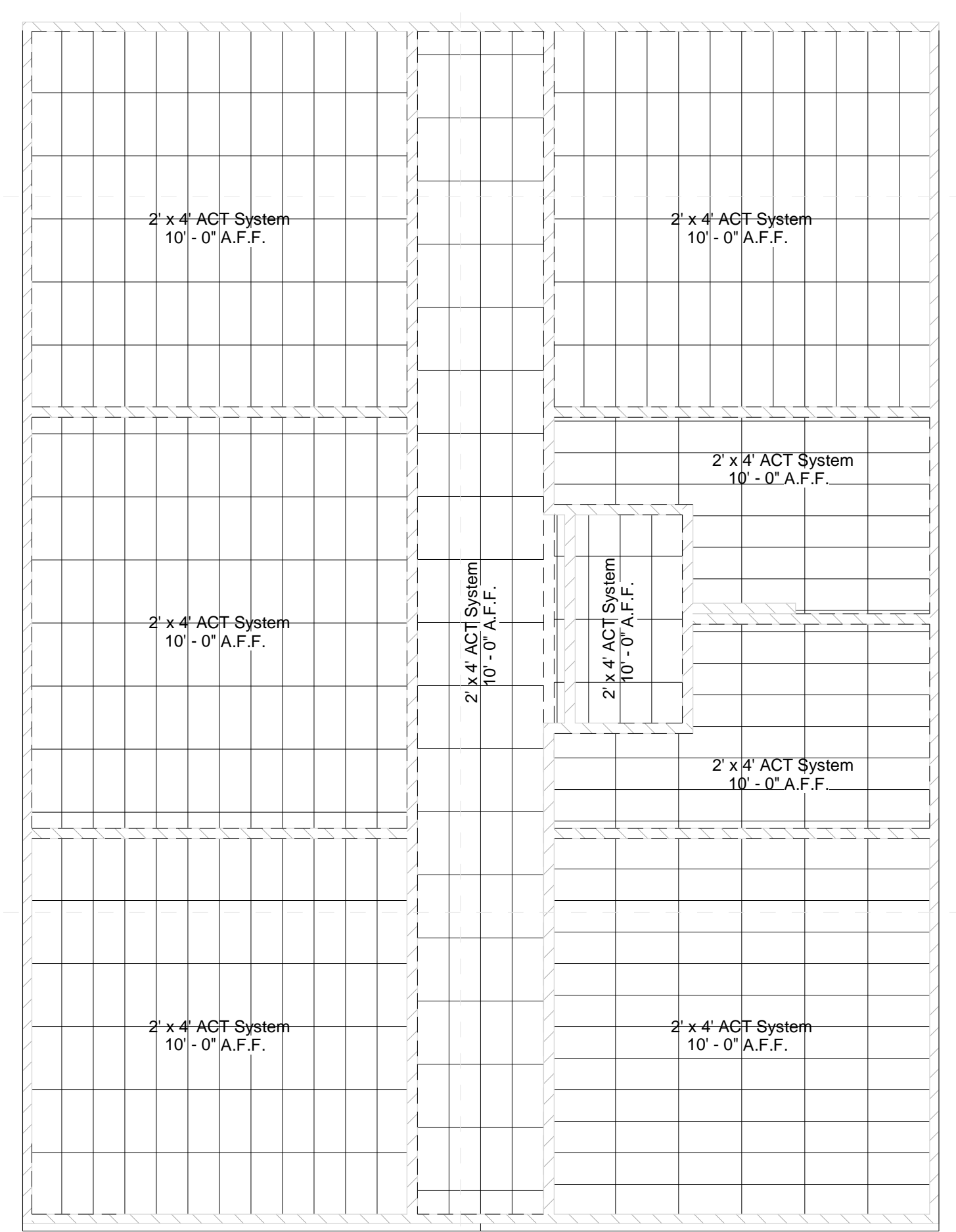
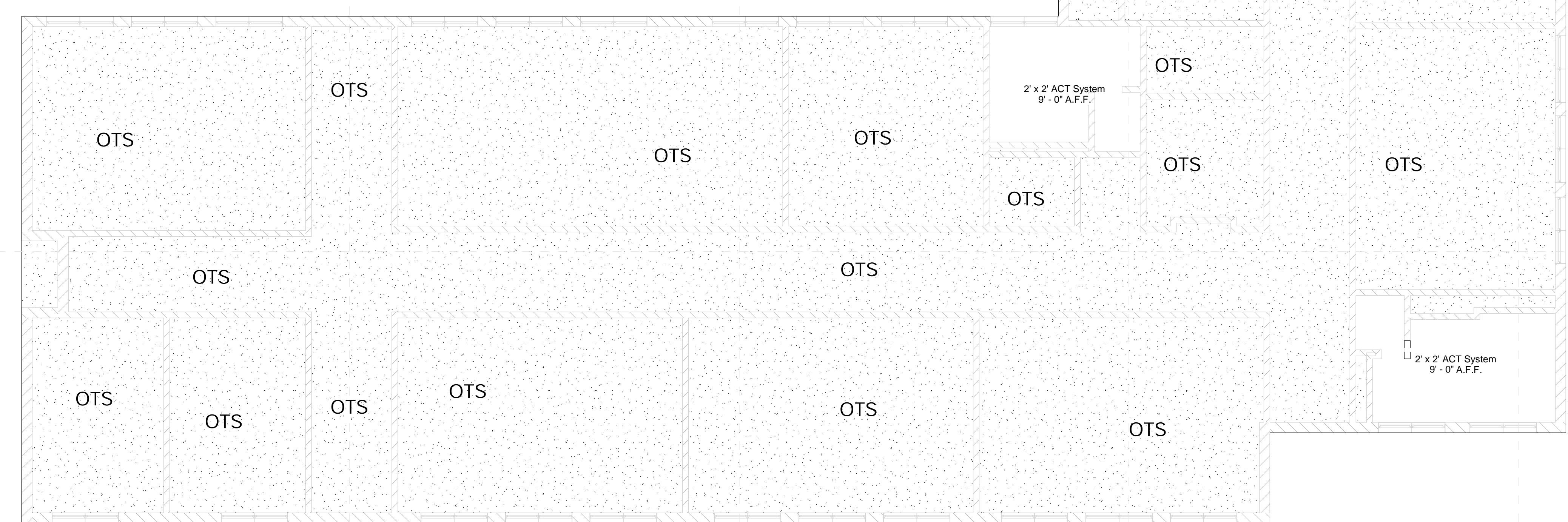
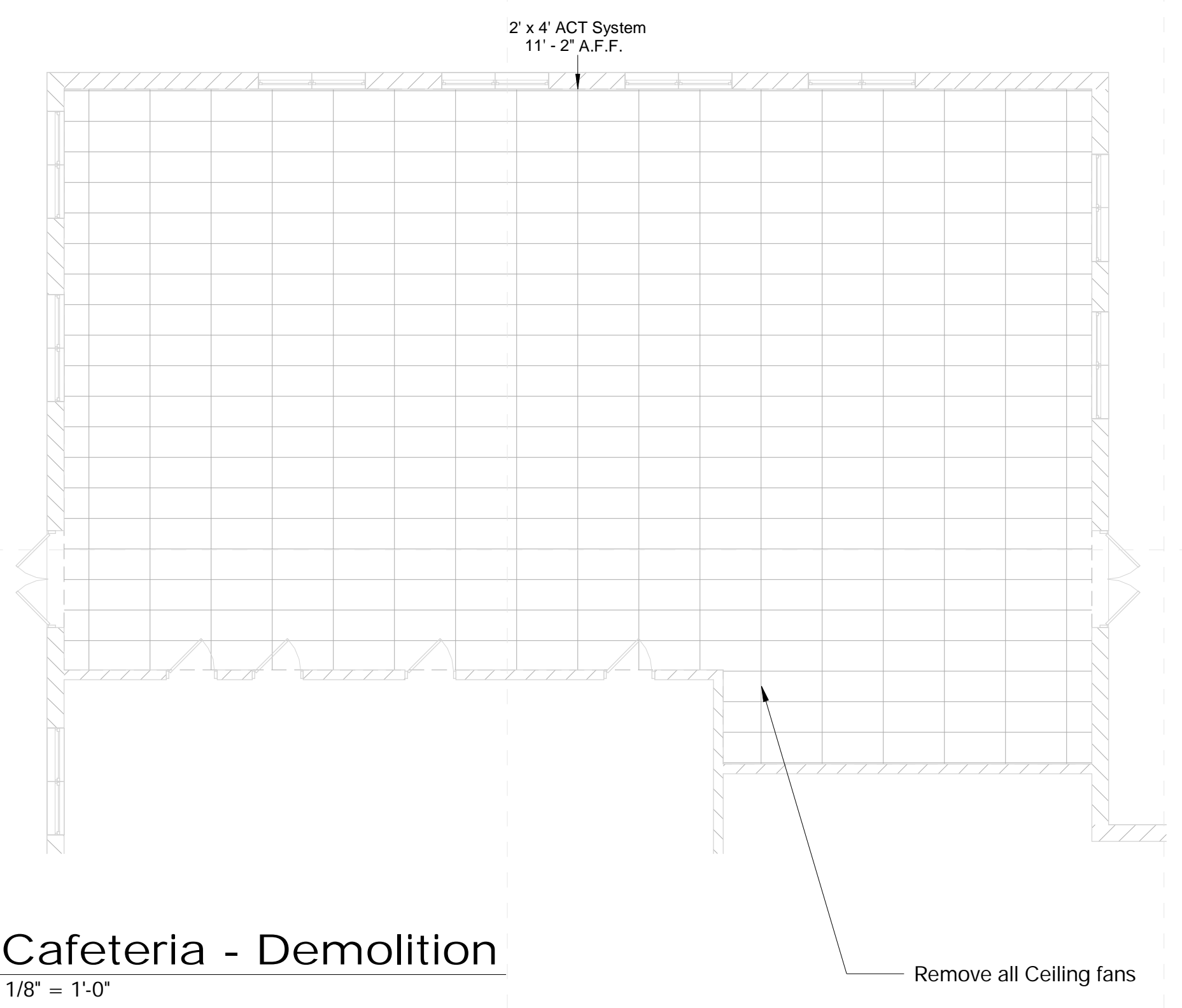
- Where ceiling transitions from new ceiling to existing ceiling, coordinate with Architect detail.
- Remove all existing ceiling grid & tile unless noted otherwise, as well as any wall fasteners and/or mastics attached therein where shown to be replaced by new materials.
- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- Burying or Burning of materials will not be permitted on site.
- Repair any damage caused to building construction identified to remain.
- Refer to other discipline drawings for additional demolition information as noted.
- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- No work in rooms with ceiling open to the structure above, unless noted otherwise.

Ceiling Legend

- Moisture Resistant Acoustical Lay In Ceiling
- Colored Acoustical Lay In Ceiling
- Vinyl Faced Acoustical Lay In Ceiling
- Gypsum Board Ceiling
- 2x2 Acoustical Lay In Ceiling
- Plaster/Stucco
- Concealed Fastender Painted Metal Soffit
- 2x2 Fluorescent Fixture
- Surface-Mounted Fluorescent Light Fixture
- Recessed Can Light Fixture
- HVAC Supply Grille
- HVAC Return Grille
- Exterior Wall Light
- Interior Wall Light
- Open to Structure (OTS)



2 Cafeteria - Demolition
1/8" = 1'-0"



1 RCP - Existing Demo
1/8" = 1'-0"

Not For Construction

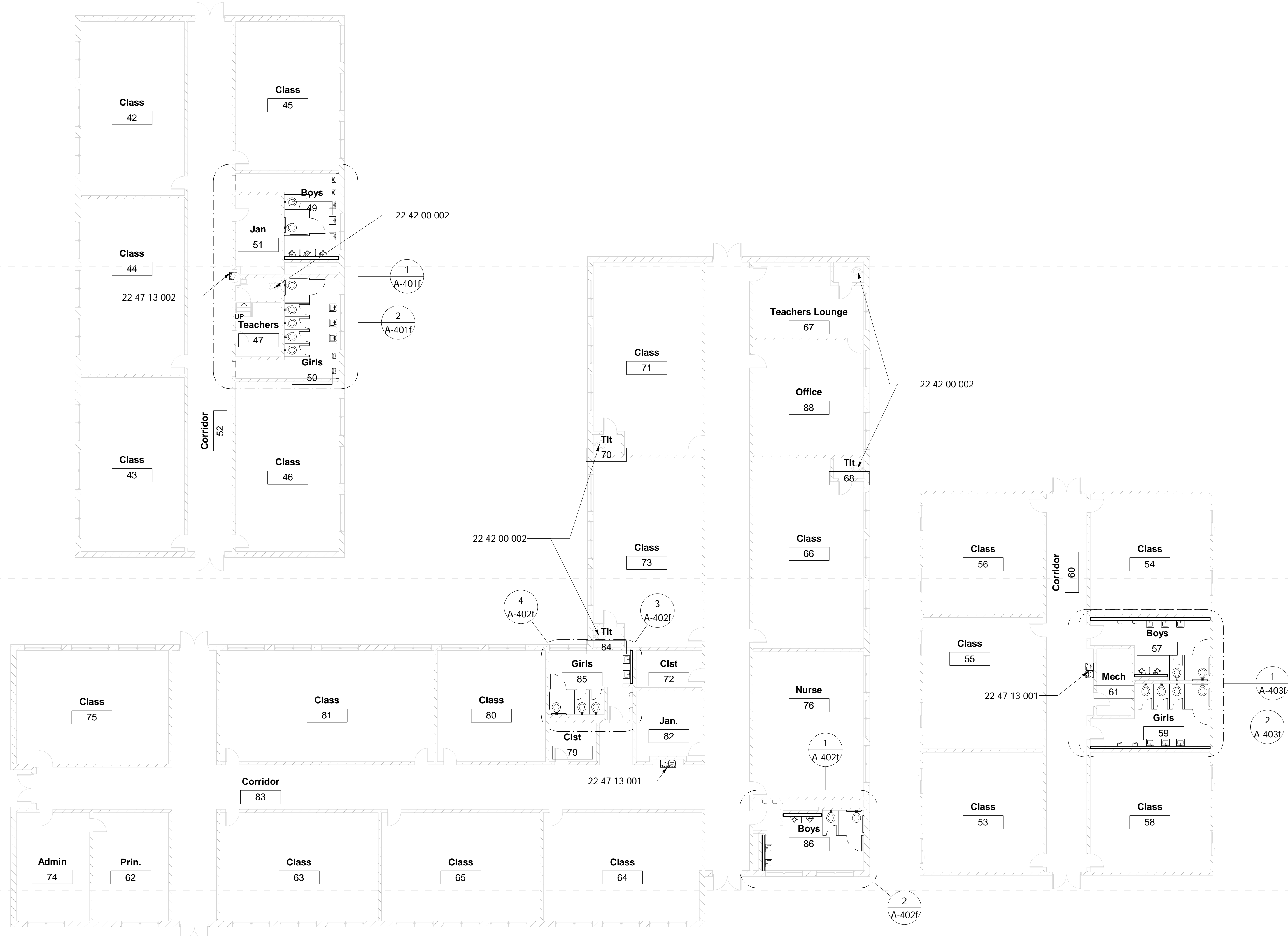
Sunflower Consolidated School District ESSER 2&3 Phase I
Ruleville Elementary School: 410 L F Packer Dr. Ruleville, MS 38771

Construction Documents

Project No	21027
Date	Issue Date
Revisions	Rev Date

A- 101f

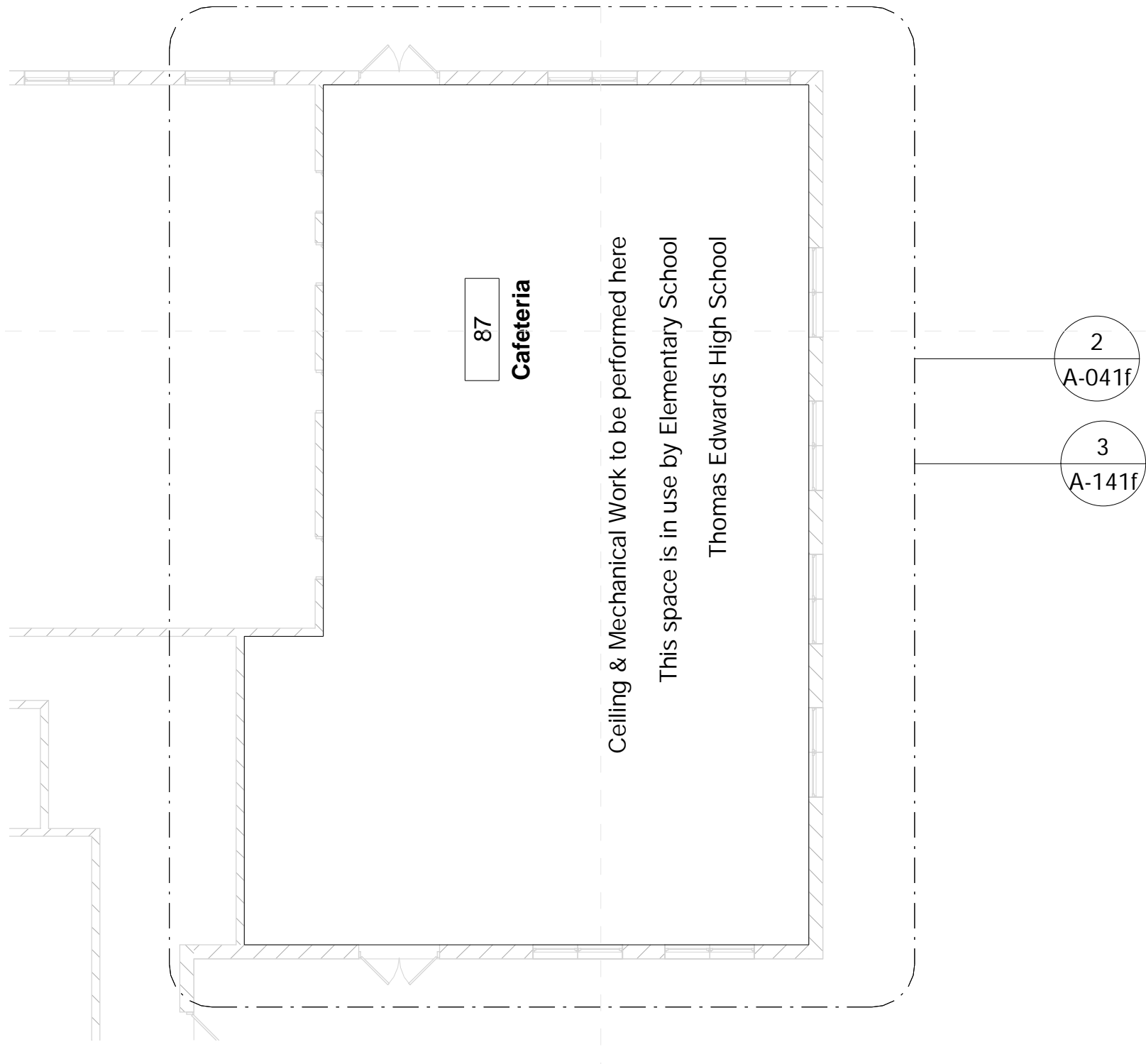
Composite Floor Plan



Specific Notes

22 42 00 002	New fixtures only in this toilet room; coordinate with mechanical
22 47 13 001	Install double drinking fountain here; coordinate with mechanical & electrical drawings
22 47 13 002	Install single drinking fountain here with bottle filler attachment; coordinate with mechanical & electrical drawings

