

All School's Specific Notes

02 00 00 001	Floor tile to remain; patch and repair as needed
02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 003	Demo FRP & Base at walls; typical at all bathroom interiors unless otherwise noted
08 11 13 001	Install metal door and frame to match existing for corrected swing
08 71 00 001	Replace all door hardware with new at existing leaf
09 30 13 001	Install new floor tile; slope to floor drain is drain provided
09 30 13 003	Install new wall tile flush and straight with accent top piece, floor to highest partial wall or window sill height; typical at bathroom interior unless noted otherwise
09 30 13 004	Prep surface for new tile install; contractor shall be responsible for issues concerning lack of adhesion between mortar and substrates as well as levelness of finished tile
09 30 13 005	Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
09 30 13 006	Install accent tile at this wall
10 21 13.19.001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new
22 47 13 001	Install double drinking fountain here; coordinate with mechanical & electrical drawings
22 47 13 002	Install single drinking fountain here; coordinate with mechanical & electrical drawings



Front of School



Boys 49



Girls 50



Boys 57



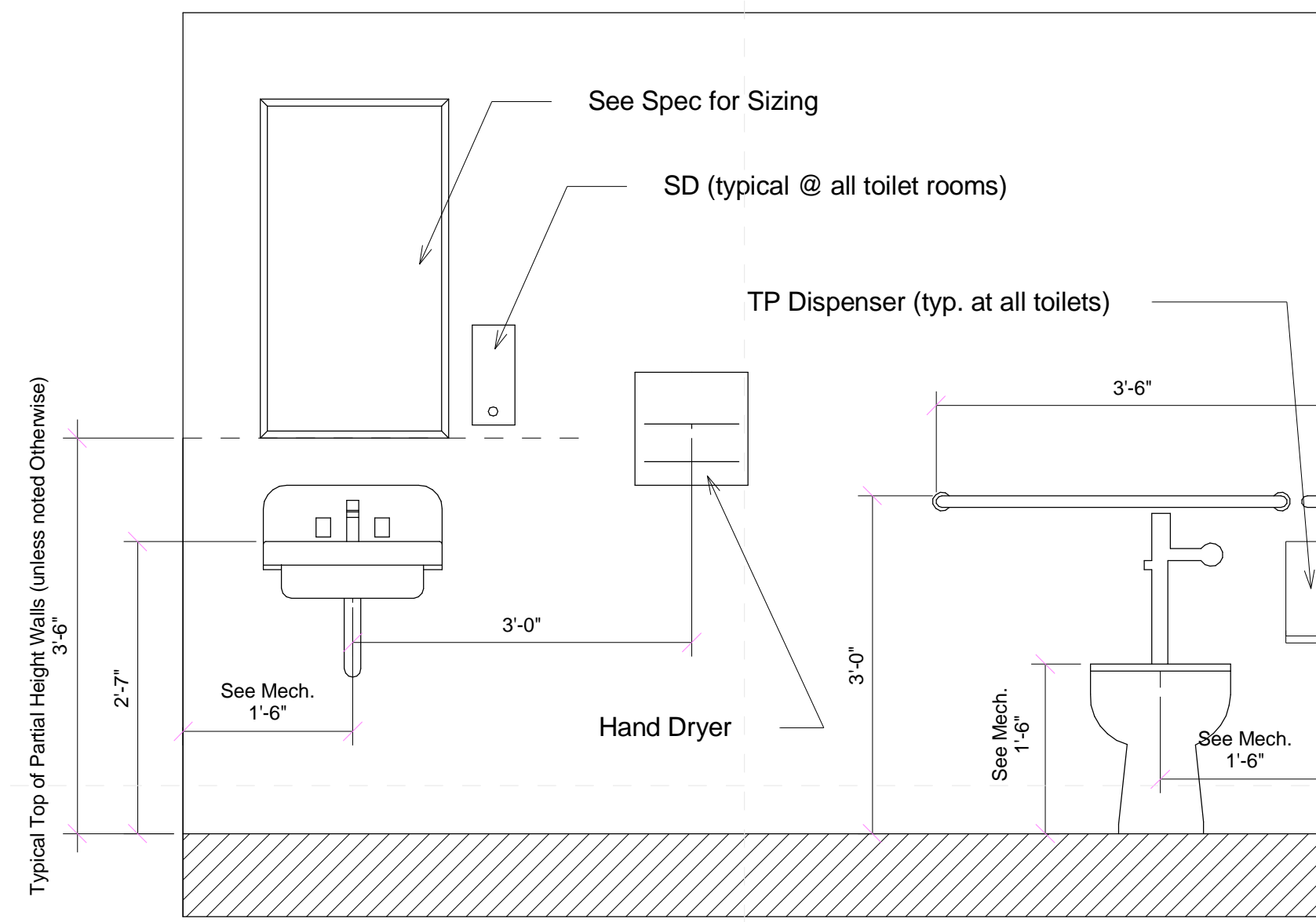
Girls 59



Boys 86

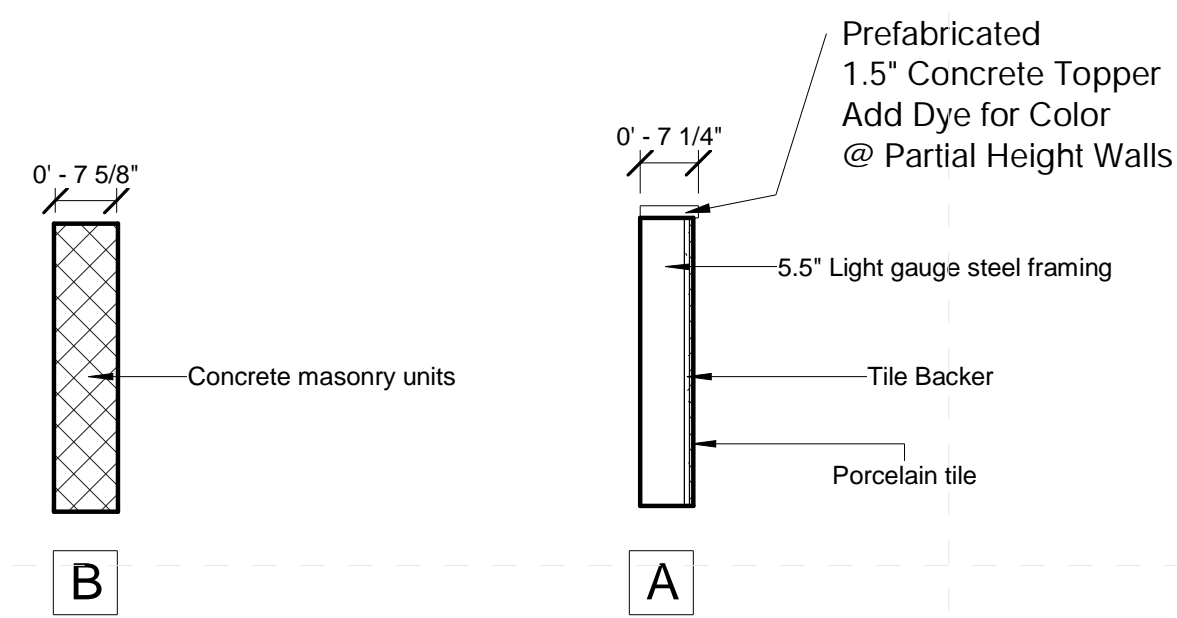


Girls 85



Typical Toilet Room Wall

3/4" = 1'-0"



Wall Types

1/2" = 1'-0"