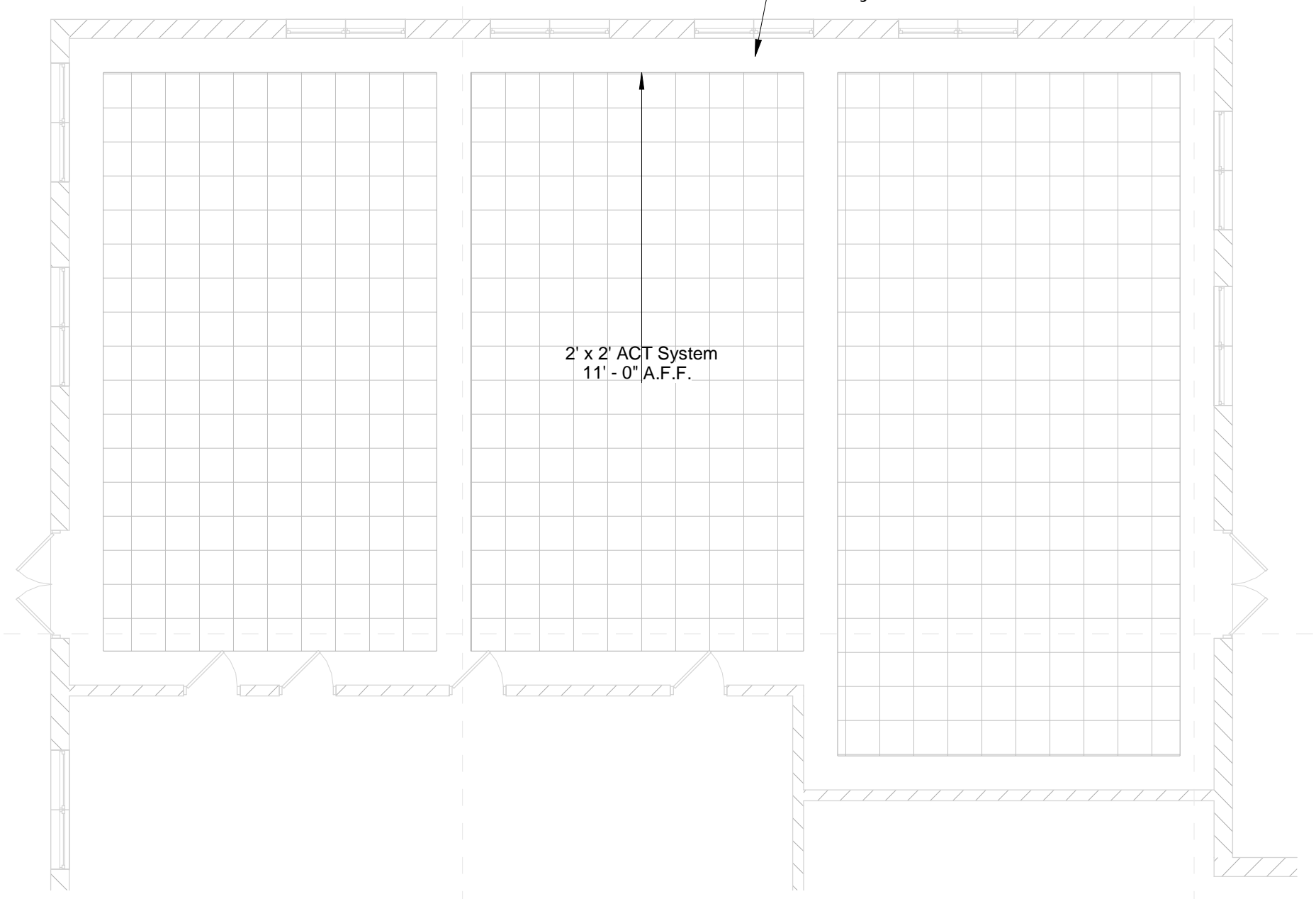
2 Composite Floor Plan
3/32" = 1'-0"



General RCP Notes

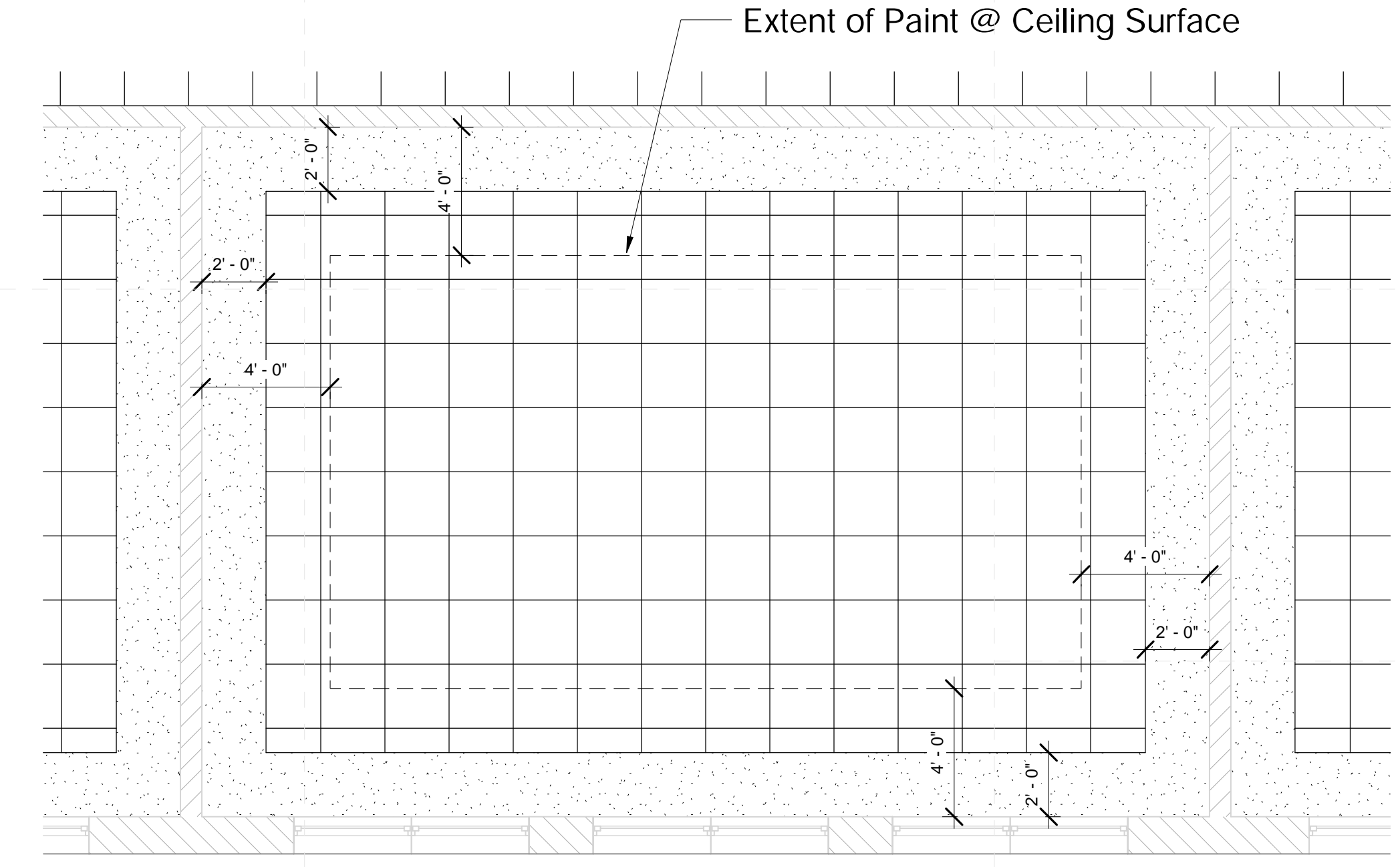
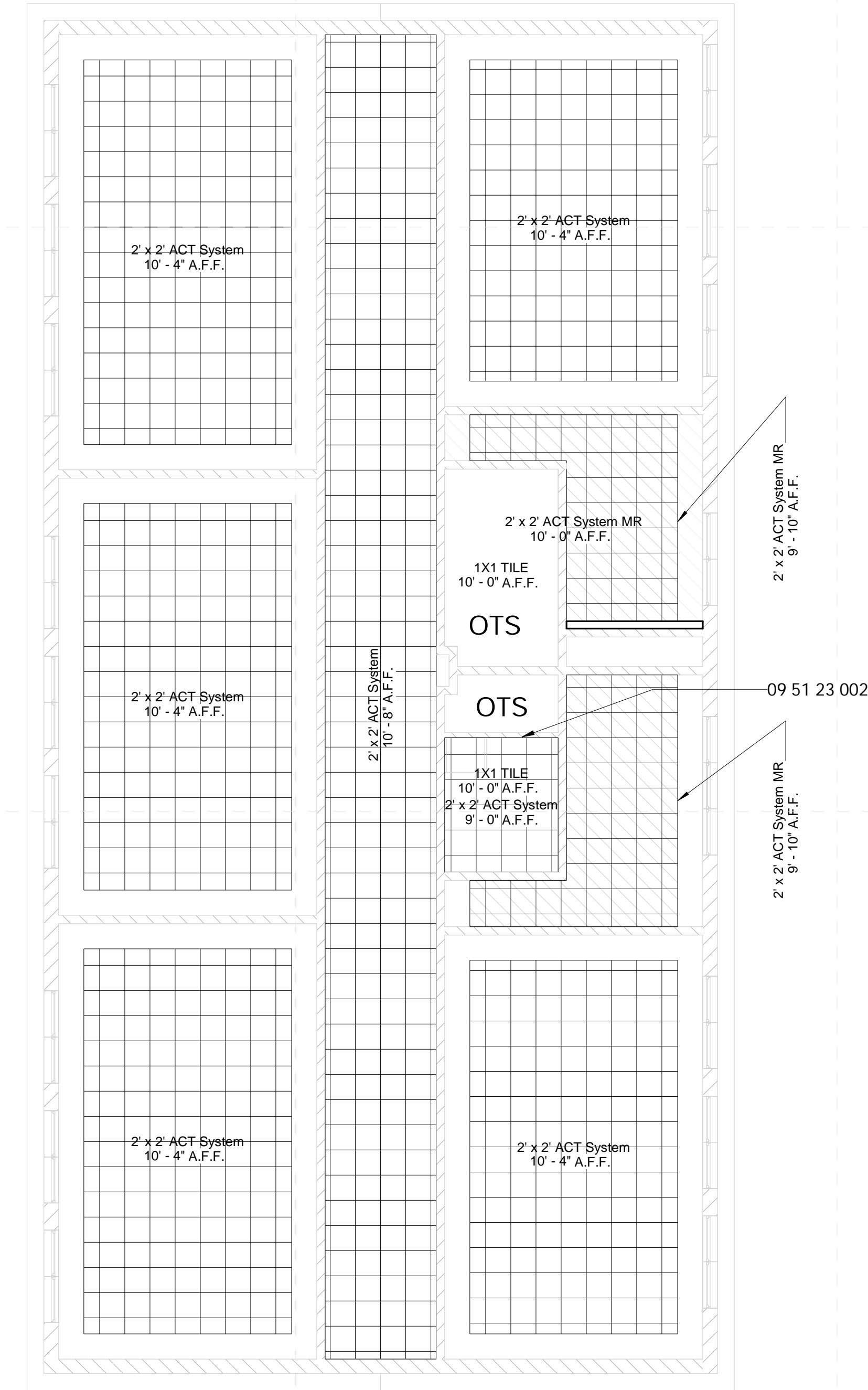
- All ceiling heights shall be same as existing or lower, unless noted otherwise.
- Contractor shall paint all surfaces above 8'-8" at wall, roof, and ceiling, as well as anything attached therein at all exposed sections of ceilings where not covered by new 2x2 ACT, unless noted otherwise.
- Repair/replace any and all ceiling damaged due to construction activities.
- Bent ceiling grid damaged due to construction activities shall be replaced or bent to appear as new in shape.

Contractor shall paint all surfaces above 10'-8" at wall, roof, and ceiling, as well as anything attached therein at all exposed sections of ceilings where not covered by new 2x2 ACT, in this room



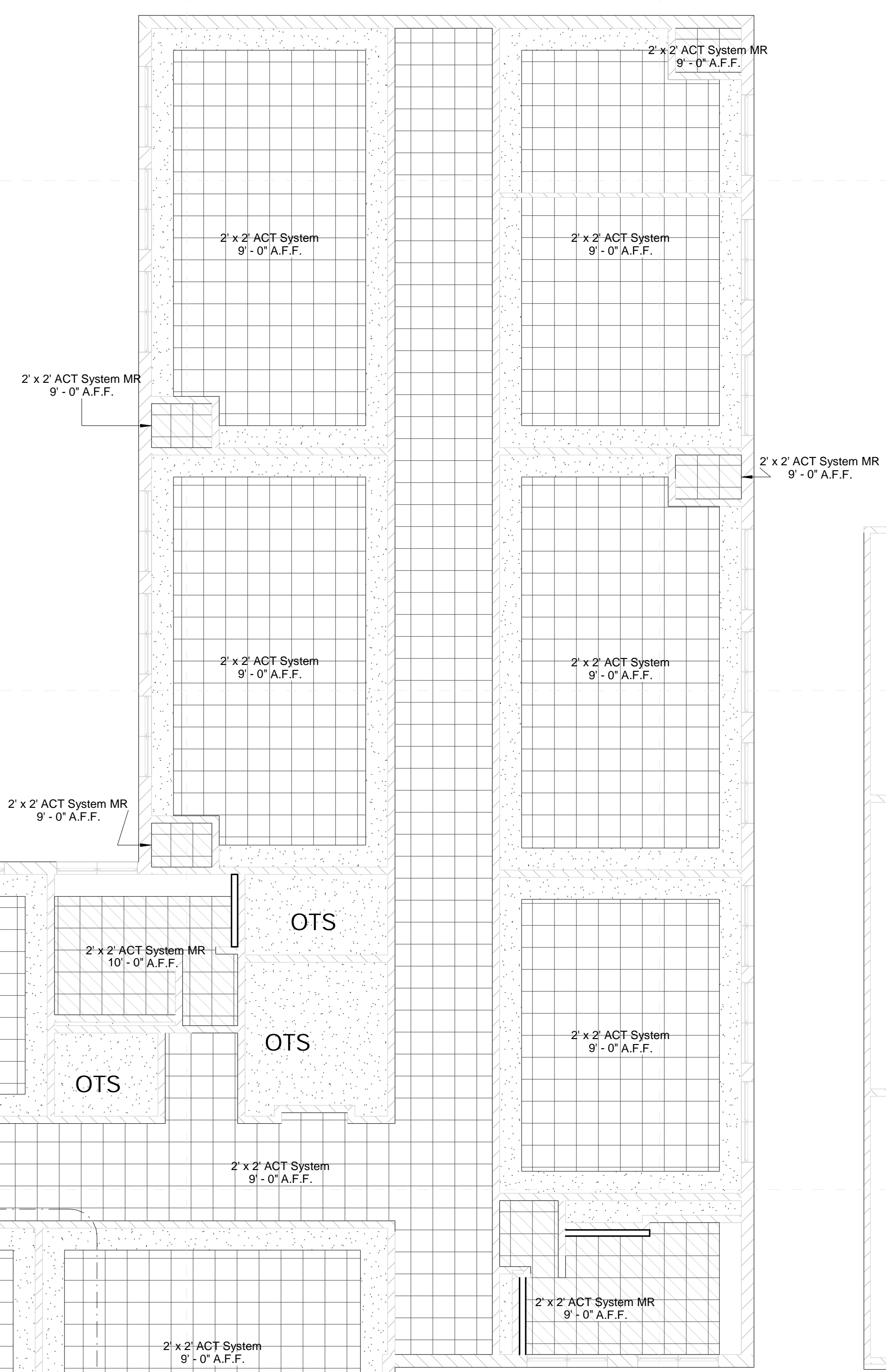
3 Cafeteria - New Construction

1/8" = 1'-0"



2 Typical Ceiling Layout

1/4" = 1'-0"



Ceiling Legend

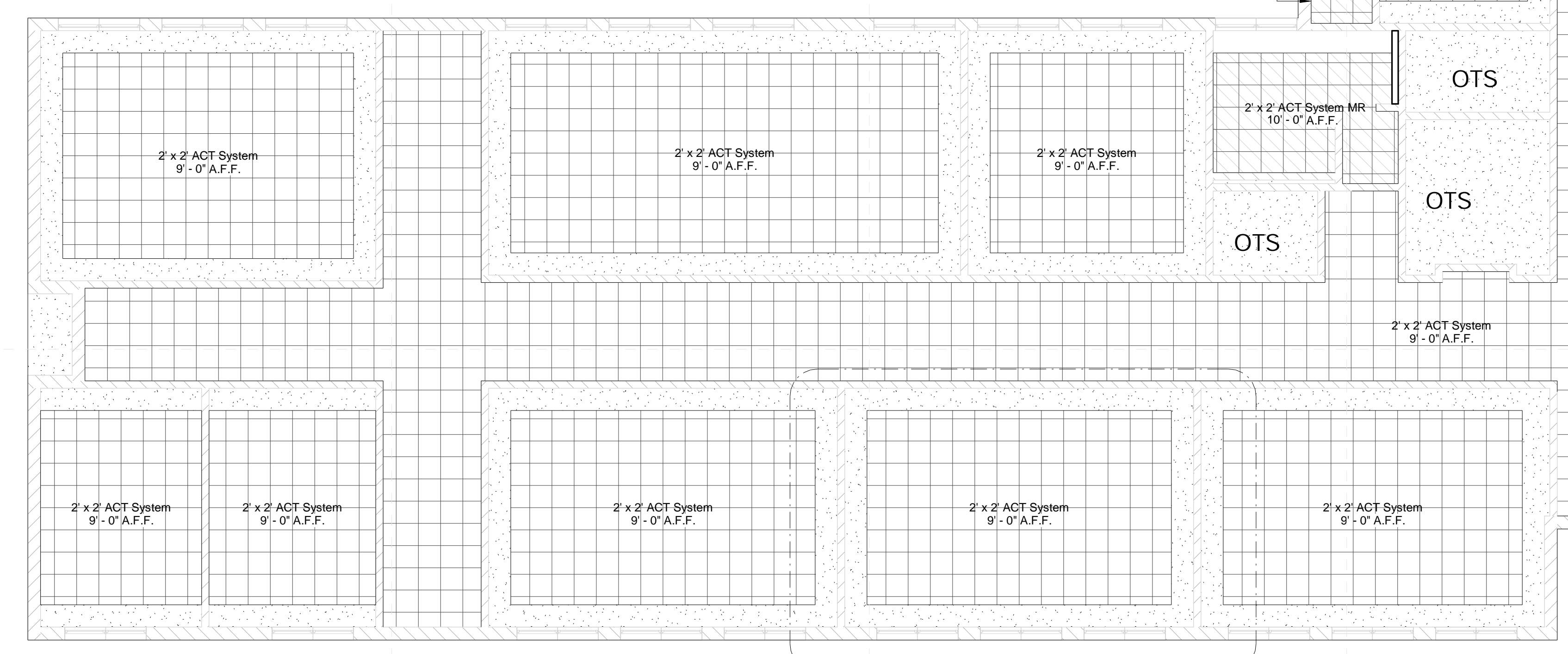
- Moisture Resistant Acoustical Lay In Ceiling
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- Vinyl Faced Acoustical Lay In Ceiling
- Gypsum Board Ceiling
- 2x2 Acoustical Lay In Ceiling
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- Surface-Mounted Fluorescent Light Fixture
- Recessed Can Light Fixture
- HVAC Supply Grille
- HVAC Return Grille
- Exterior Wall Light
- Interior Wall Light
- Open to Structure (OTS)

Specific Notes

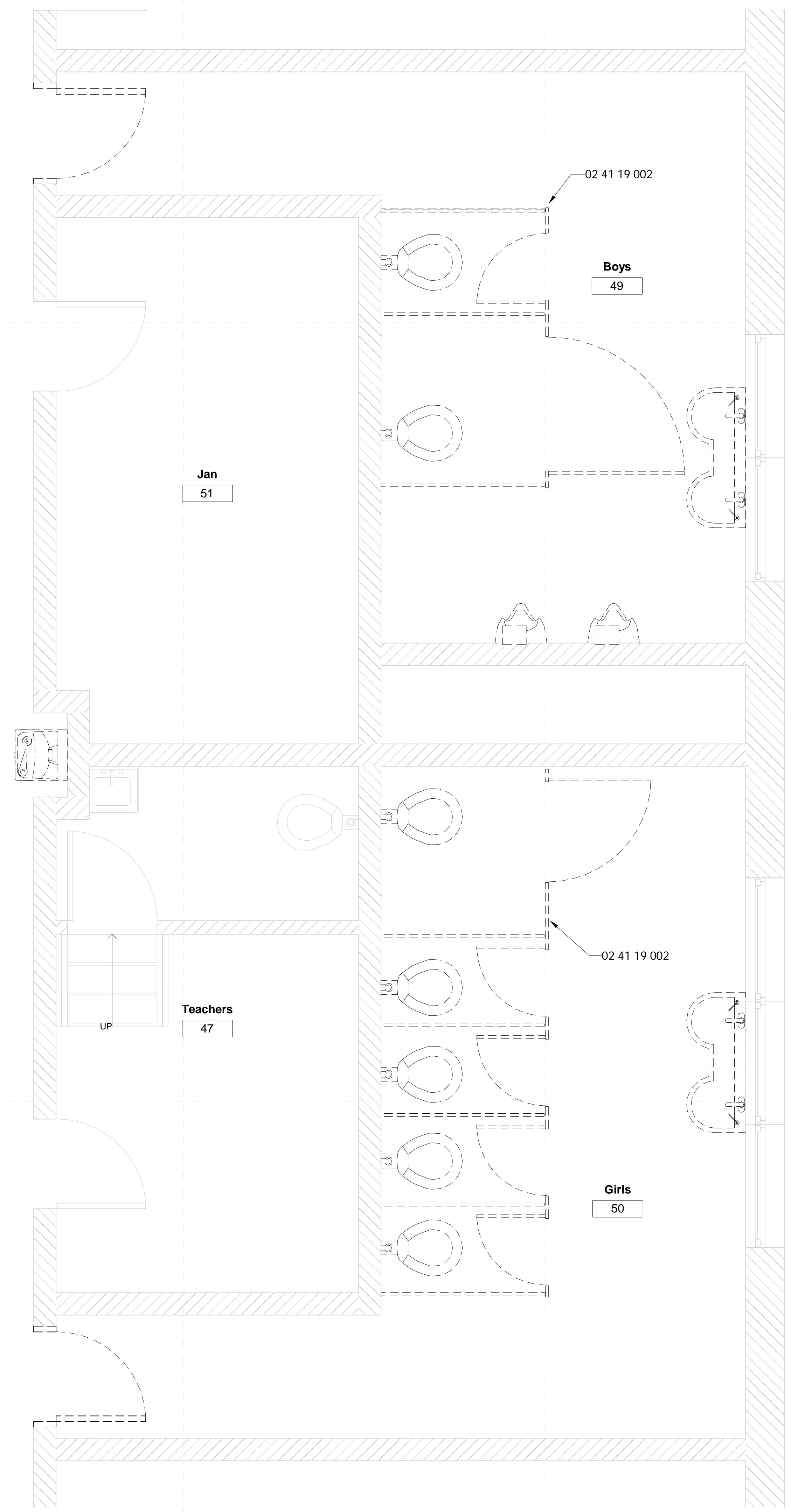
09 51 23 002 Install ATC as wall from ceiling level up to roof/floor deck