Architects

One Jackson Place 250
188 East Capitol Street
Jackson, MS 39201
p 601.352.5411

201 Park Court Suite B
Ridgeland, MS 39157
p 601.790.9432

161 Lameuse St. Suite 201
Biloxi, MS 39530
p 228.374.1409

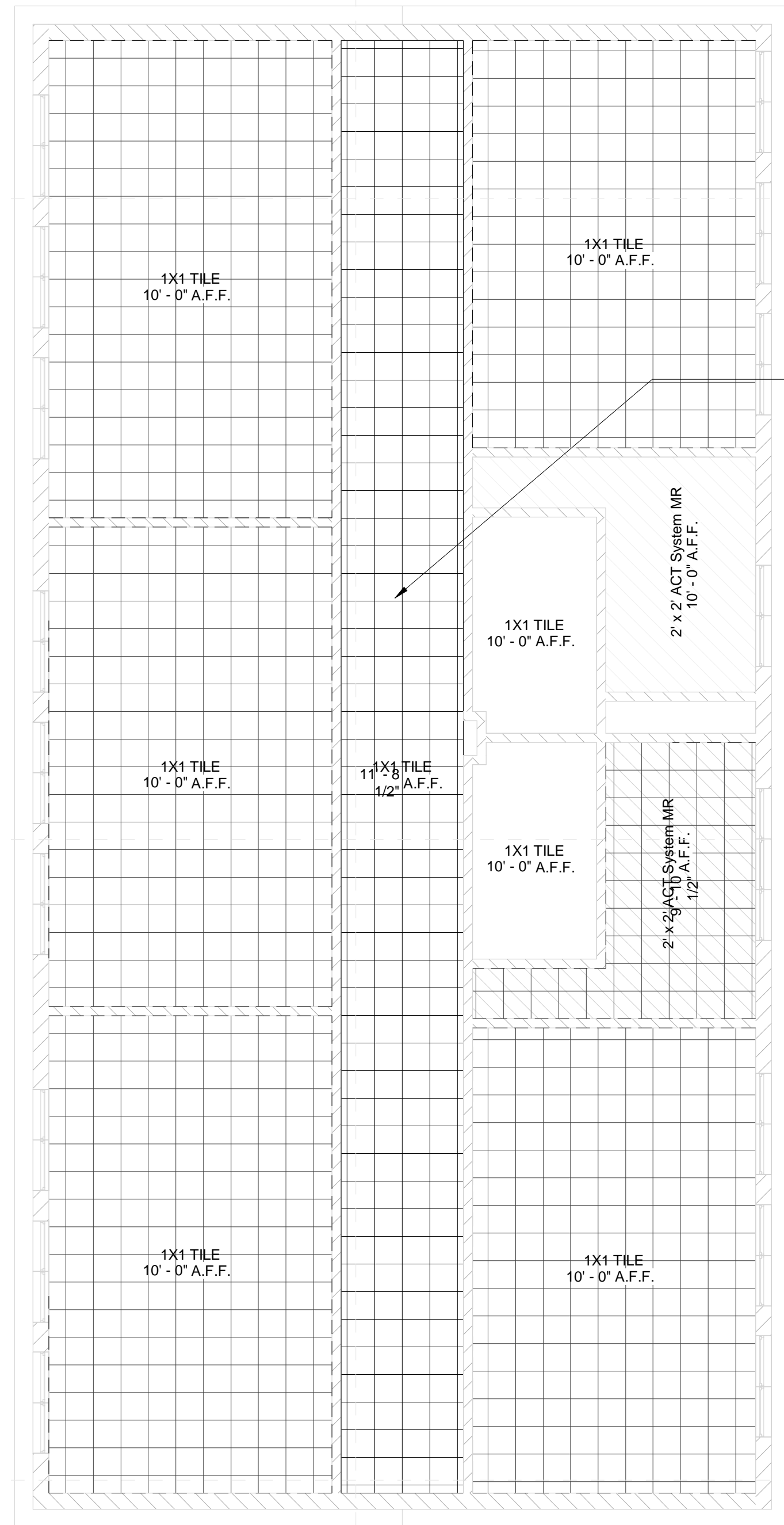
dalebaileyplans.com

Not For
Construction

Sunflower Consolidated School District
Ruleville Elementary School: 410 L F Packer Dr. Ruleville, MS 38771

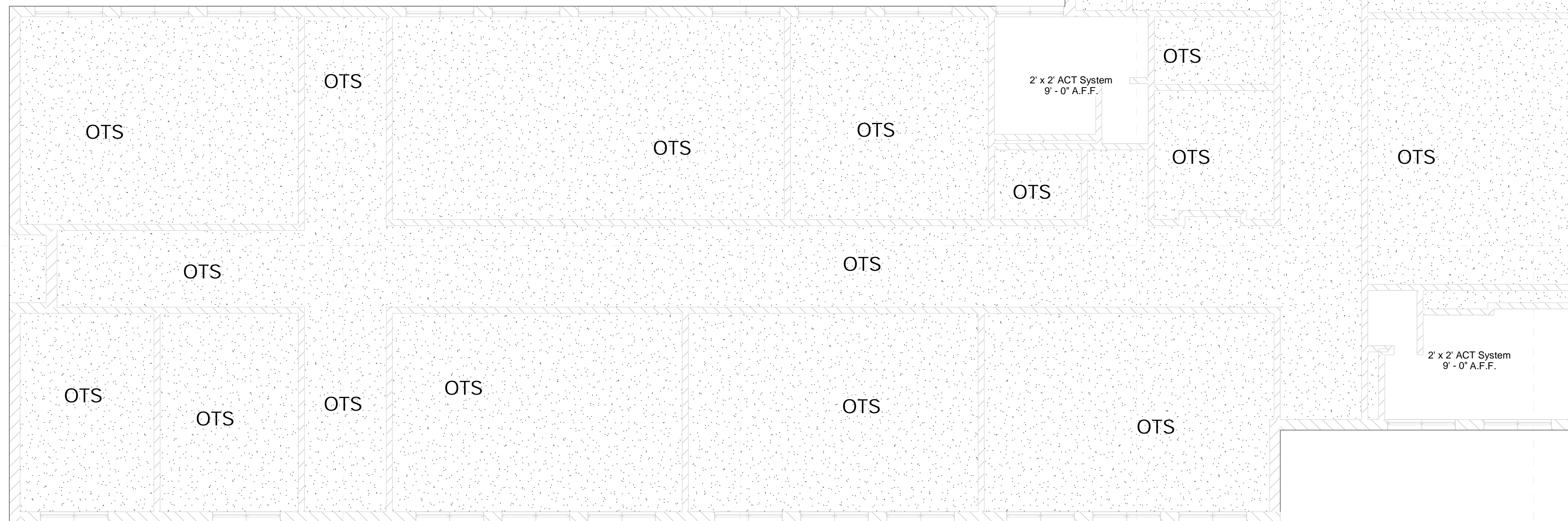
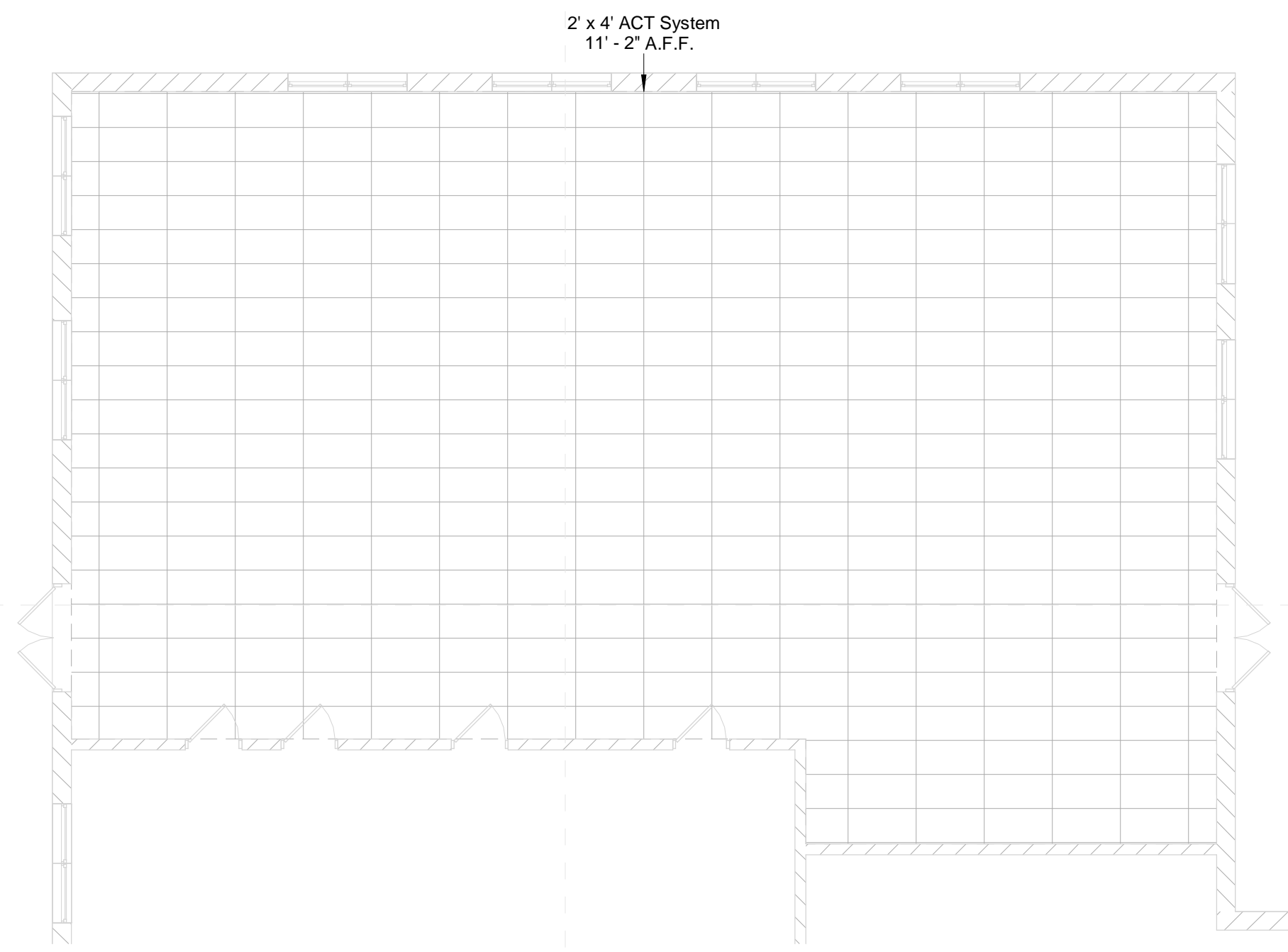
Design
Development