1 RCP - New Construction

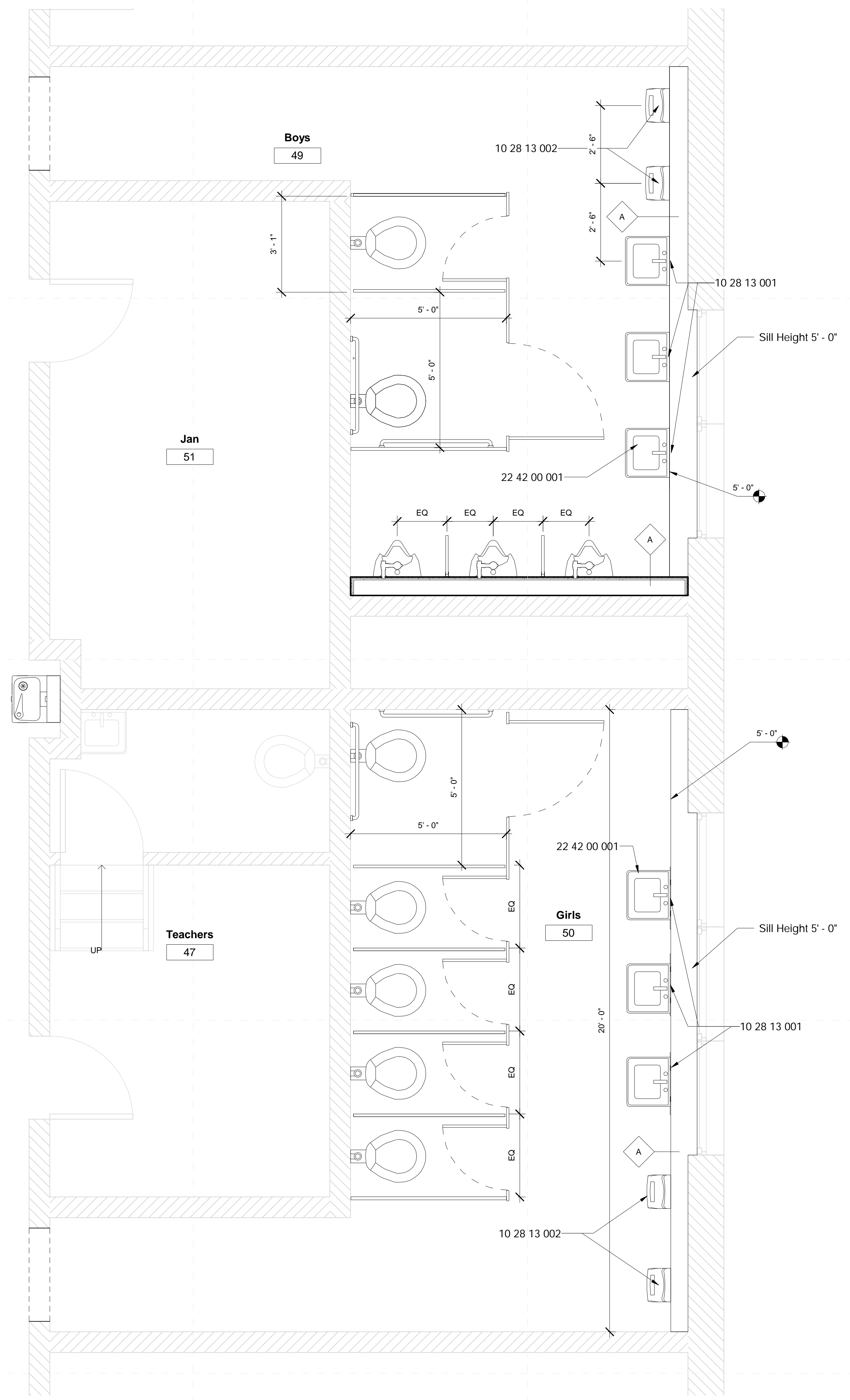
1/8" = 1'-0"



2
A-141f



1 Toilets - NW Bank - Existing
1/2" = 1'-0"



2 Toilets - NW Bank - New Construction
1/2" = 1'-0"

General Demolition Notes

- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc., where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
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- Repair any damage caused to building construction identified to remain.
- Refer to other discipline drawings for additional demolition information as noted.
- Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- Remove partitions and existing fixtures.

Specific Notes

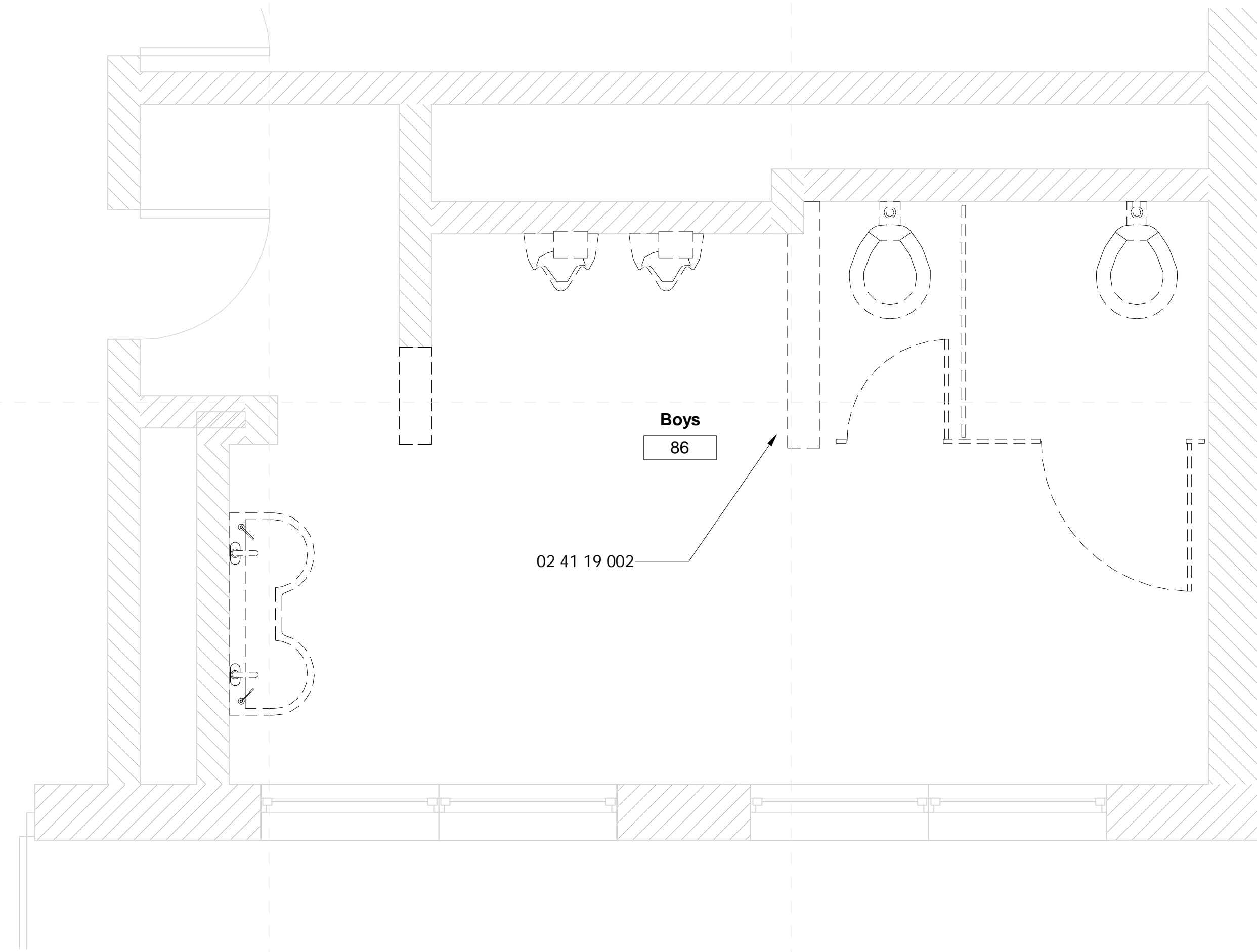
02 41 19 002	Dashed lines indicated extent of demoed work
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

General Finish Plan Notes

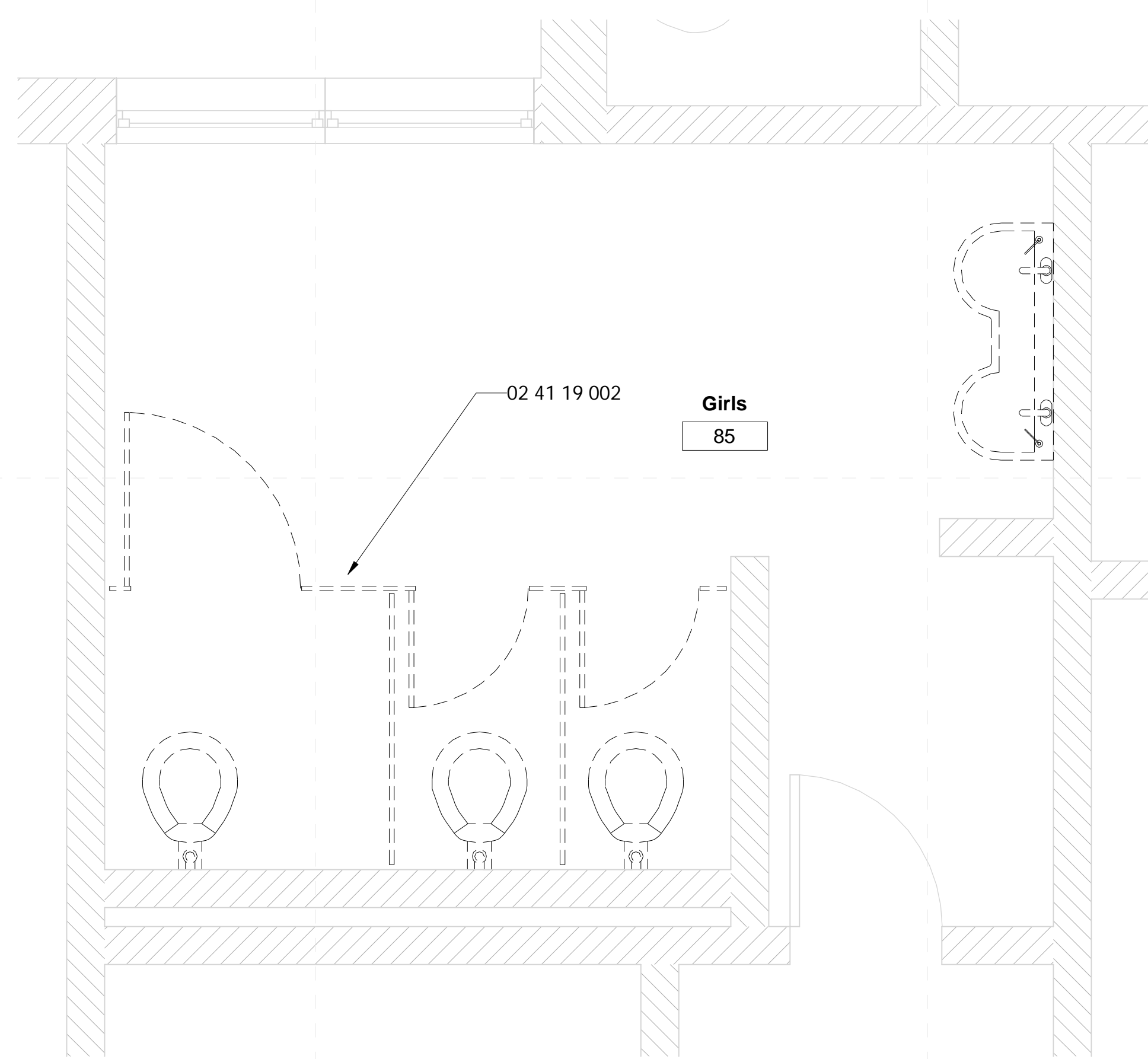
- Patch tile at all floors and walls with matching material where missing or removed due to construction, unless noted otherwise.
- Install new grab bars at all ADA & AMB toilets
- Install moisture resistant back board at all new tile.
- Clean and reseat grout at floor tile.
- Wash down and clean all FRP to remain.



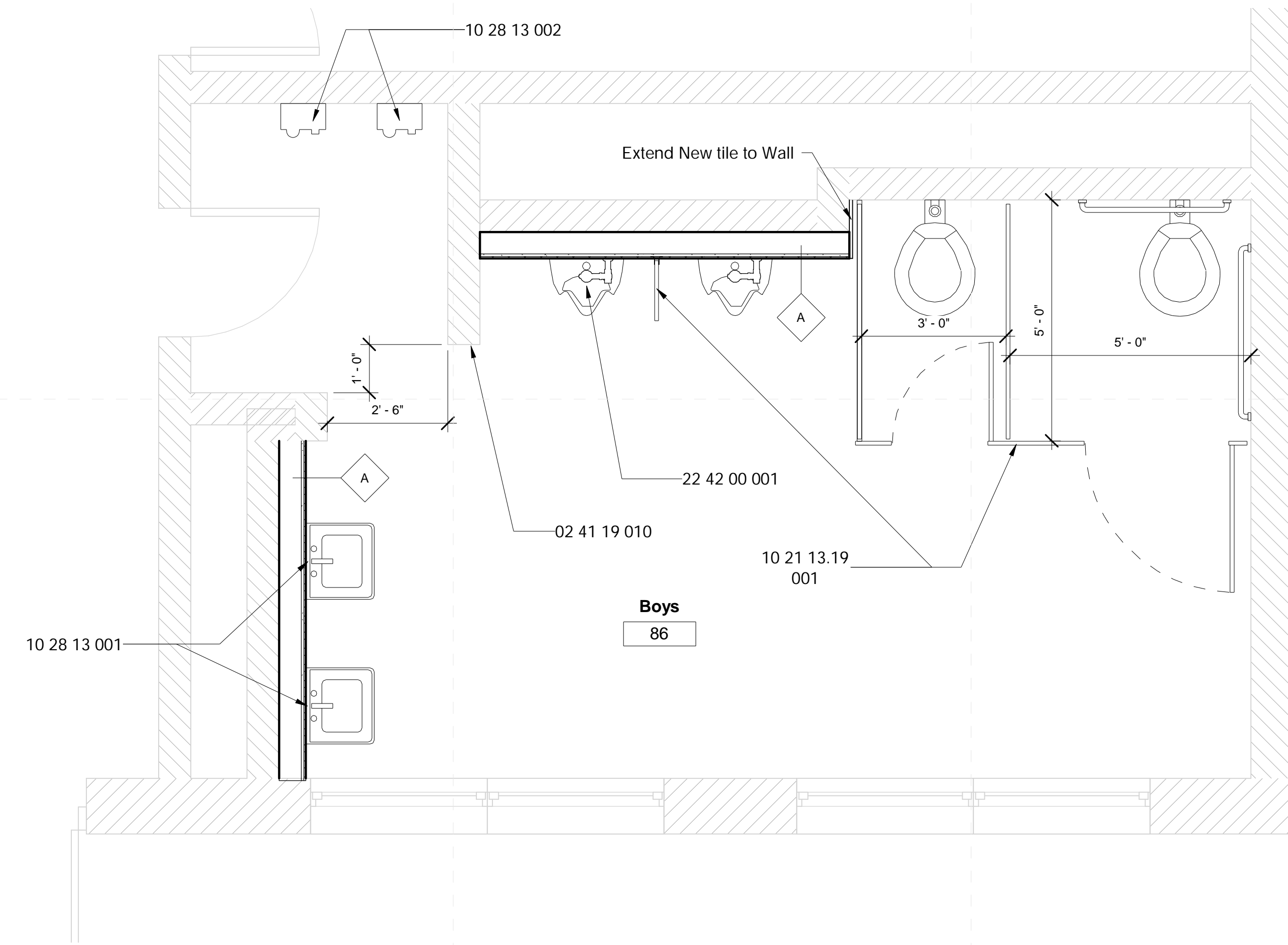
Project No	21027
Date	Issue Date
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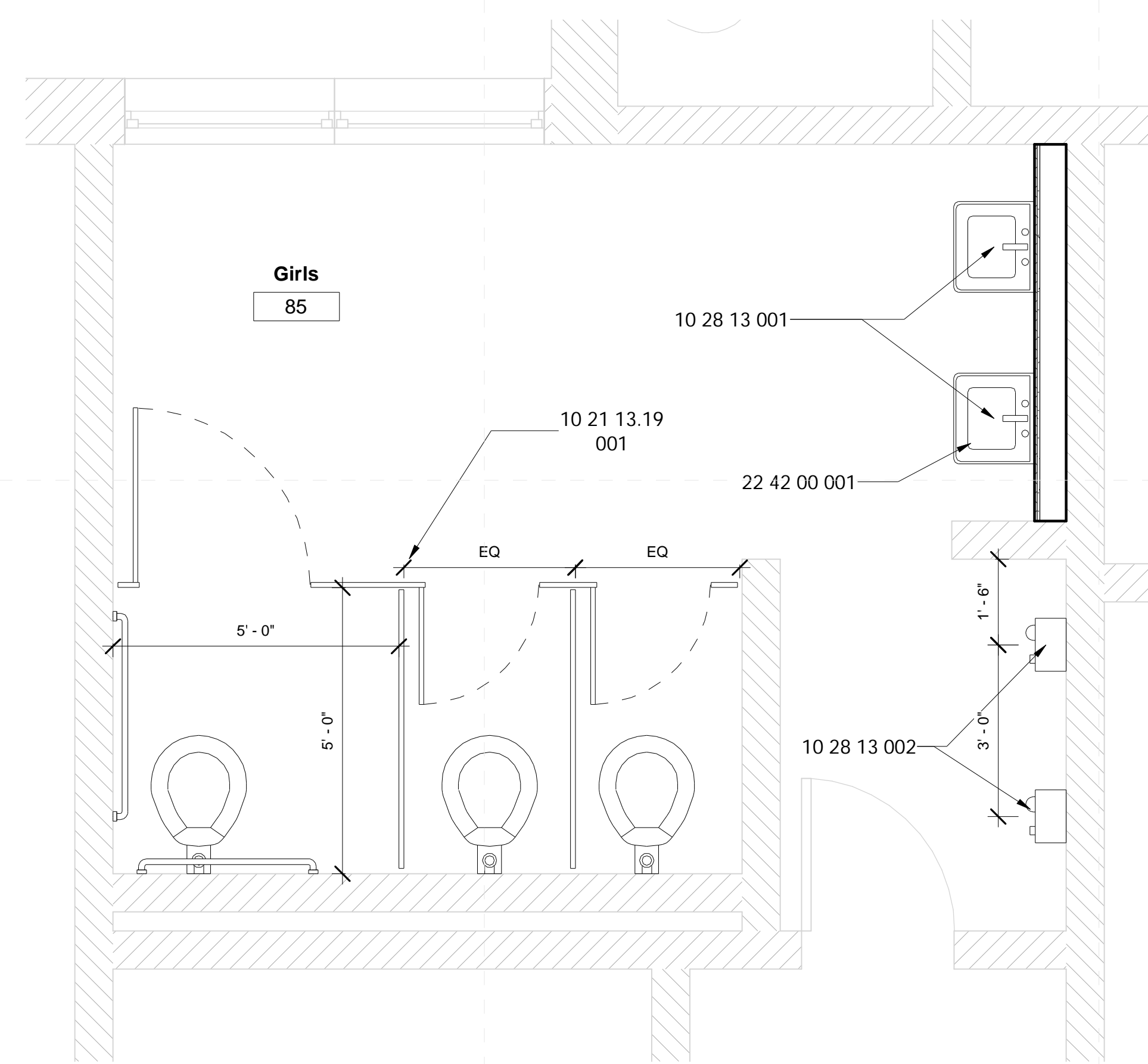
1 Toilets - Central Bank E - Existing
1/2" = 1'-0"



3 Toilets - Central Bank W - Existing
1/2" = 1'-0"



2 Toilets - Central Bank E - New Construction
1/2" = 1'-0"



4 Toilets - Central Bank W - New Construction
1/2" = 1'-0"

General Demolition Notes

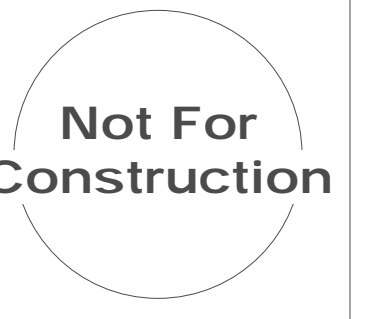
- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc., where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
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- Refer to other discipline drawings for additional demolition information as noted
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- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- Remove partitions and existing fixtures.