Project No	00000
Date	Issue Date
Revisions	Rev Date
1	10/5/2021
2	11/26/2021

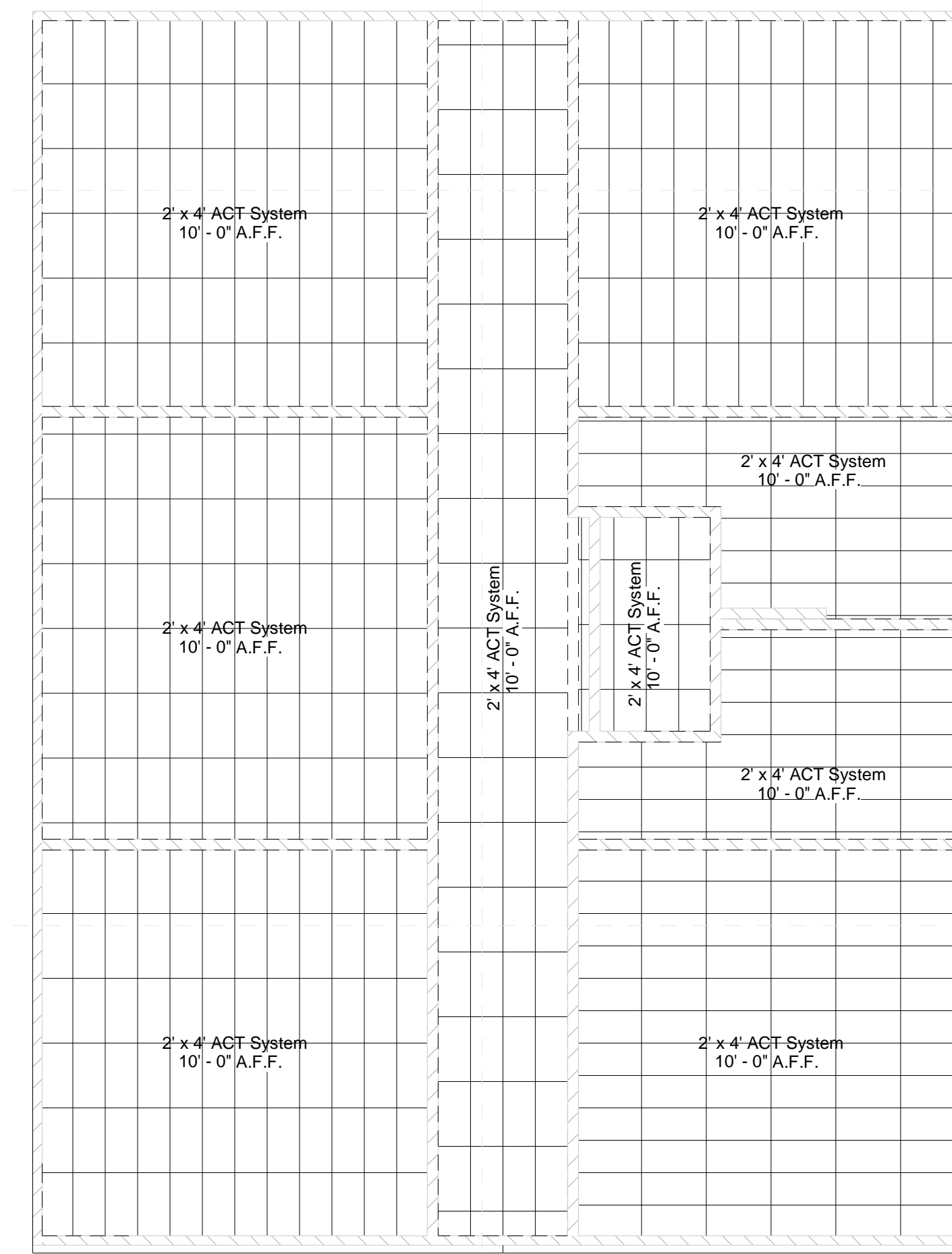


Leave Existing 1x1 Tile Undisturbed
(Typ. this Building Only)

2 Cafeteria - Demolition
1/8" = 1'-0"



1 RCP - Existing Demo
1/8" = 1'-0"

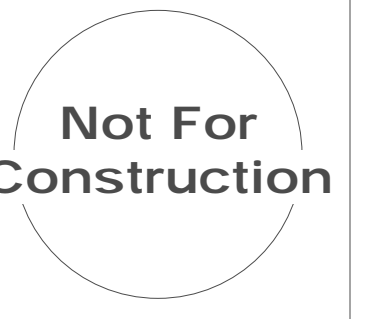


General RCP Demolition Notes

- Where ceiling transitions from new ceiling to existing ceiling, coordinate with Architect detail.
- Remove all existing ceiling grid & tile unless noted otherwise, as well as any wall fasteners and/or mastics attached therein where shown to be replaced by new materials.
- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- Burying or Burning of materials will not be permitted on site.
- Repair any damage caused to building construction identified to remain.
- Refer to other discipline drawings for additional demolition information as noted.
- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- No work in rooms with ceiling open to the structure above, unless noted otherwise.

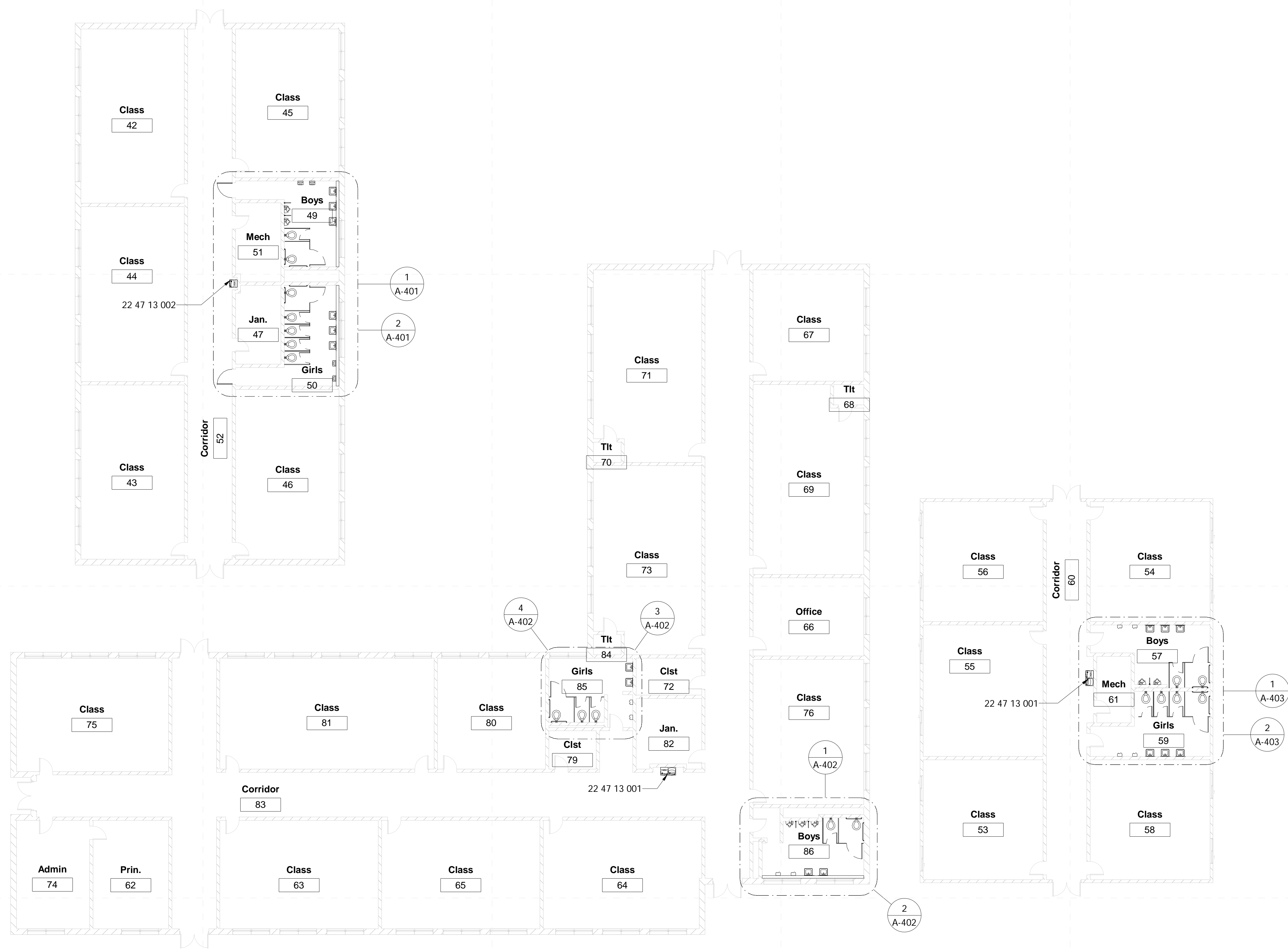
Ceiling Legend

- Moisture Resistant Acoustical Lay In Ceiling
- Colored Acoustical Lay In Ceiling
- Vinyl Faced Acoustical Lay In Ceiling
- Gypsum Board Ceiling
- 2x2 Acoustical Lay In Ceiling
- Plaster/Stucco
- Concealed Fastener Painted Metal Soffit
- 2x2 Fluorescent Fixture
- Surface-Mounted Fluorescent Light Fixture
- Recessed Can Light Fixture
- HVAC Supply Grille
- HVAC Return Grille
- Exterior Wall Light
- Interior Wall Light
- Open to Structure (OTS)