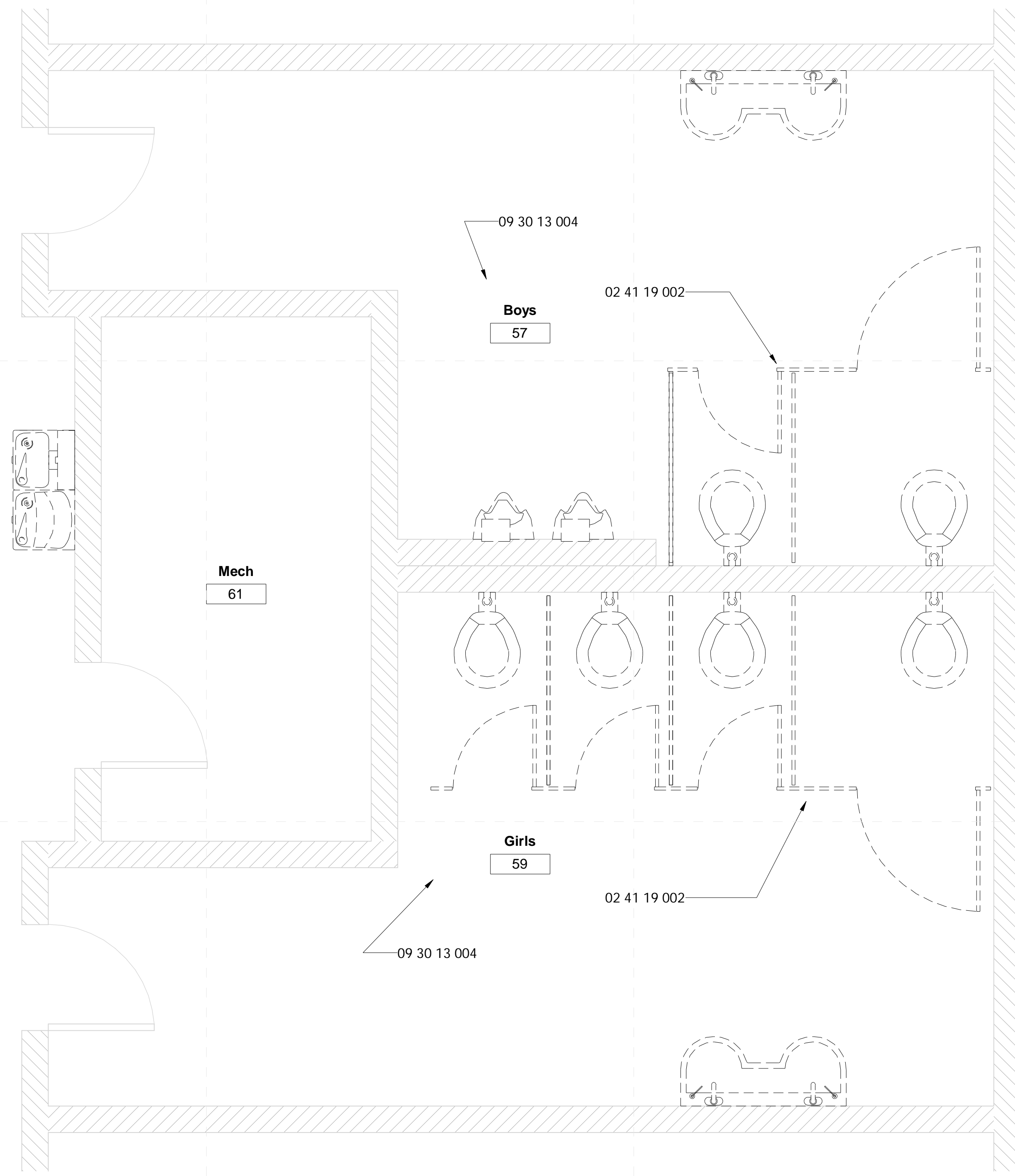
Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 010	Repair demoed to remain with like material
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here: center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here: coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

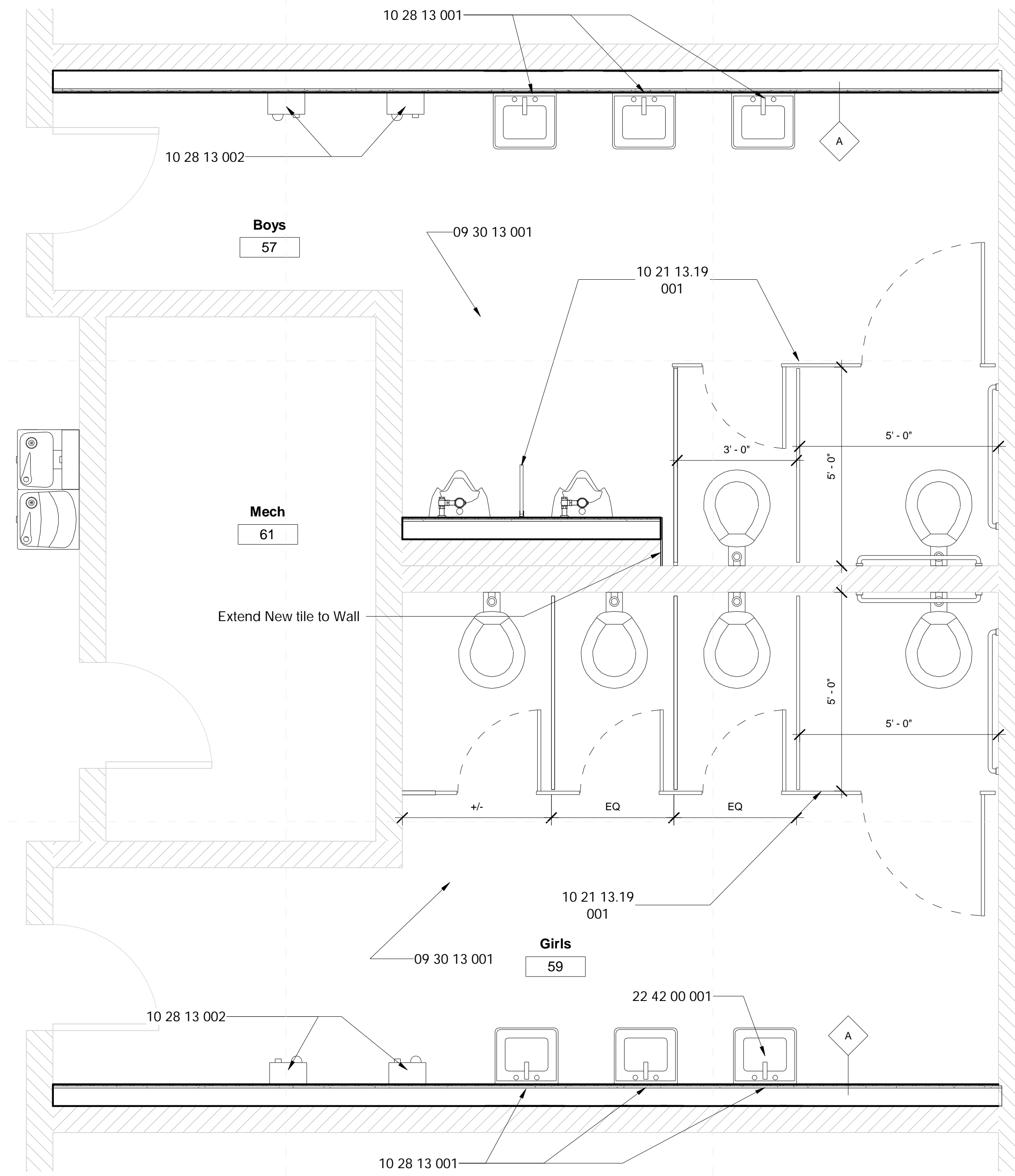
General Finish Plan Notes

- Patch tile at all floors and walls with matching material where missing or removed due to construction, unless noted otherwise.
- Install new grab bars at all ADA & AMB toilets
- Install moisture resistant back board at all new tile.
- Clean and reseal grout at floor tile.
- Wash down and clean all FRP to remain.





1 Toilets - East Bank - Existing
1/2" = 1'-0"



2 Toilets - East Bank - New Construction
1/2" = 1'-0"

General Finish Plan Notes

1. Patch tile at all floors and walls with matching material where missing or removed due to construction, unless noted otherwise.
2. Install new grab bars at all ADA & AMB toilets.
3. Install moisture resistant back board at all new tile.
4. Clean and reseat grout at floor tile.
5. Wash down and clean all FRP to remain.

Specific Notes

02 41 19 002	Dashed lines indicated extent of demold work
09 30 13 001	Install new floor tile; slope to floor drain is drain provided
09 30 13 004	Prep surface for new tile install; contractor shall be responsible for issues concerning lack of adhesion between mortar and substrates as well as levelness of finished tile
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

General Demolition Notes

1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
2. Remove all existing flooring, ceiling tile, rubber base, etc... where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
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7. Refer to other discipline drawings for additional demolition information as noted
8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
11. Remove partitions and existing fixtures.

Architects
One Jackson Place 250
188 East Capitol Street
Jackson, MS 39201
p 601.352.5411

201 Park Court Suite B
Ridgeland, MS 39157
p 601.790.9432

161 Lameuse St. Suite 201
Biloxi, MS 39530
p 228.374.1409

dalebaileyplans.com

Not For Construction

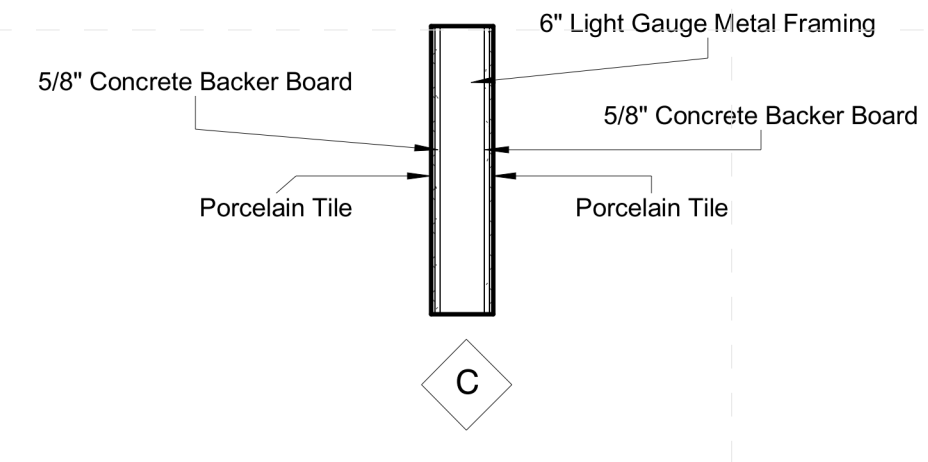
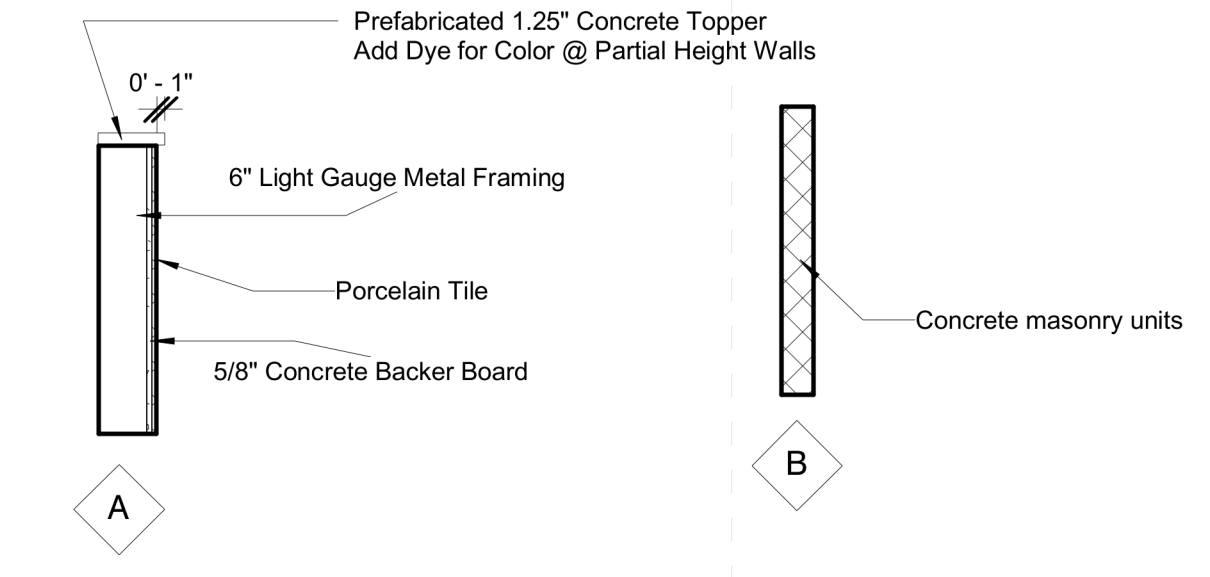
Sunflower Consolidated School District ESSER 2&3 Phase I
Ruleville Elementary School: 410 L F Packer Dr. Ruleville, MS 38771

Construction Documents

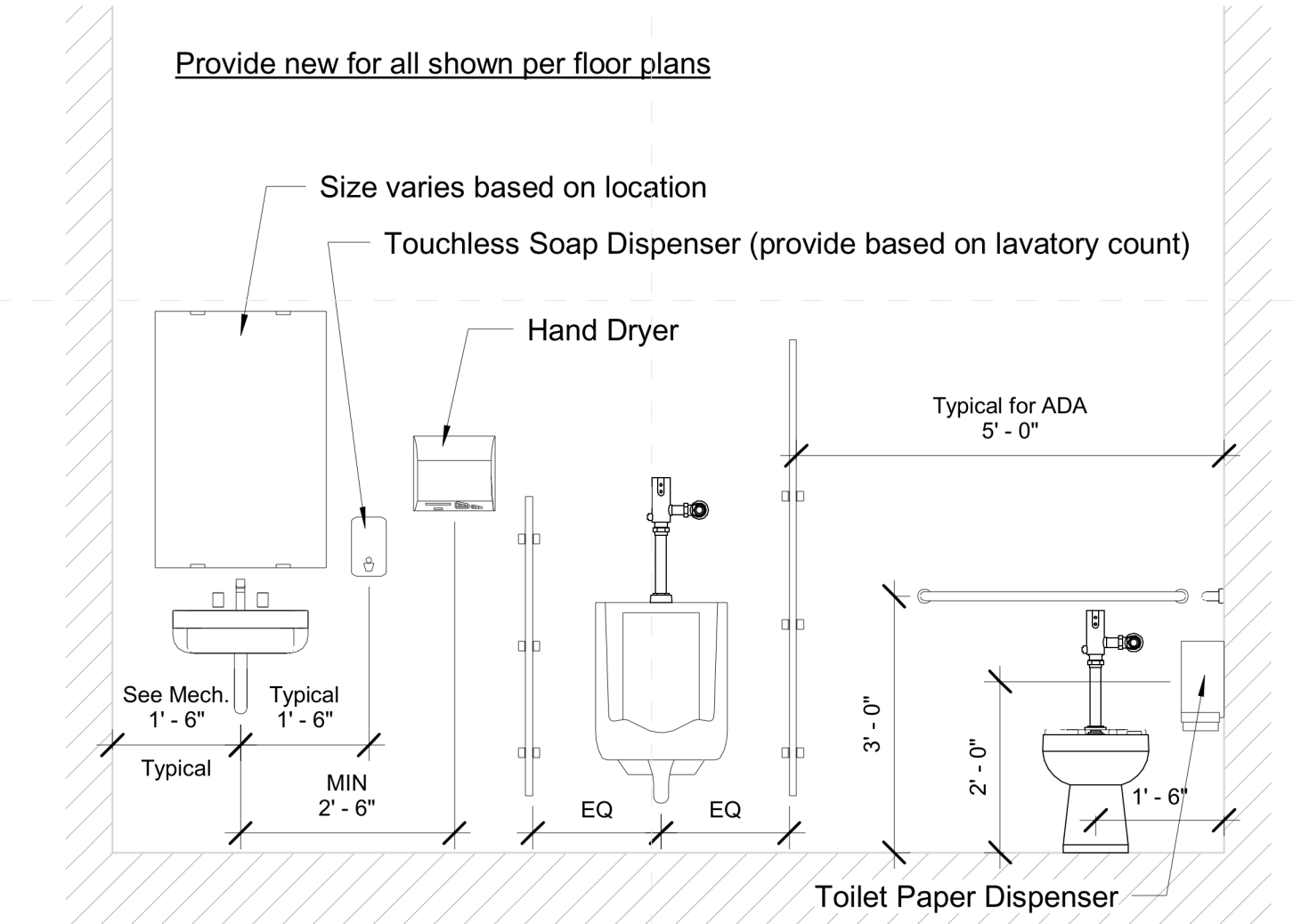
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Date	Issue Date
Revisions	Rev Date

All School's Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 006	Remove Ceiling Tile Only in the Room; repair grid as needed
02 41 19 007	Coordinate measurements with new construction
08 11 13 002	Install new 36" HM Door and Frame with new hardware
08 71 00 001	Replace all door hardware with new at existing leaf
09 05 05 001	Install leveling compound as needed for smooth appearance of new tile & a flush threshold to adjacent floors, typical on new floor tile
09 51 23 001	Install new ceiling tile into existing grid here
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
10 28 13 003	Install new ADA/AMD Grab bars here
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new
22 42 00 002	New fixtures only in this toilet room; coordinate with mechanical
22 47 13 001	Install double drinking fountain here; coordinate with mechanical & electrical drawings



Wall Standards
1/2" = 1'-0"



1 Typical Toilet Room Wall
1/2" = 1'-0"



Front of School



Mens 67



Womens 66



Mens 94



Womens 92

Architects
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p 601.352.5411
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p 228.374.1409
dalebaileyplans.com

Not For
Construction

Sunflower Consolidated School District ESSER 2&3 Phase I
Ruleville Middle School: 250 Oscar St, Ruleville, MS 38771