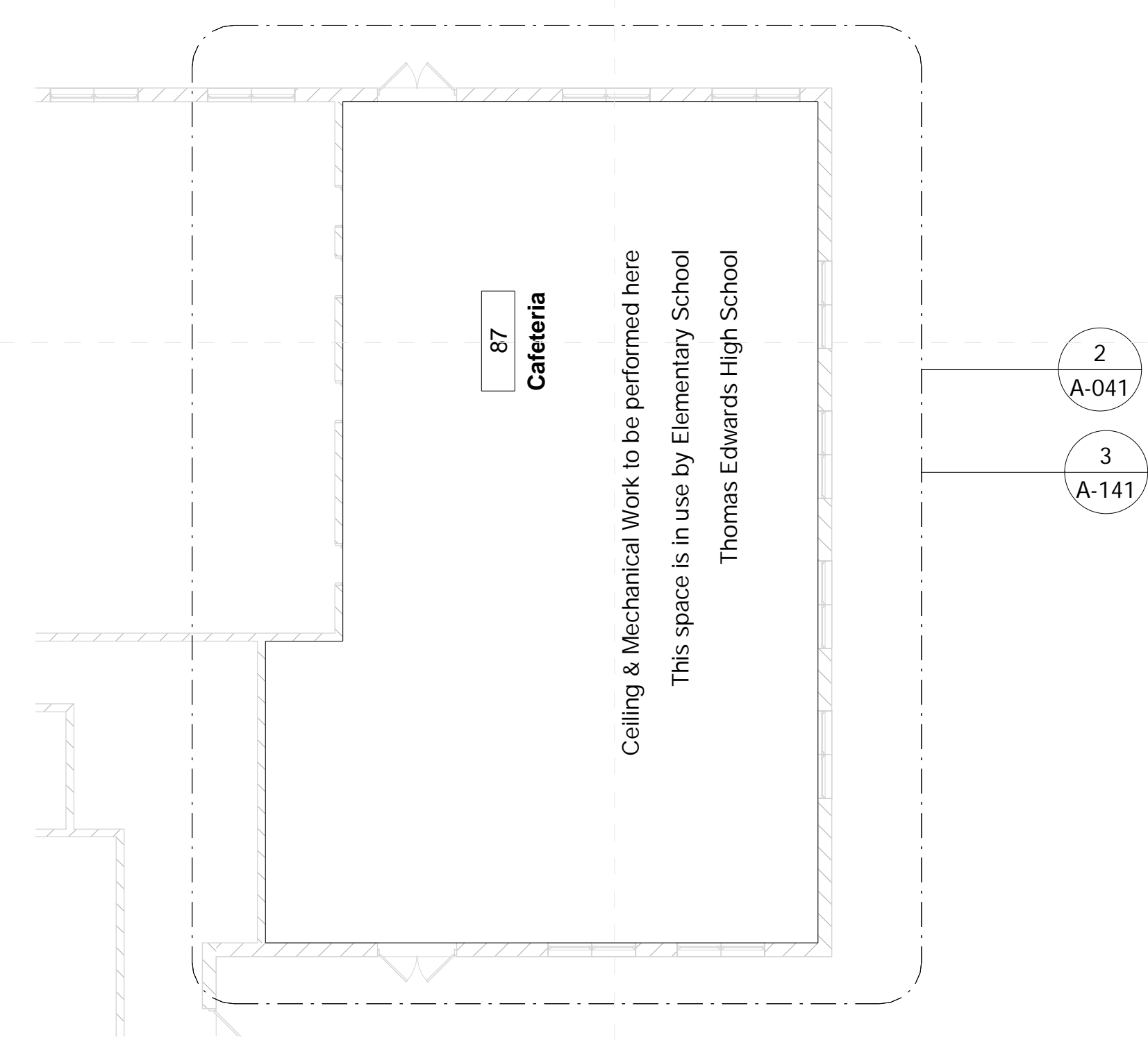
Design Development

Project No	00000
Date	Issue Date
Revisions	Rev Date
1	10/5/2021
2	11/26/2021

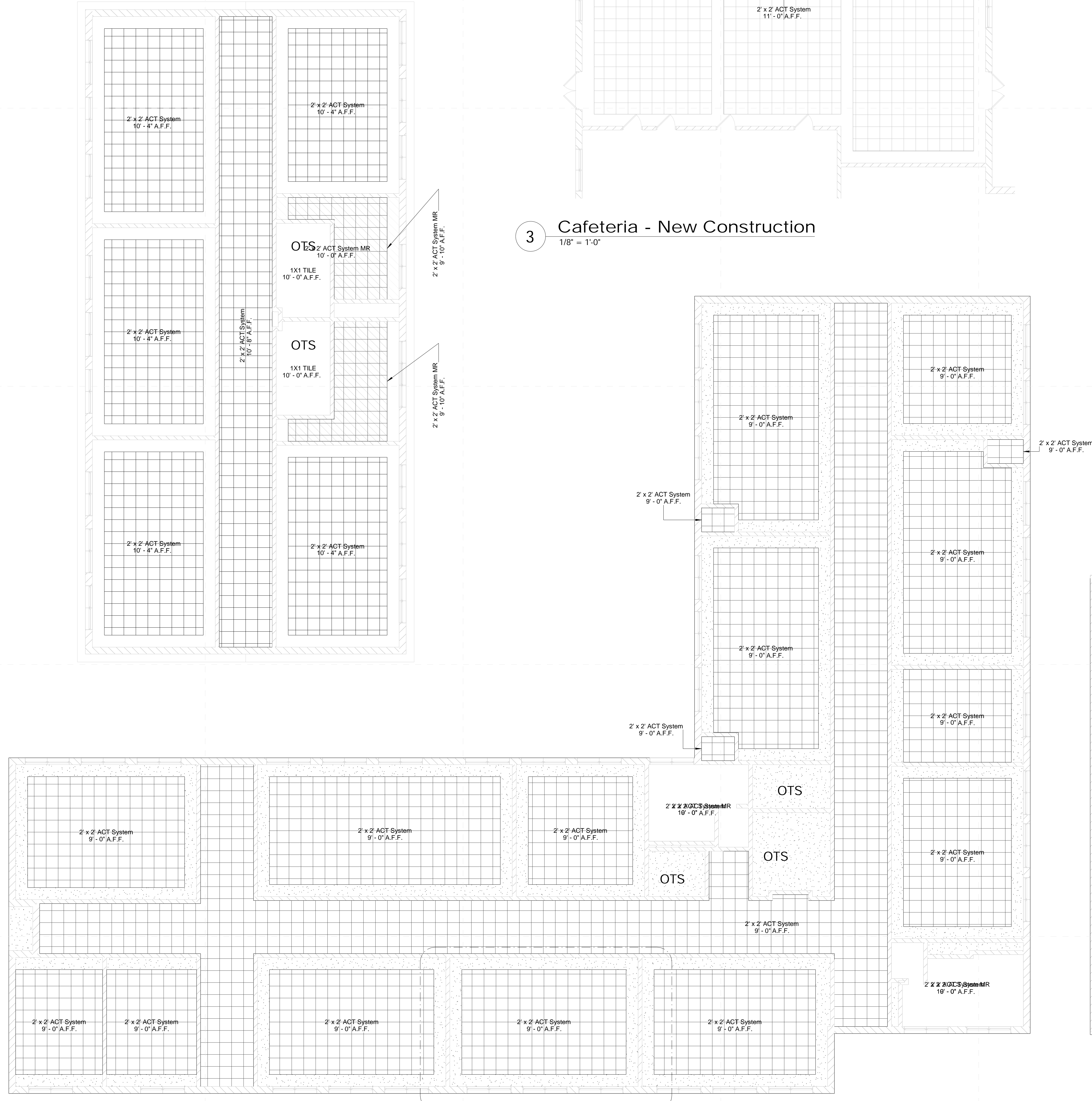


- Specific Notes**
- 22 47 13 001 Install double drinking fountain here; coordinate with mechanical & electrical drawings
 - 22 47 13 002 Install single drinking fountain here; coordinate with mechanical & electrical drawings

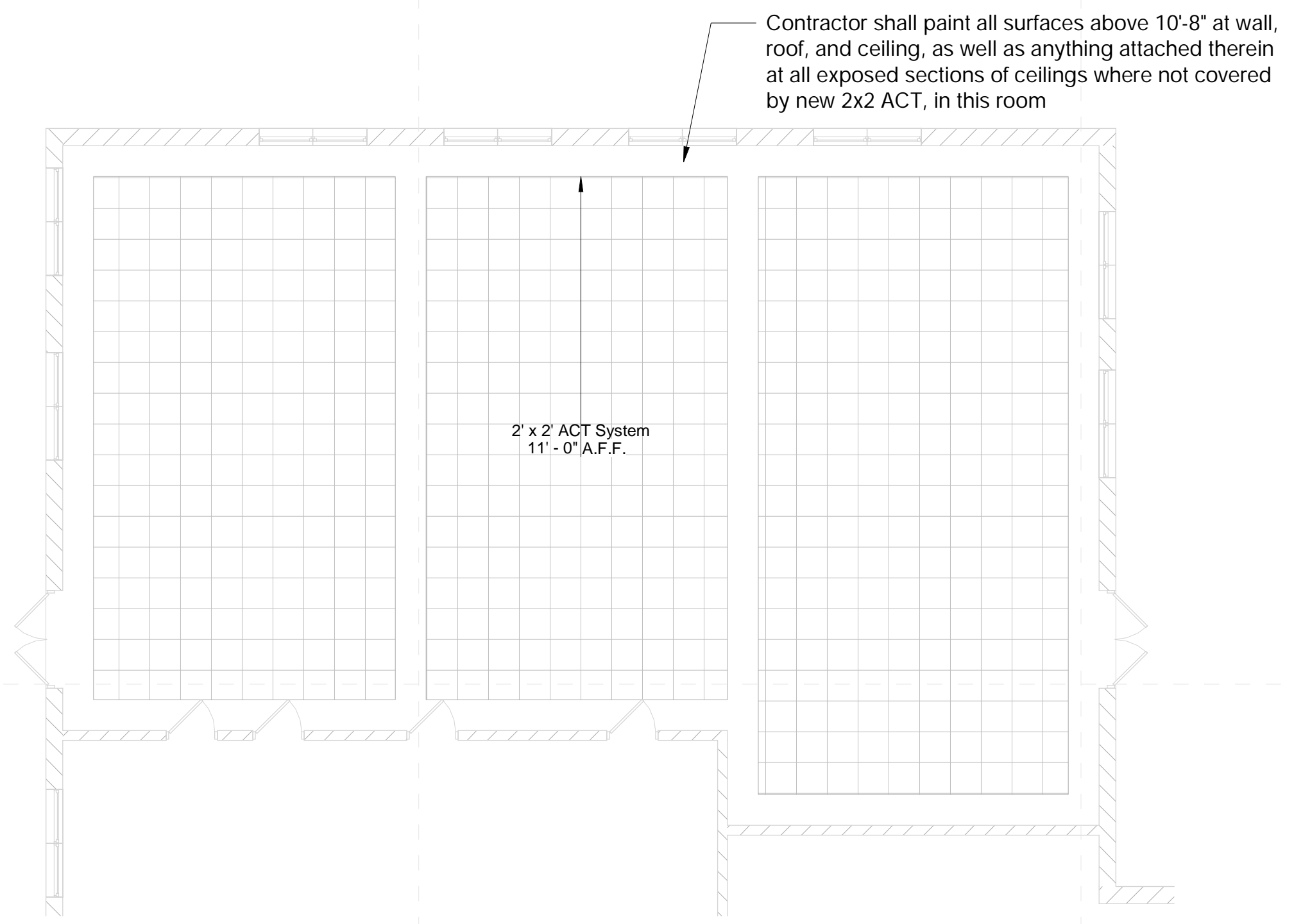
2 Composite Floor Plan
3/32" = 1'-0"