Construction Documents

Project No	21027
Date	June 2021
Revisions	Rev Date



1 RCP - Demolition
3/32" = 1'-0"

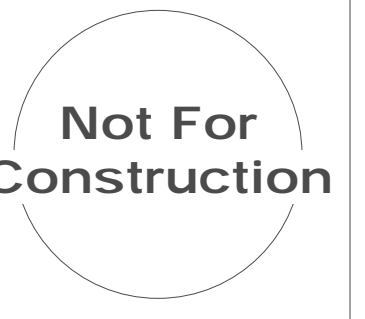
General Demolition Notes

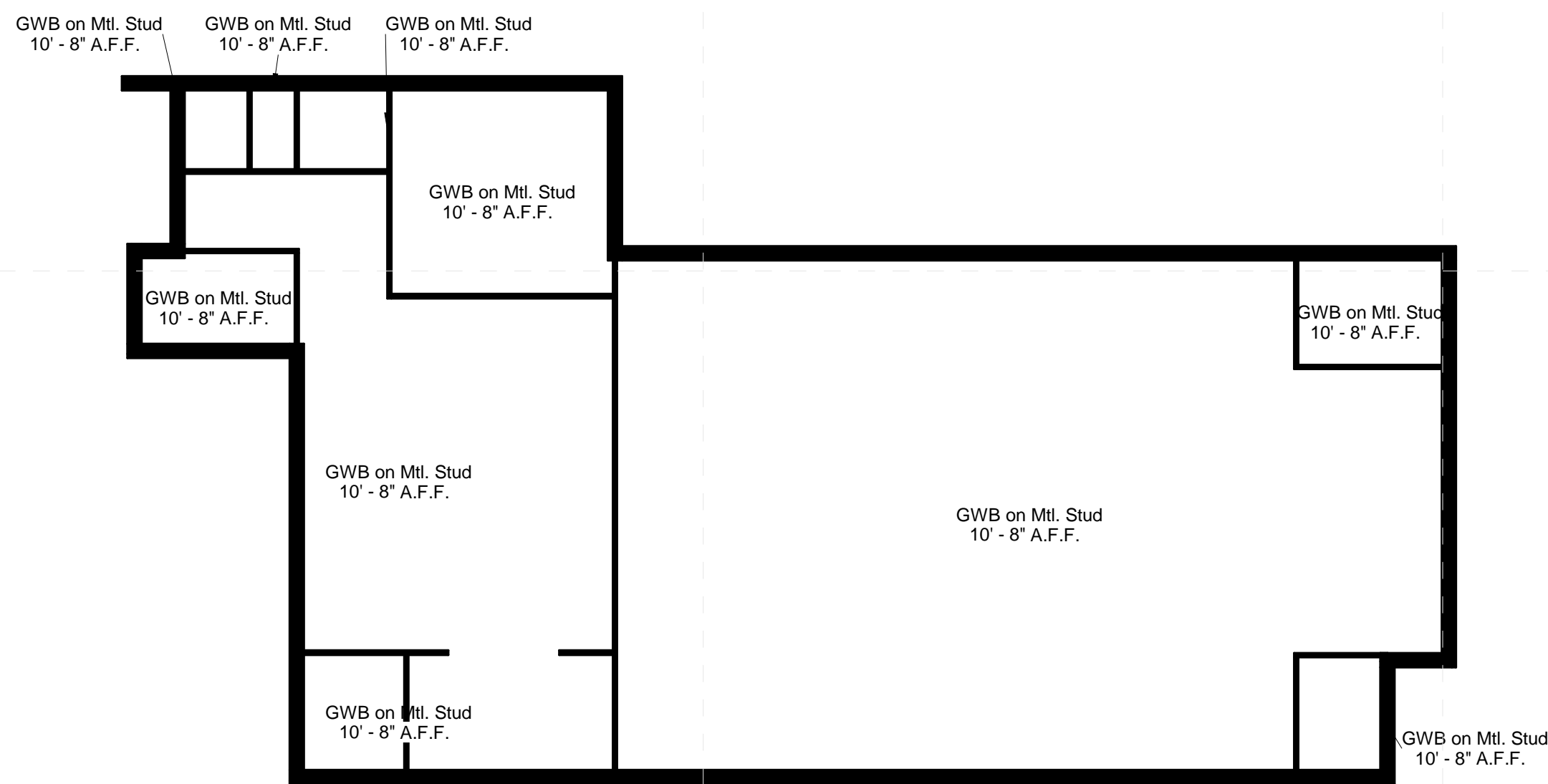
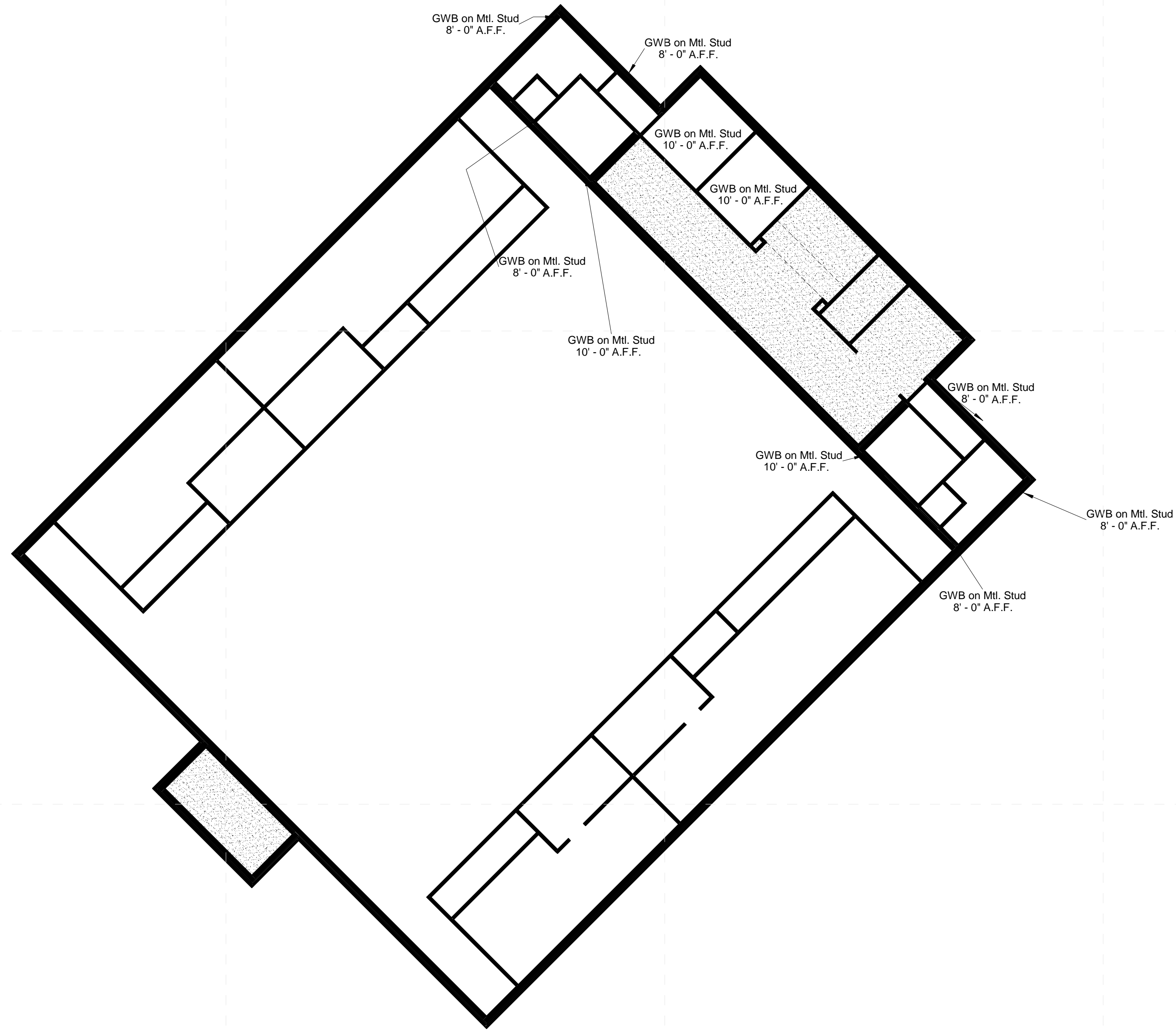
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6. Repair any damage caused by building construction identified to remain.
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8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
11. Remove partitions and existing fixtures.

Specific Notes

Ceiling Legend

- Moisture Resistant Acoustical Lay In Ceiling
- Colored Acoustical Lay In Ceiling
- Vinyl Faced Acoustical Lay In Ceiling
- Gypsum Board Ceiling
- 2x2 Acoustical Lay In Ceiling
- Plaster/Stucco
- Concealed Fastener Painted Metal Soffit
- 2x2 Fluorescent Fixture
- Surface-Mounted Fluorescent Light Fixture
- Recessed Can Light Fixture
- HVAC Supply Grille
- HVAC Return Grille
- Exterior Wall Light
- Interior Wall Light
- Open to Structure (OTS)





General Demolition Notes

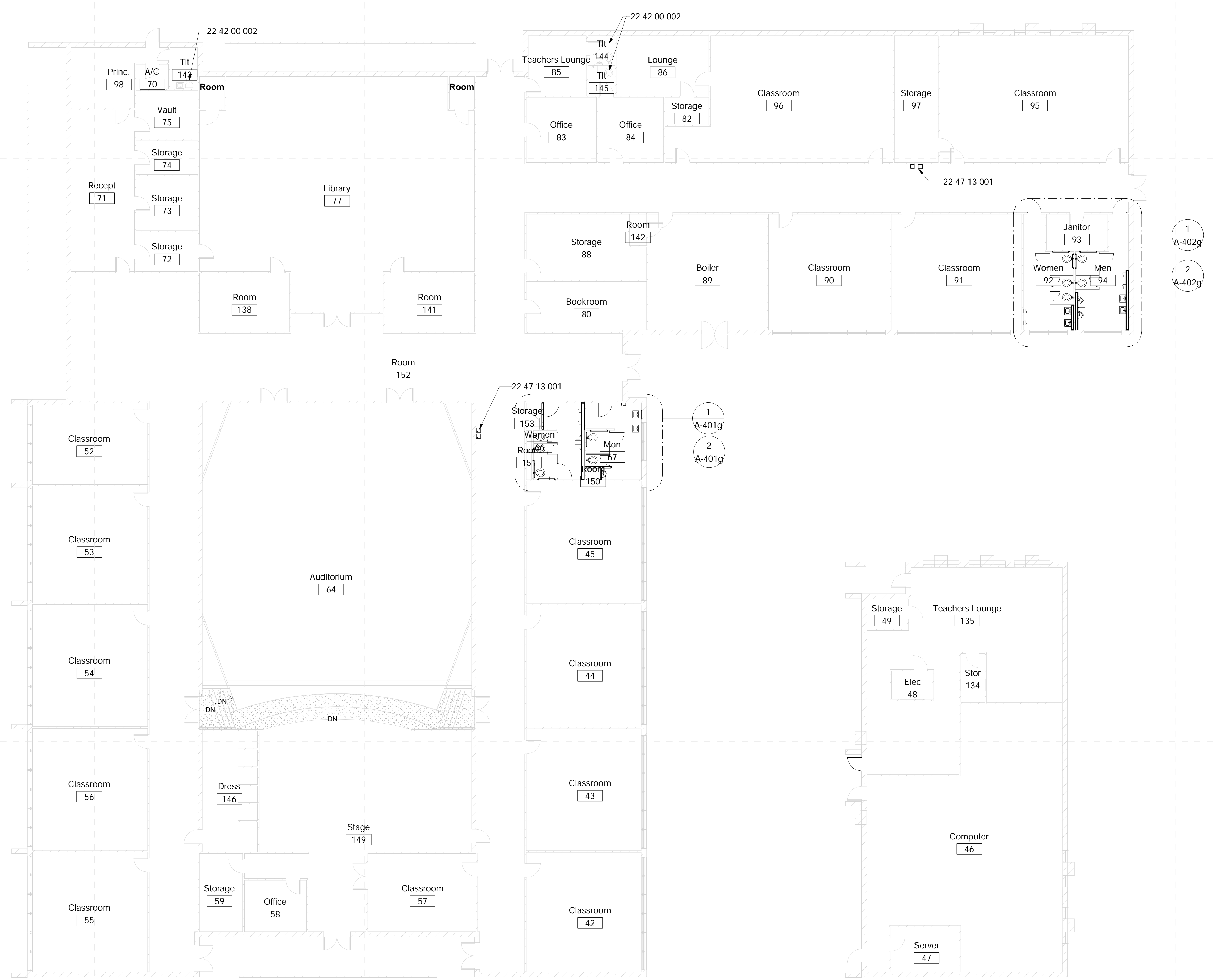
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- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- Remove partitions and existing fixtures.

Specific Notes

Ceiling Legend

- Moisture Resistant Acoustical Lay In Ceiling
- Colored Acoustical Lay In Ceiling
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- HVAC Return Grille
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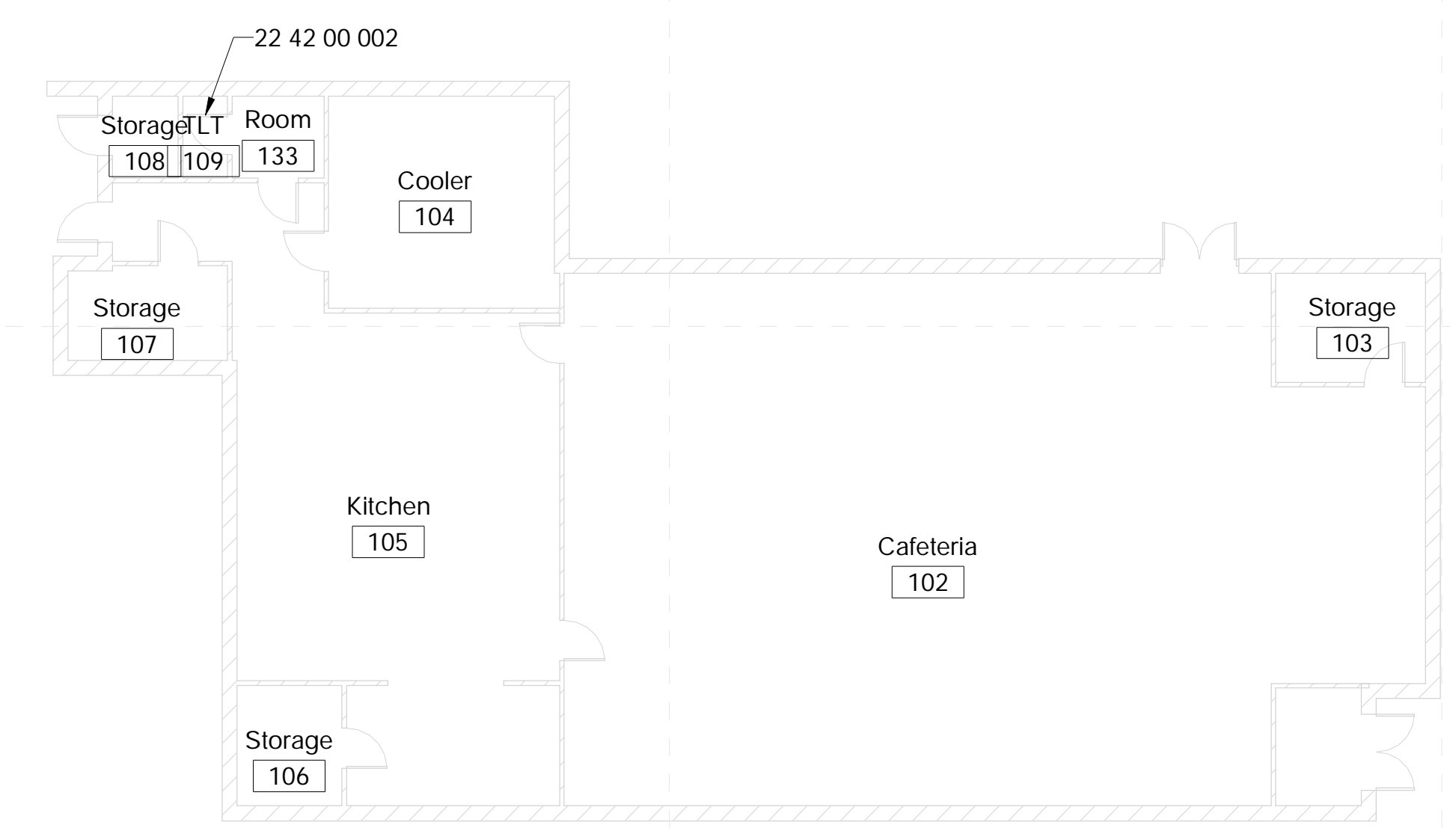
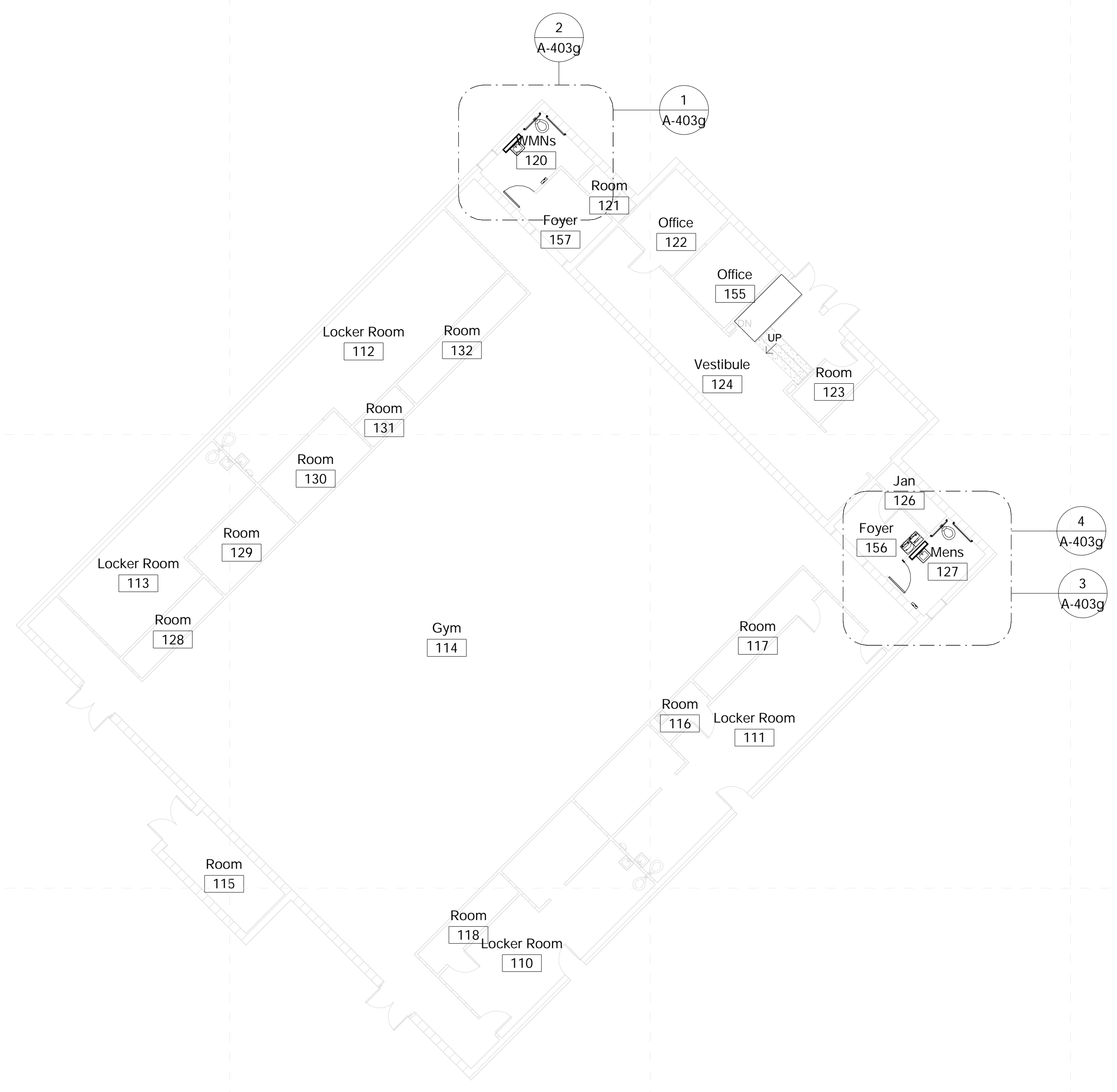
Revisions	Rev	Date



Specific Notes

- 22 42 00 002 New fixtures only in this toilet room; coordinate with mechanical
- 22 47 13 001 Install double drinking fountain here; coordinate with mechanical & electrical drawings

1 Ruleville Middle Main Building - New Construction
3/32" = 1'-0"



Specific Notes

22 42 00 002 New fixtures only in this toilet room; coordinate with mechanical

1 Ruleville Middle Gym/Cafe - New Construction
3/32" = 1'-0"

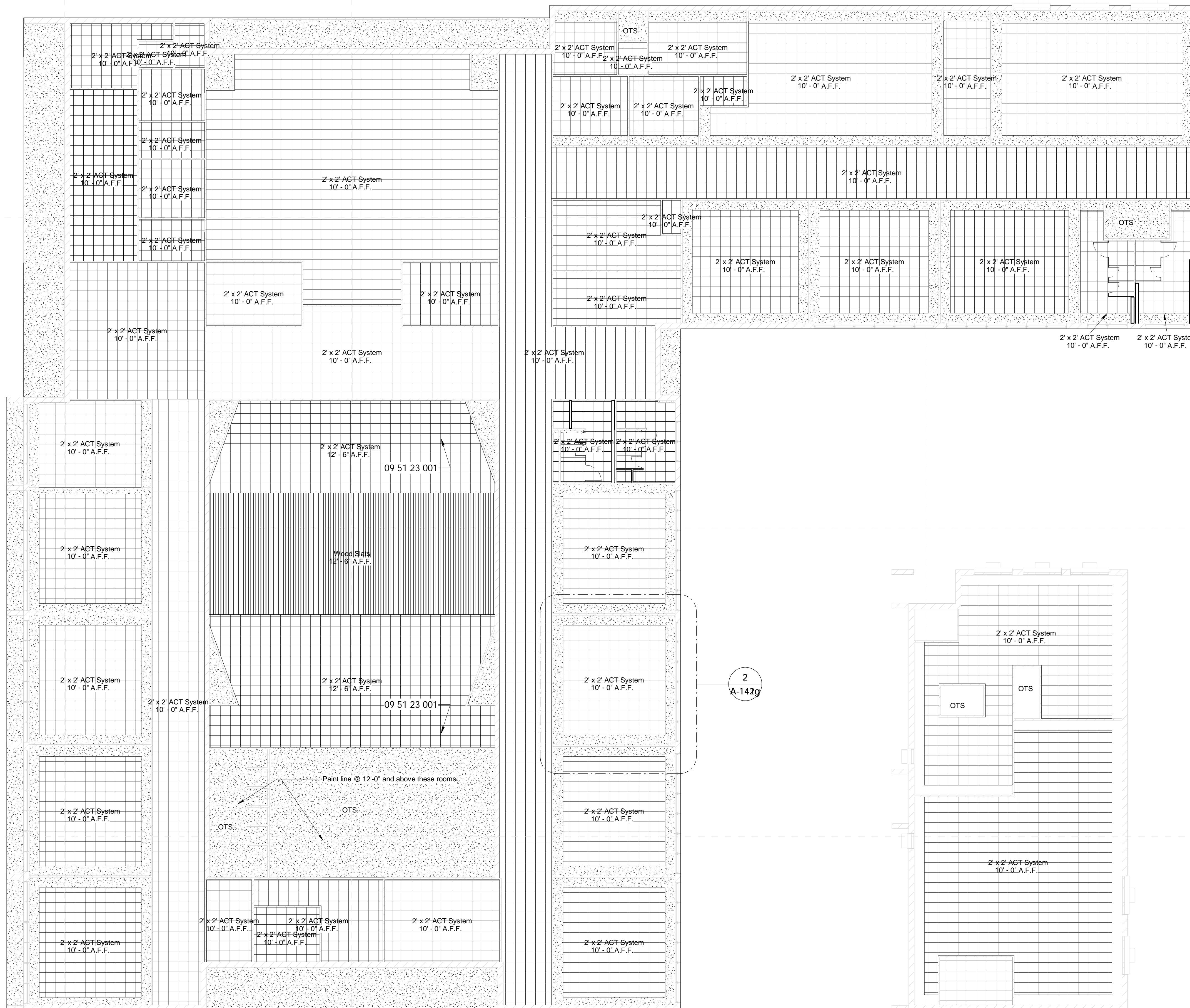
General RCP Notes

- All ceiling heights shall be same as existing or lower, unless noted otherwise.
- Contractor shall paint all surfaces above 10'-0" at wall, roof, and ceiling, as well as anything attached therein at all exposed sections of ceilings where not covered by new 2x2 ACT, unless noted otherwise.
- Repair/replace any and all ceiling damaged due to construction activities.
- Bent ceiling grid damaged due to construction activities shall be replaced or bent to appear as new in shape.
- ACT in auditorium to be reveal edged

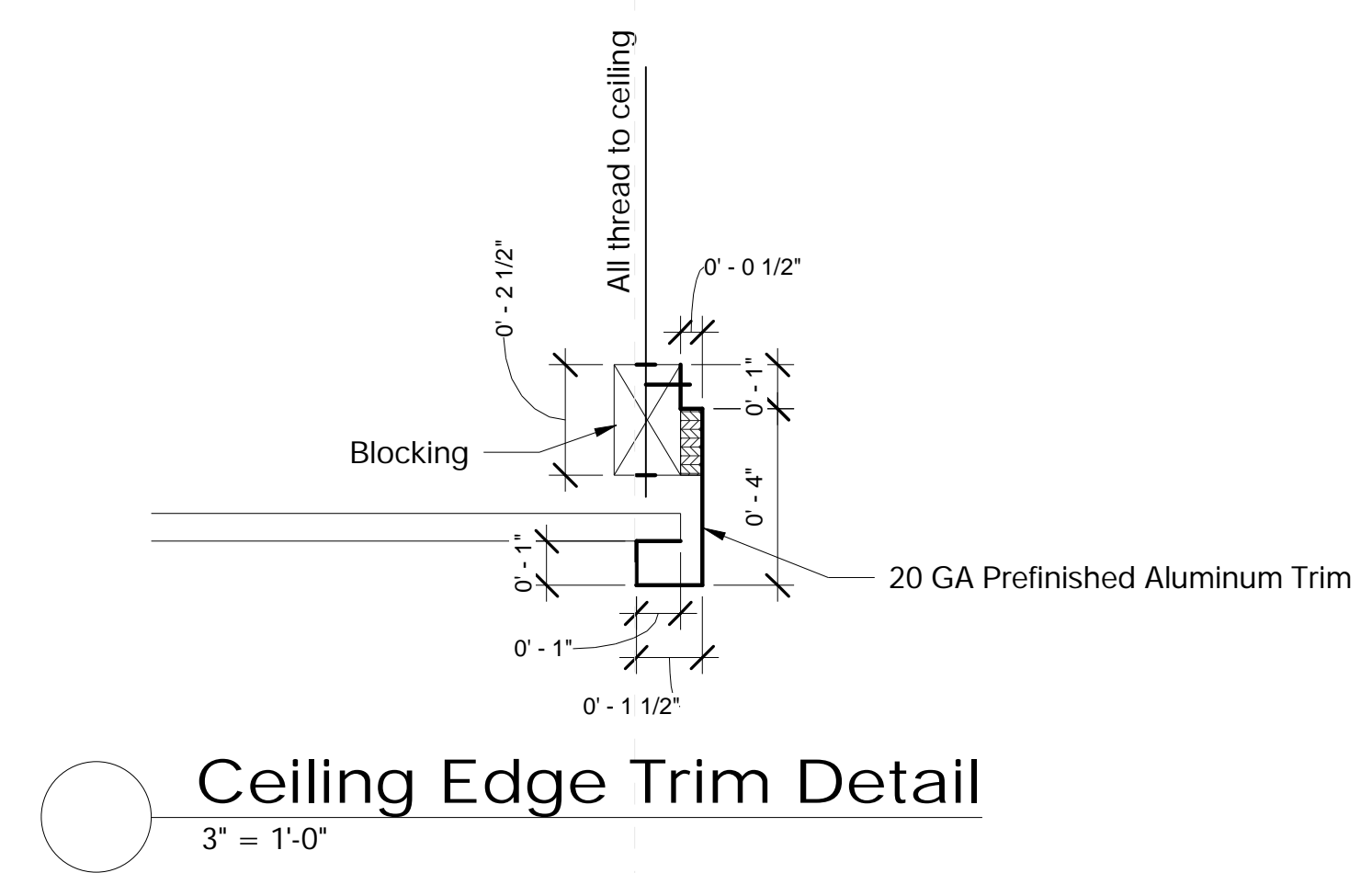
Specific Notes

Ceiling Legend

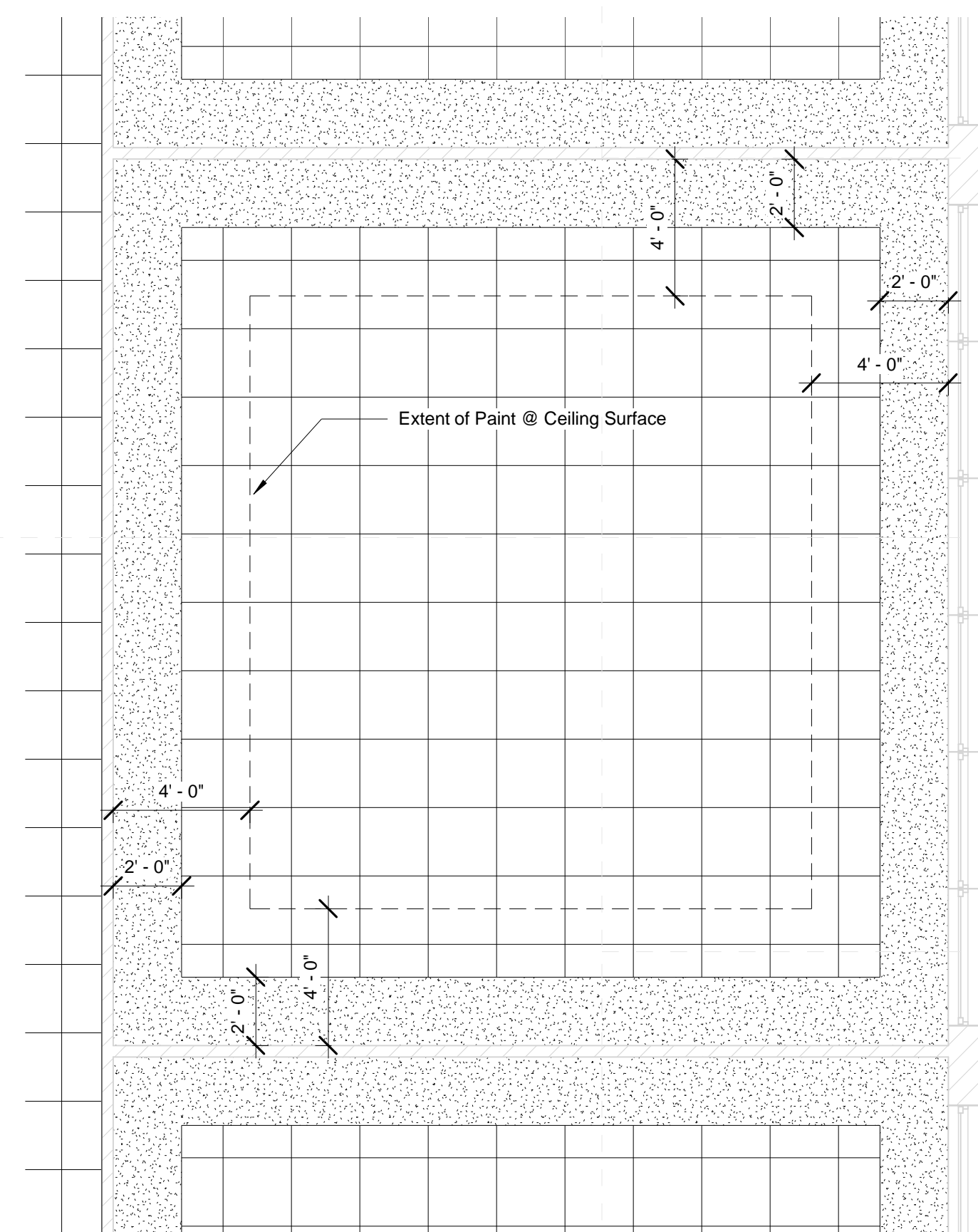
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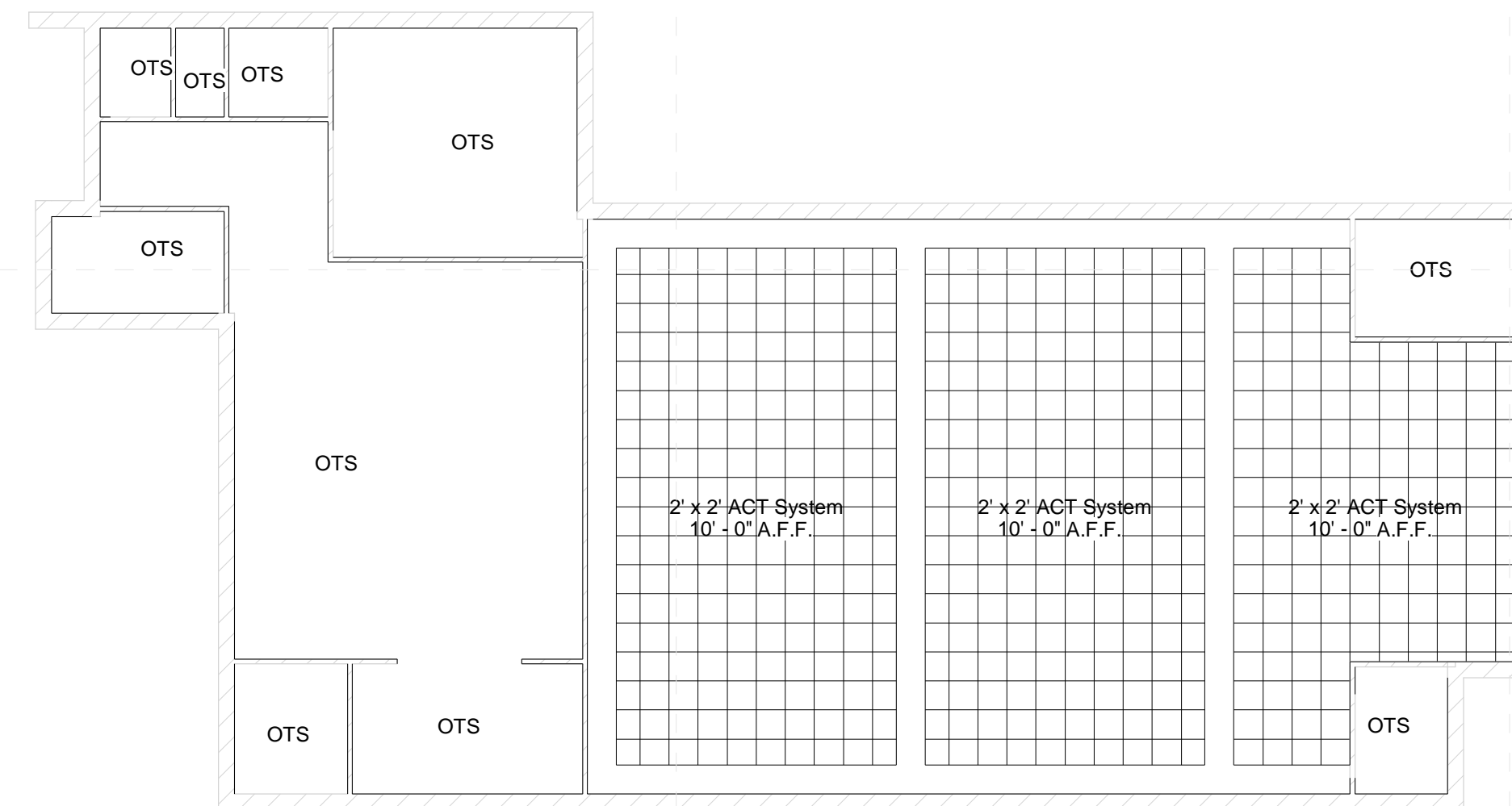
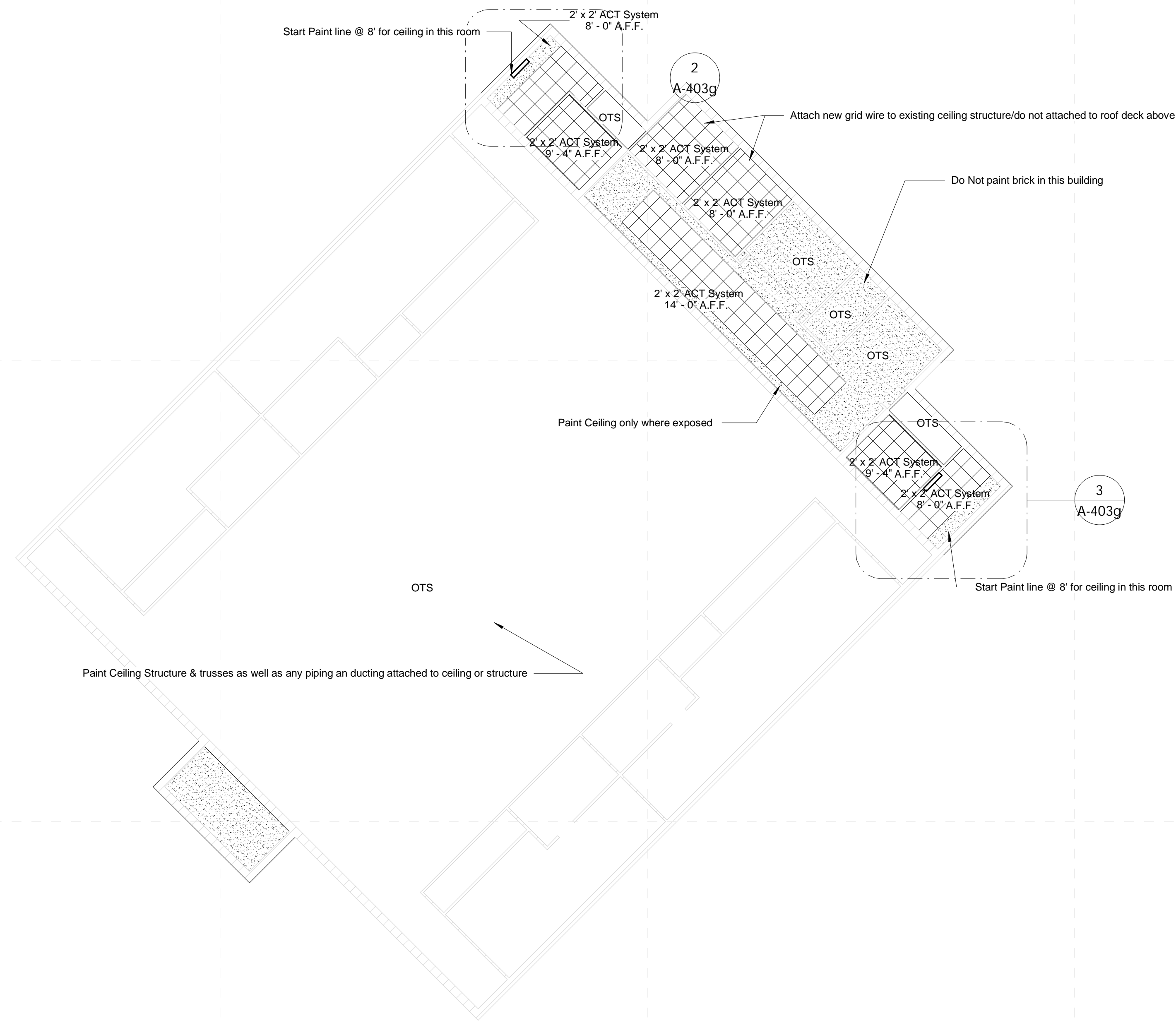
1 RCP - New Construction
3/32" = 1'-0"



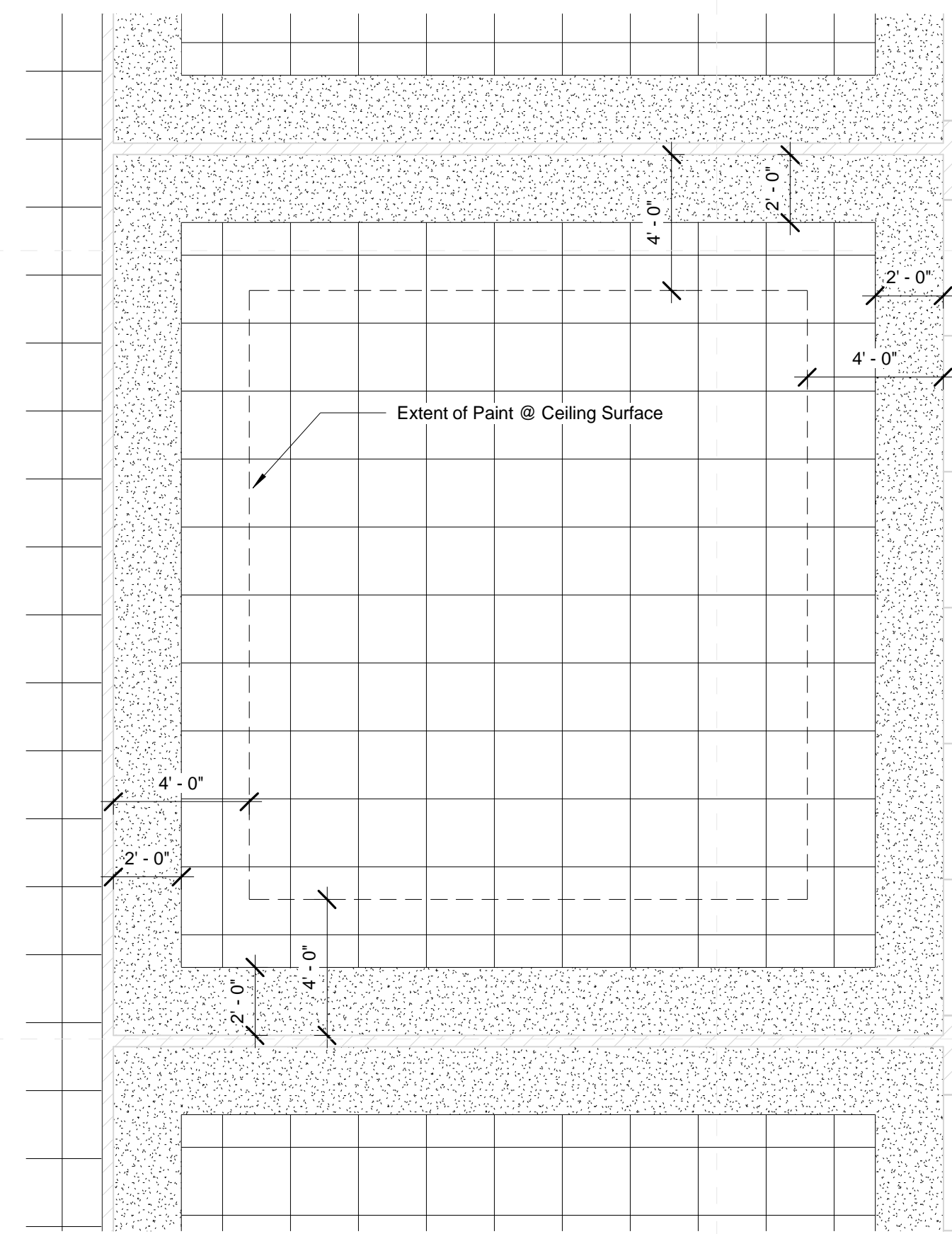
2 Typical Ceiling Layout
1/4" = 1'-0"



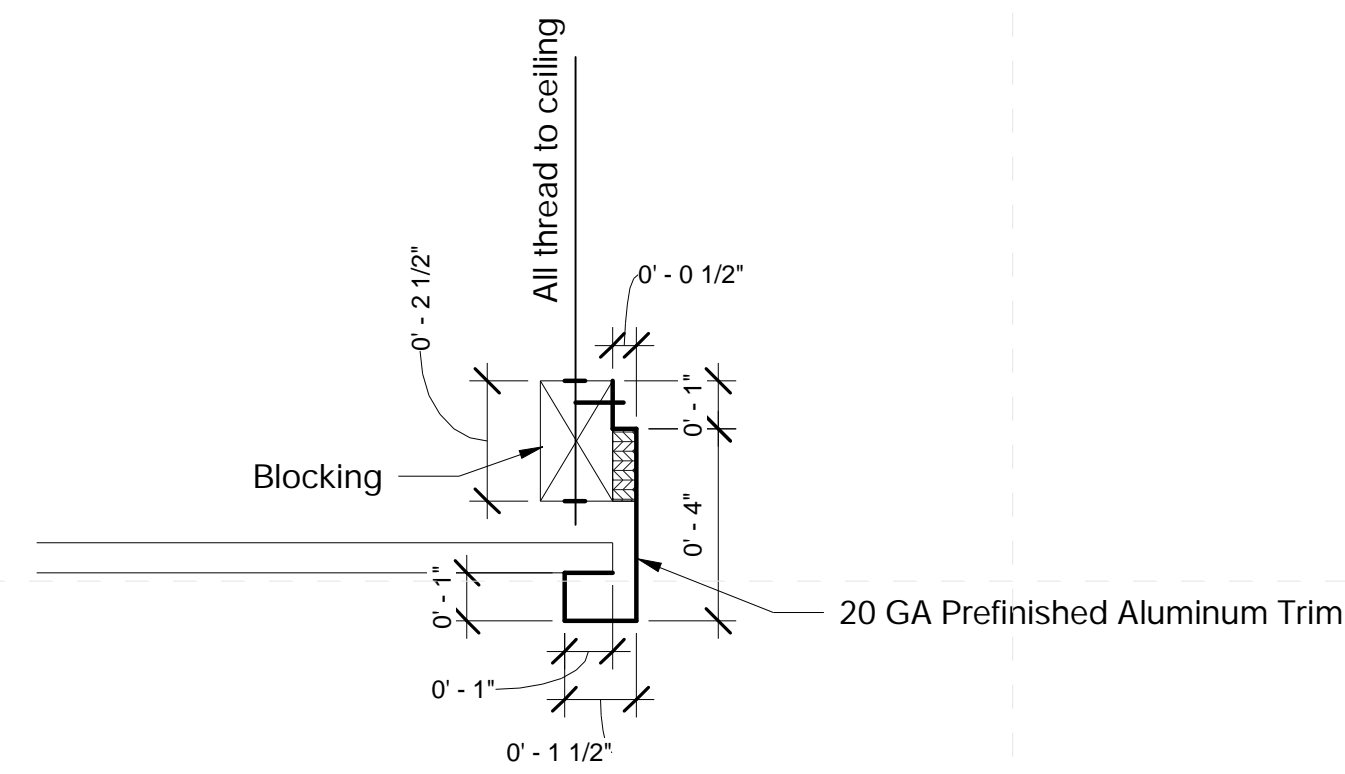
1 RCP - New Construction Gym/Cafe
3/32" = 1'-0"



2 Typical Ceiling
1/4" = 1'-0"



○ Ceiling Edge Trim Detail
3" = 1'-0"



General RCP Notes

- All ceiling heights shall be same as existing or lower, unless noted otherwise.
- Contractor shall paint all surfaces above 10'-0" at wall, roof, and ceiling, as well as anything attached therein at all exposed sections of ceilings where not covered by new 2x2 ACT, unless noted otherwise.
- Repair/replace any and all ceiling damaged due to construction activities.
- Bent ceiling grid damaged due to construction activities shall be replaced or bent to appear as new in shape.
- ACT in auditorium to be reveal edged

Ceiling Legend

- Moisture Resistant Acoustical Lay In Ceiling
- Colored Acoustical Lay In Ceiling
- Vinyl Faced Acoustical Lay In Ceiling
- Gypsum Board Ceiling
- 2x2 Acoustical Lay In Ceiling
- Plaster/Stucco
- Concealed Fastener Painted Metal Soffit
- 2x2 Fluorescent Fixture
- Surface-Mounted Fluorescent Light Fixture
- Recessed Can Light Fixture
- HVAC Supply Grille
- HVAC Return Grille
- Exterior Wall Light
- Interior Wall Light
- Open to Structure (OTS)

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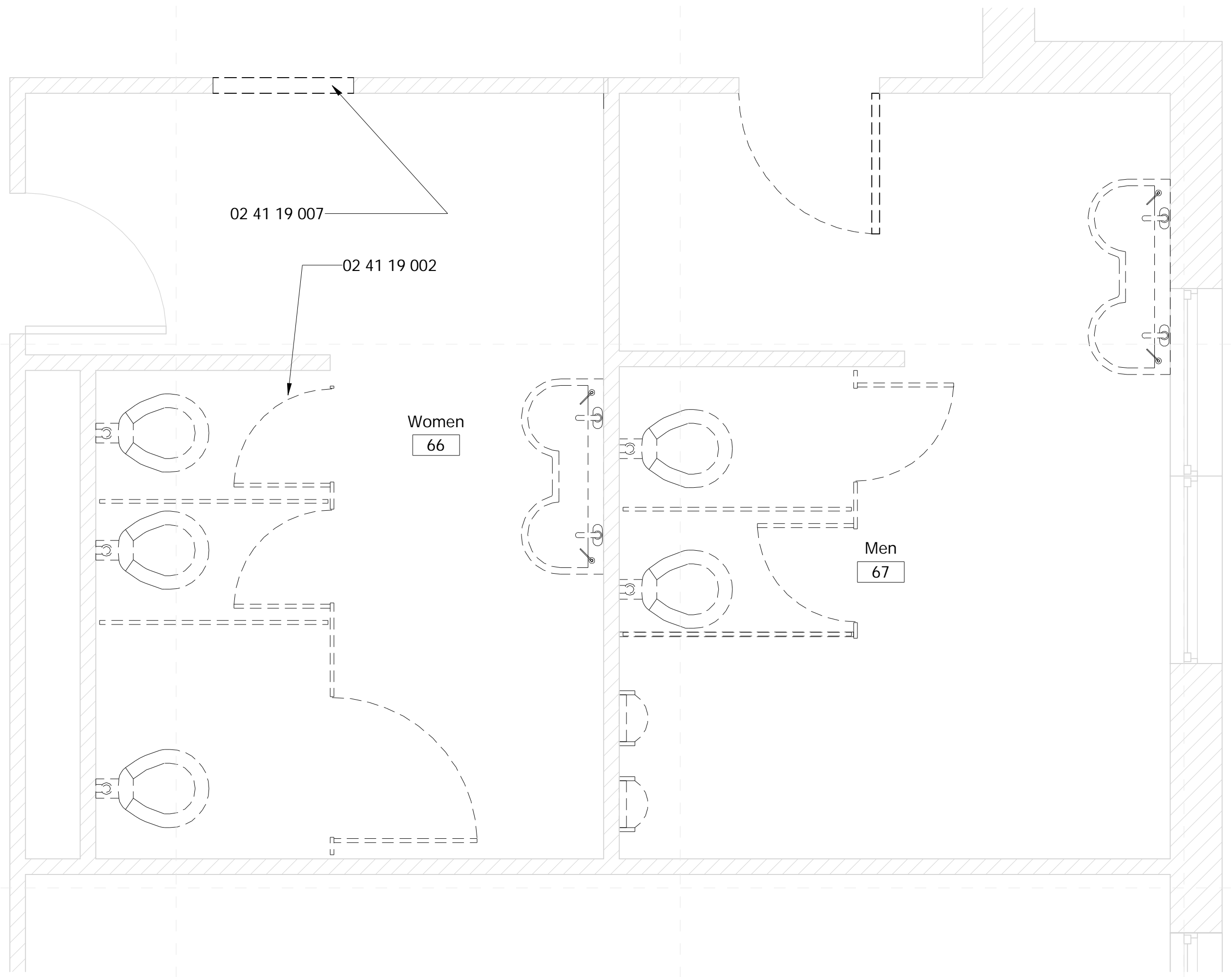
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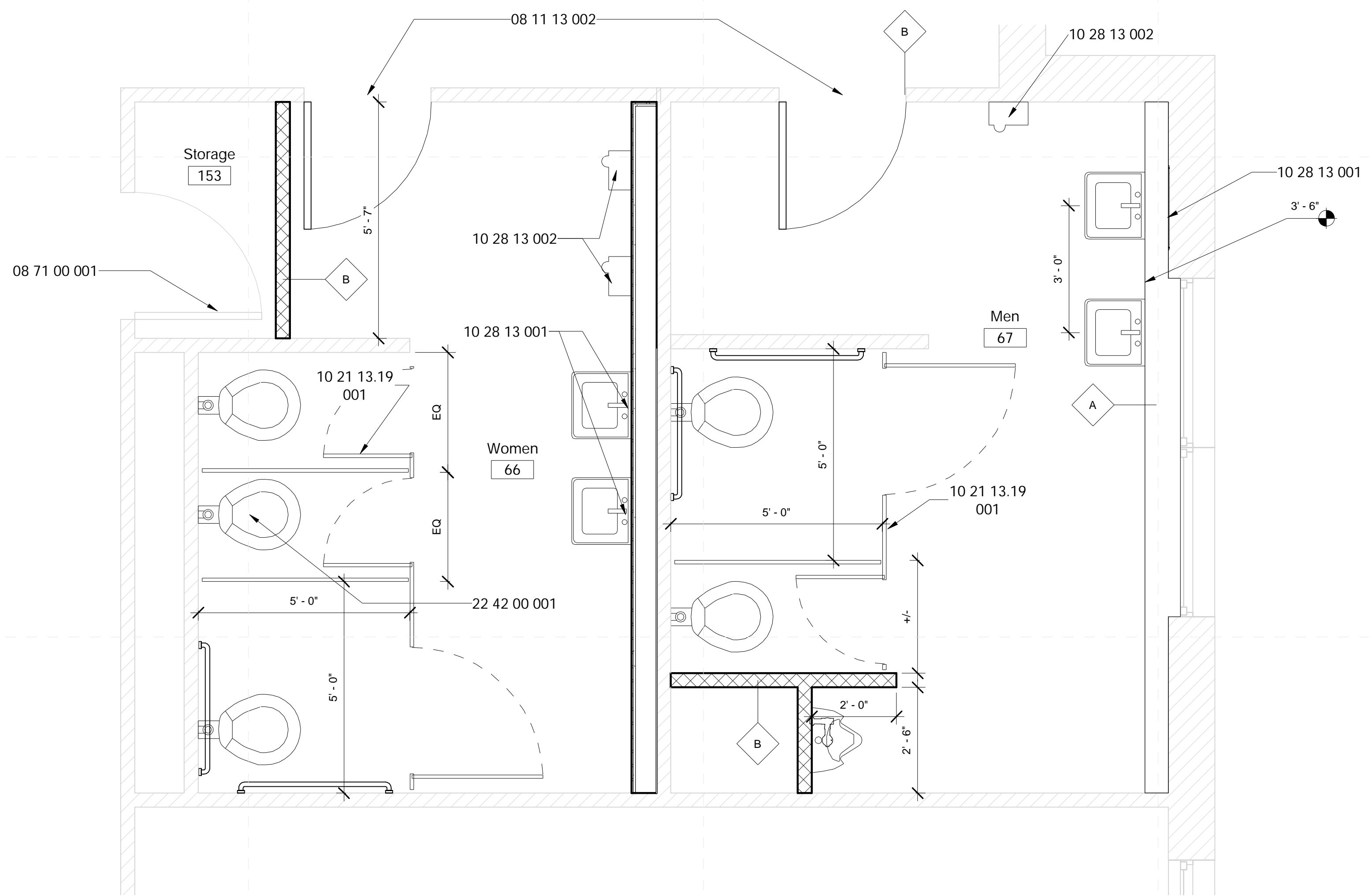
Sunflower Consolidated School District ESSER 2&3 Phase I
Ruleville Middle School: 250 Oscar St, Ruleville, MS 38771

Construction Documents

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Date	June 2021
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1 Central Toilets - Existing
1/2" = 1'-0"



2 Central Toilets - New Construction
1/2" = 1'-0"

General Demolition Notes

1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
2. Remove all existing flooring, ceiling tile, rubber base, etc., where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract
5. Burying or Burning of materials will not be permitted on site.
6. Repair any damage caused to building construction identified to remain.
7. Refer to other discipline drawings for additional demolition information as noted
8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
11. Remove partitions and existing fixtures.

Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 007	Coordinate measurements with new construction
08 11 13 002	Install new 36" HM Door and Frame with new hardware
08 71 00 001	Replace all door hardware with new at existing leaf
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

General Finish Plan Notes

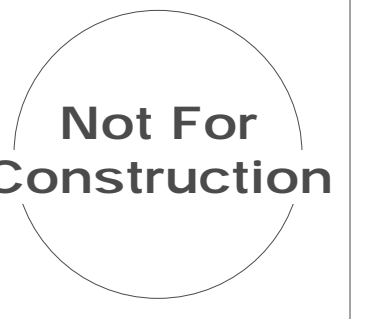
1. Patch tile at all floors and walls with matching material where missing or removed due to construction, unless noted otherwise.
2. Install new grab bars at all ADA & AMB toilets
3. Install moisture resistant back board at all new tile.
4. Clean and reseal grout at floor tile.
5. Paint exposed drywall at toilet rooms.

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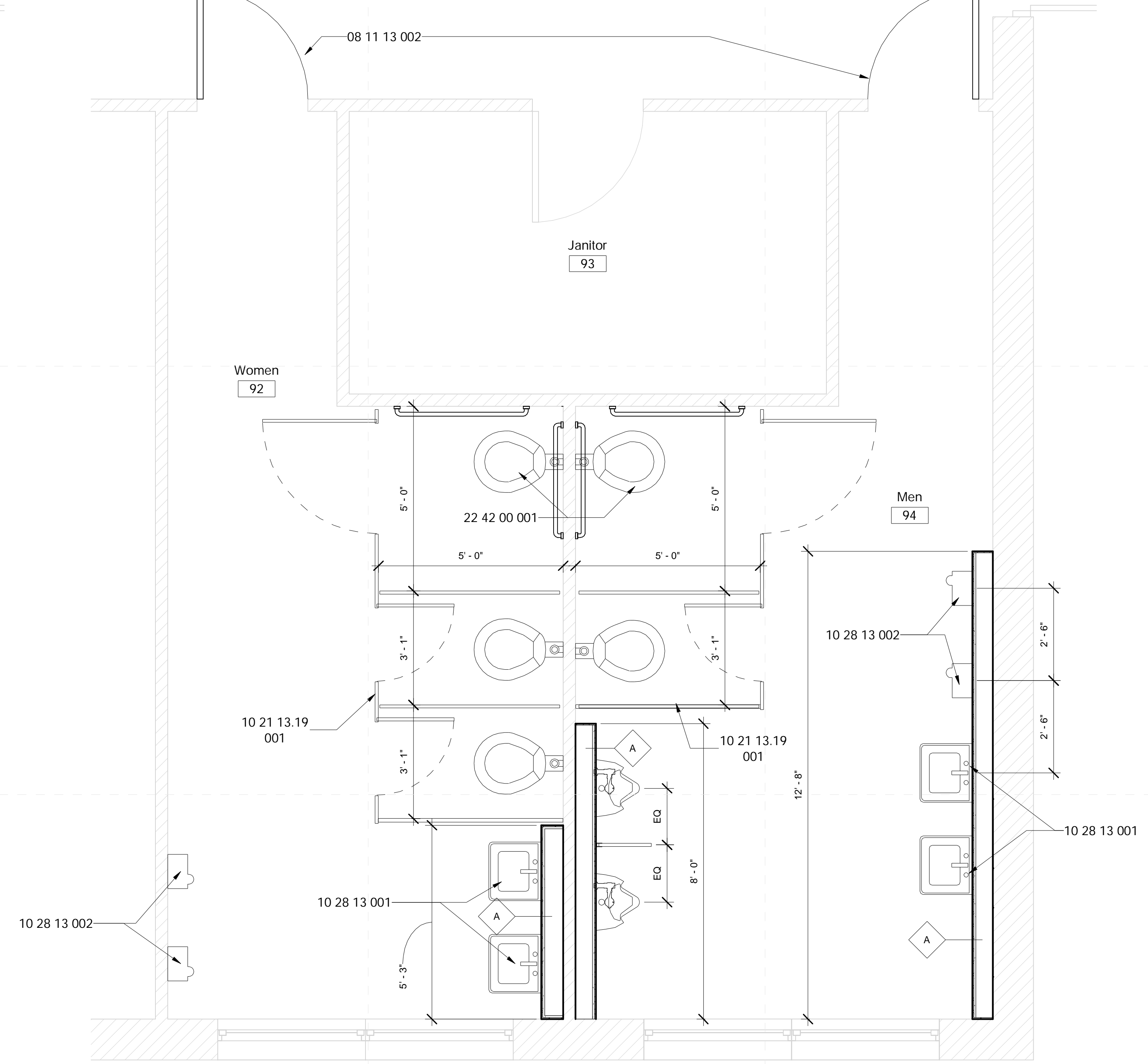
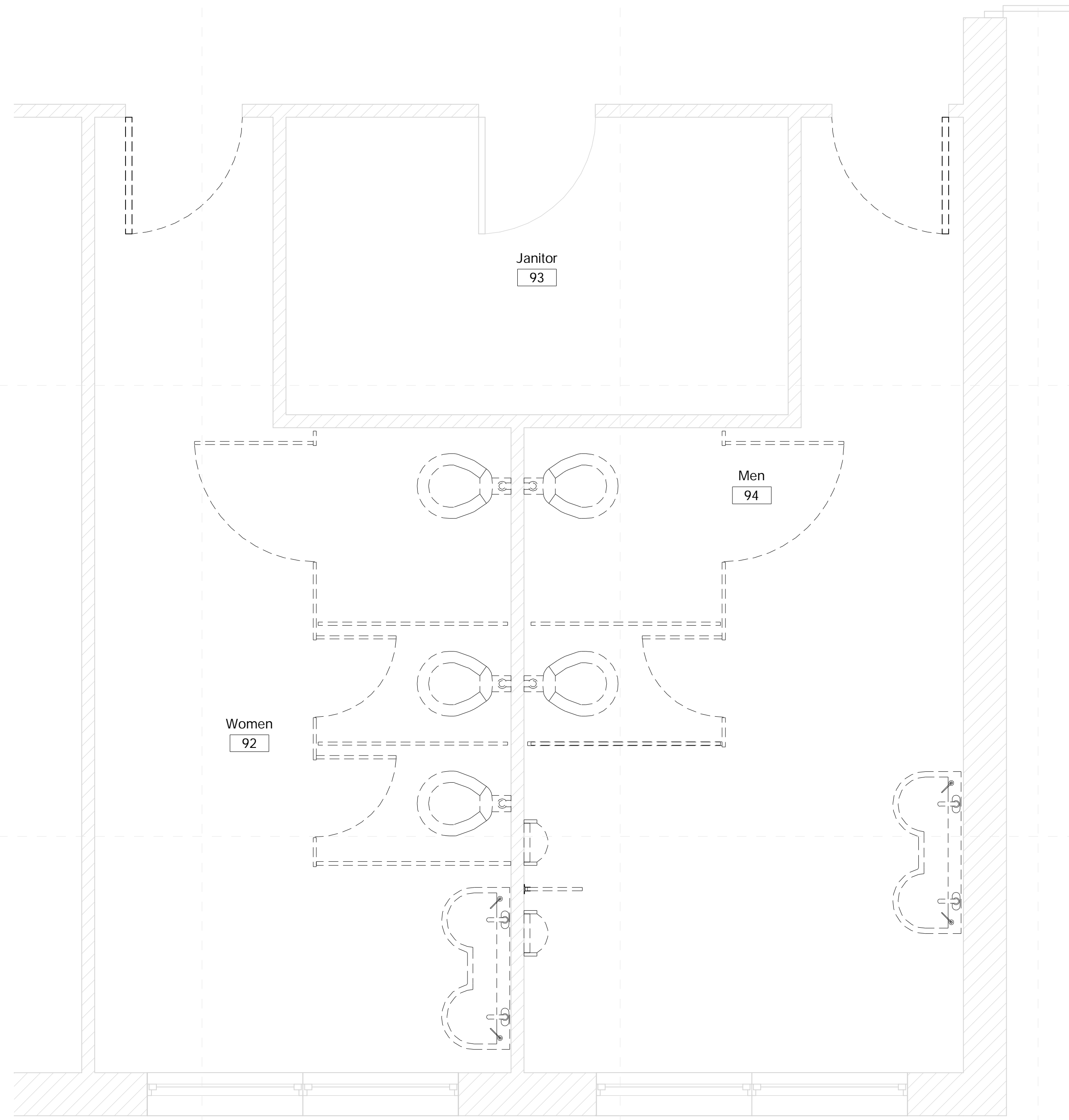
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- General Demolition Notes**
- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
 - Remove all existing flooring, ceiling tile, rubber base, etc., where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
 - Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
 - Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
 - Burying or Burning of materials will not be permitted on site.
 - Repair any damage caused to building construction identified to remain.
 - Refer to other discipline drawings for additional demolition information as noted
 - Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
 - Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
 - Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
 - Remove partitions and existing fixtures.

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Sunflower Consolidated School District ESSER 2&3 Phase I
Ruleville Middle School: 250 Oscar St, Ruleville, MS 38771

- Specific Notes**
- | | |
|-----------------|---|
| 08 11 13 002 | Install new 36" HM Door and Frame with new hardware |
| 10 21 13.19 001 | Install new toilet partitions (typical) |
| 10 28 13 001 | Install wall hung mirror here; center over fixture unless noted otherwise |
| 10 28 13 002 | Install hand dryer here; coordinate with electrical & mechanical |
| 22 42 00 001 | Coordinate new fixture installations with mechanical, typical for new |

- General Finish Plan Notes**
- Patch tile at all floors and walls with matching material where missing or removed due to construction, unless noted otherwise.
 - Install new grab bars at all ADA & AMB toilets
 - Install moisture resistant back board at all new tile.
 - Clean and reseal grout at toilet tile.
 - Paint exposed drywall at toilet rooms.

Construction Documents

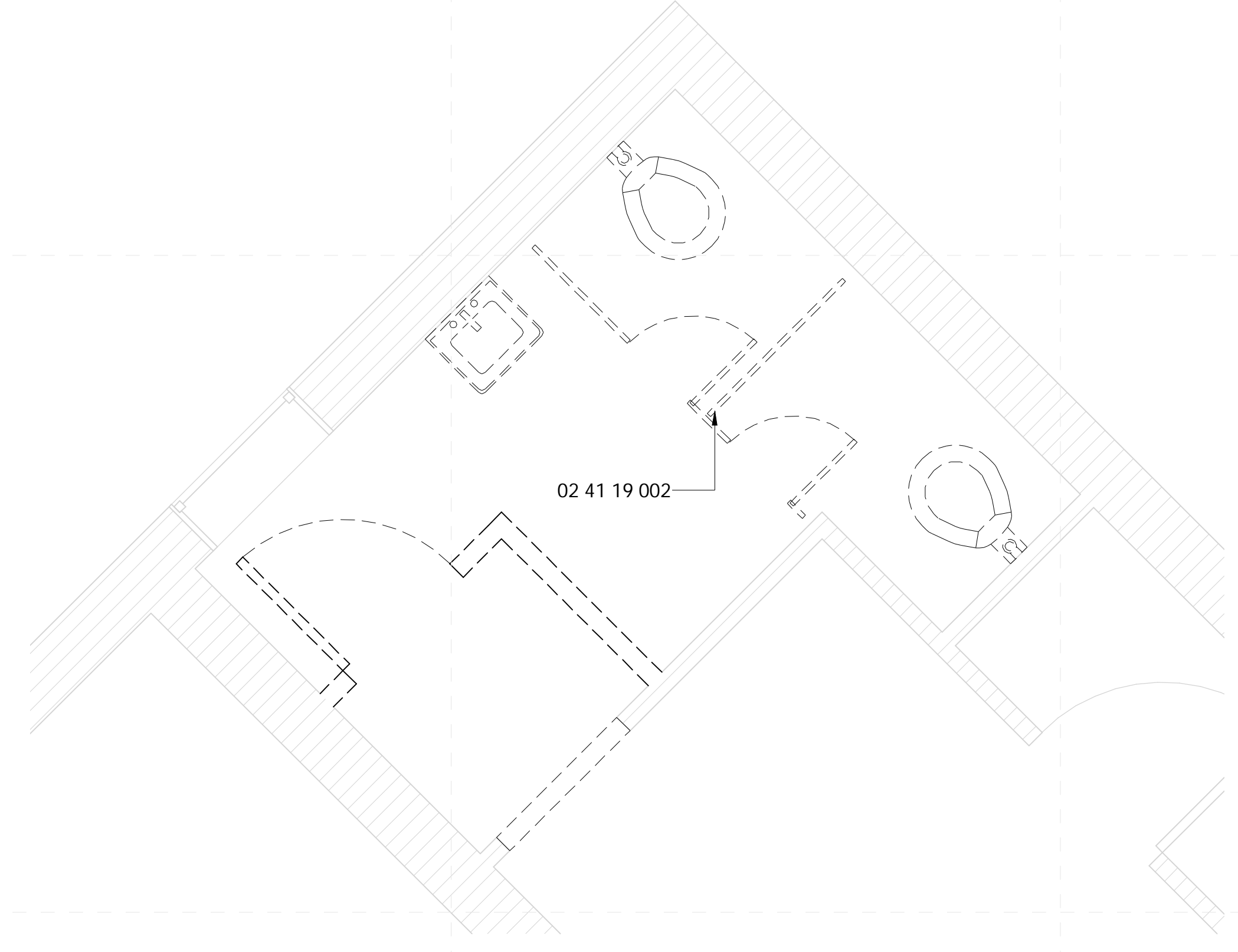
Project No	21027
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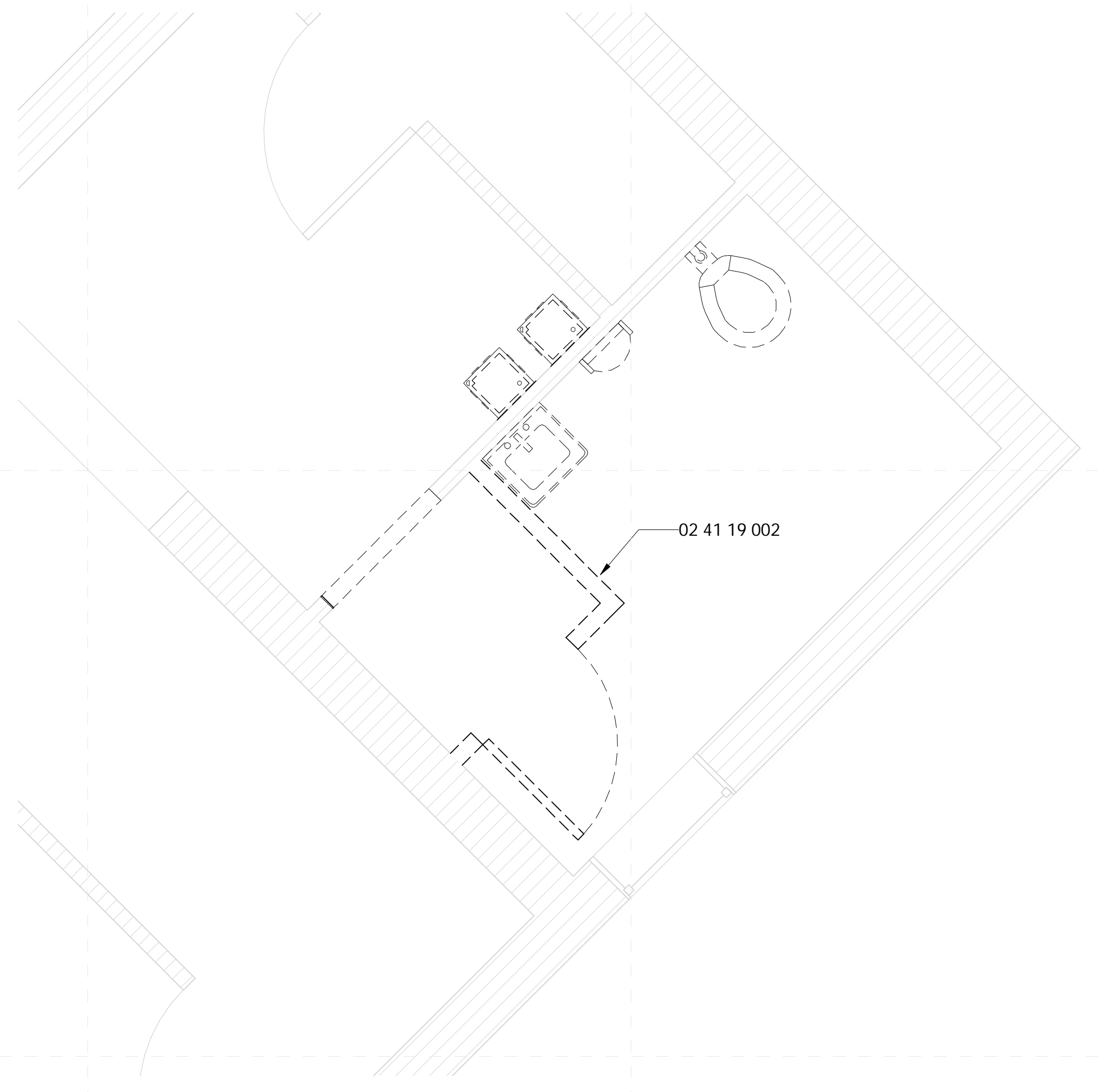
West Toilets

1 West Toilets - Existing
1/2" = 1'-0"

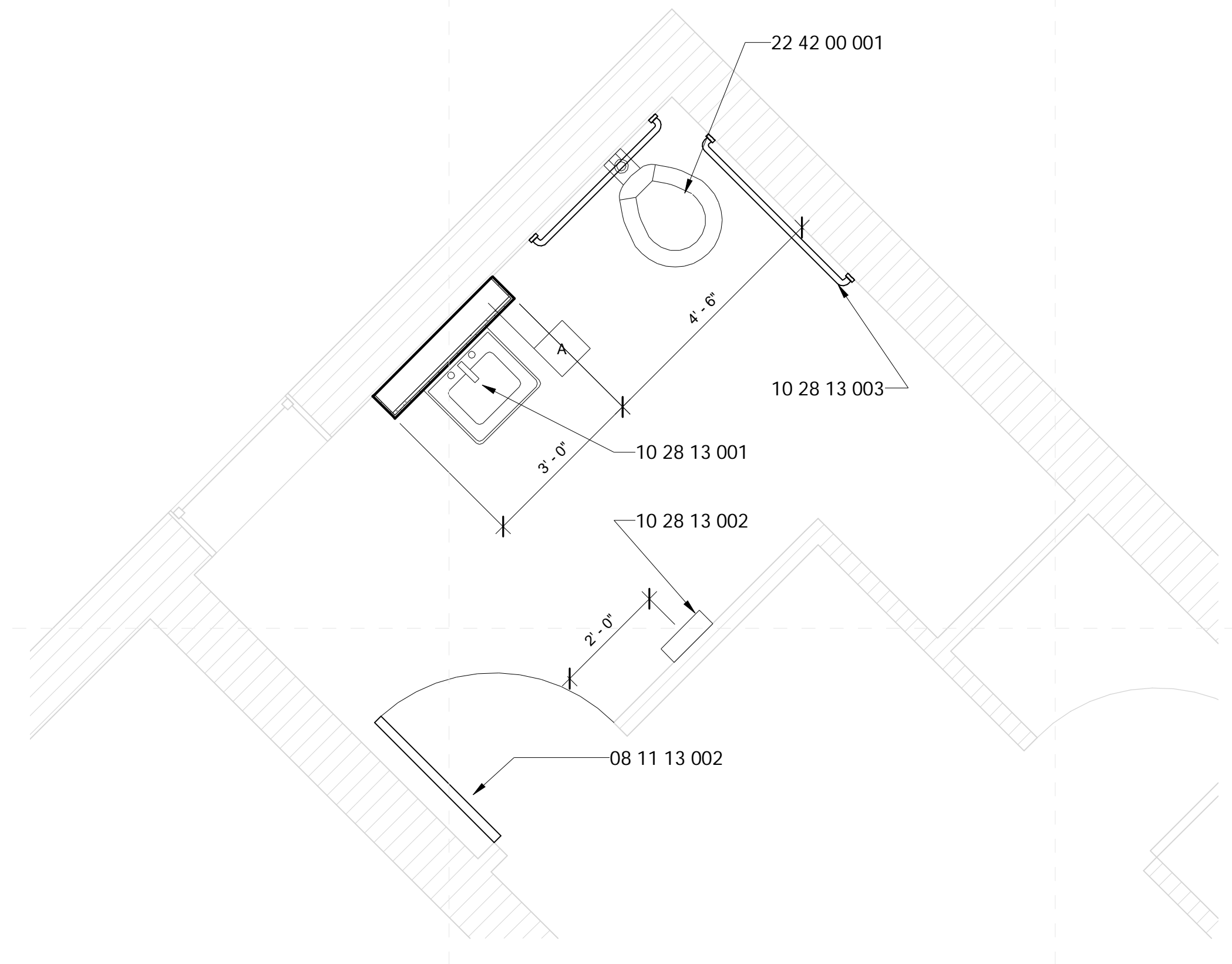
2 West Toilets - New Construction
1/2" = 1'-0"



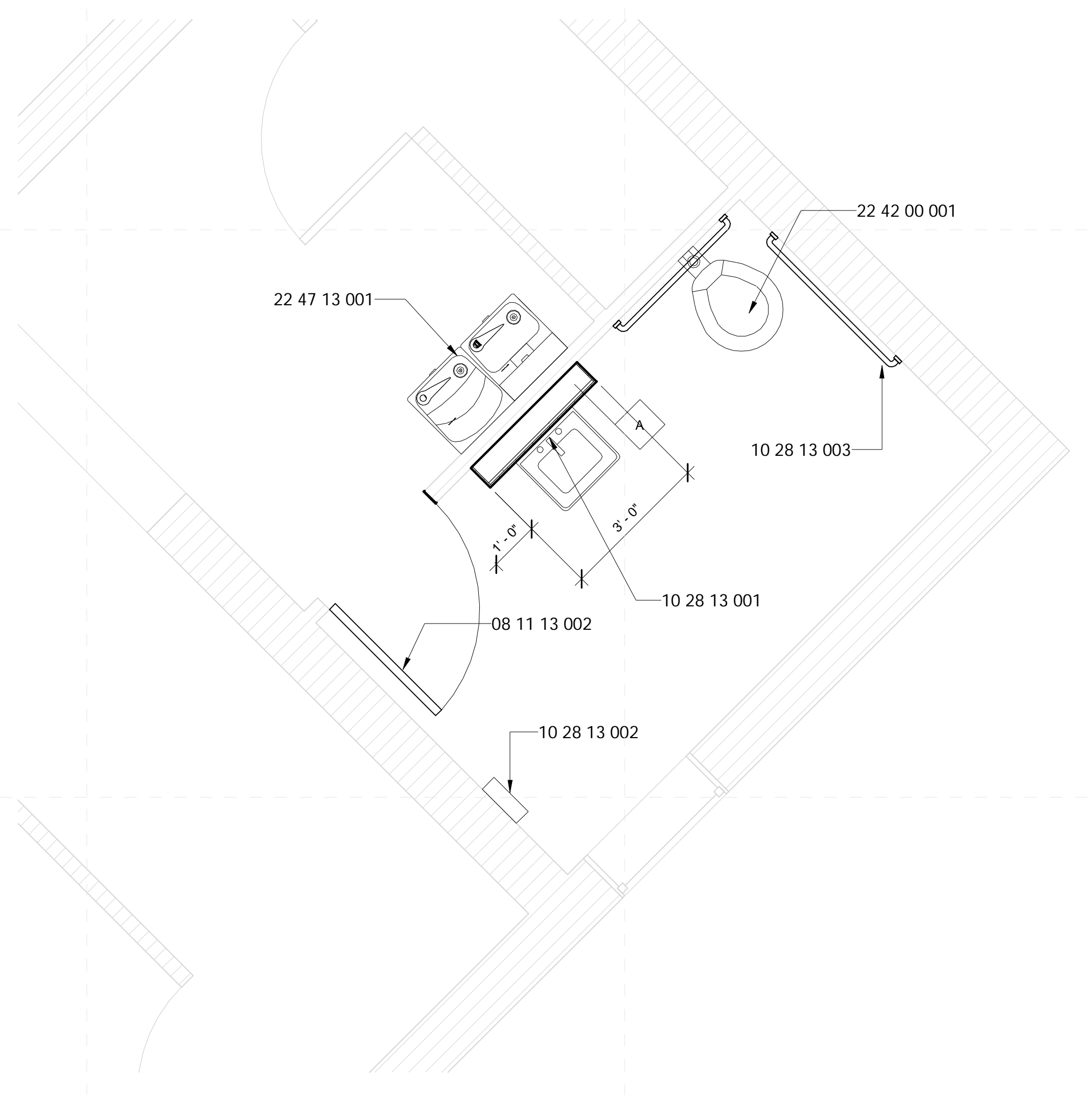
2 Gym Womens Toilets - Demolition
1/2" = 1'-0"



3 Gym Mens Toilets - Demolition
1/2" = 1'-0"



1 Gym Womens Toilets - New Construction
1/2" = 1'-0"



4 Gym Mens Toilets - New Construction
1/2" = 1'-0"

General Demolition Notes

- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc., where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
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- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- Remove partitions and existing fixtures.

Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
08 11 13 002	Install new 36" HM Door and Frame with new hardware
10 28 13 001	Install wall hung mirror here: center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here: coordinate with electrical & mechanical
10 28 13 003	Install new ADA/AMD Grab bars here
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new
22 47 13 001	Install double drinking fountain here: coordinate with mechanical & electrical drawings

General Finish Plan Notes

- Patch tile at all floors and walls with matching material where missing or removed due to construction, unless noted otherwise.
- Install new grab bars at all ADA & AMB toilets
- Install moisture resistant back board at all new tile.
- Clean and reseat grout at floor tile.
- Paint exposed drywall at toilet rooms.

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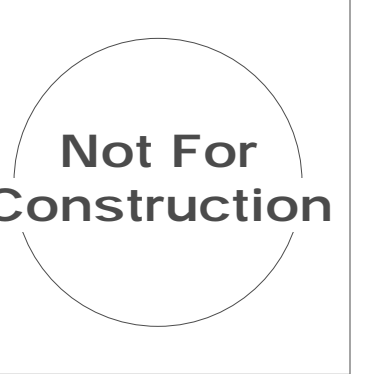
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