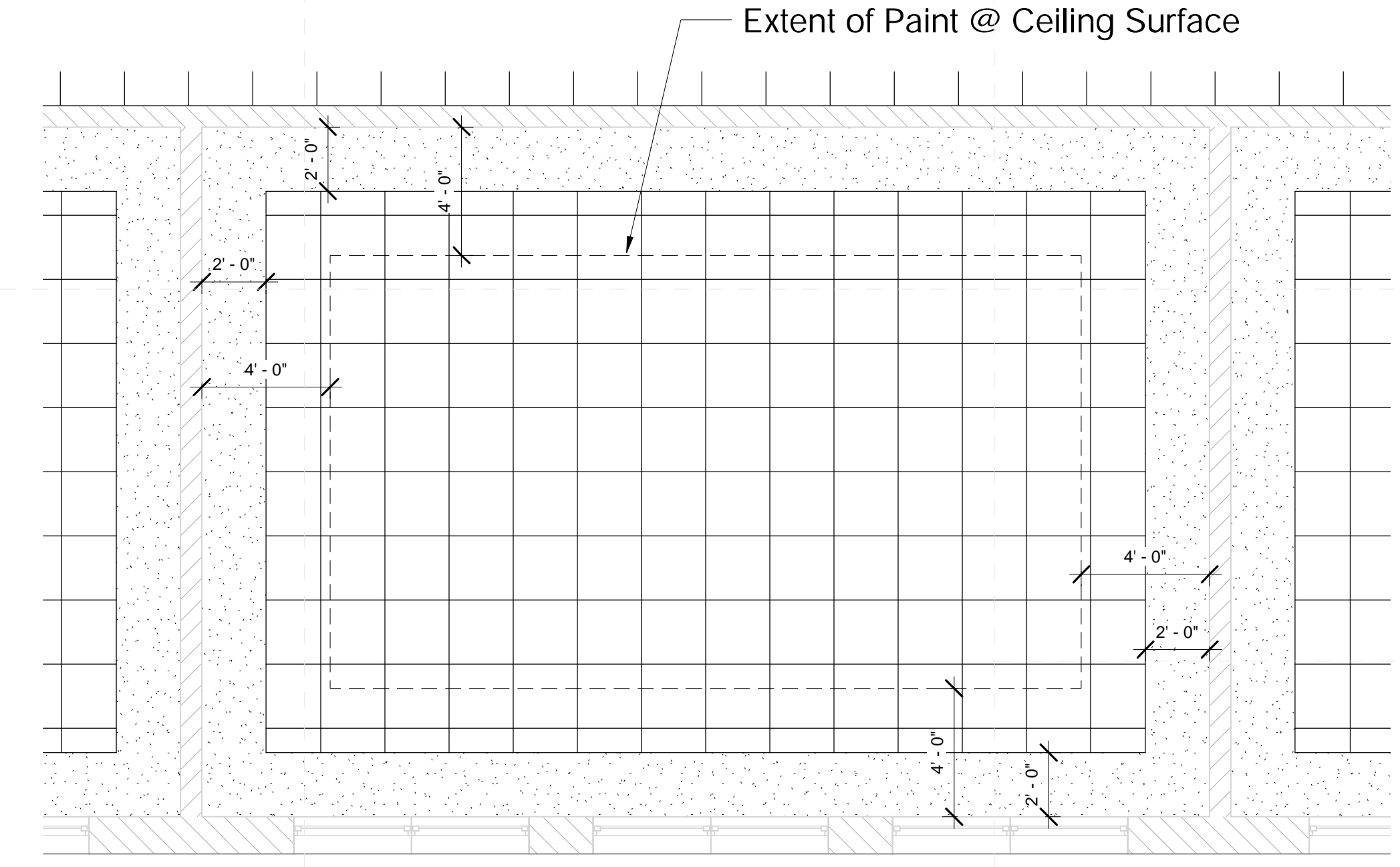
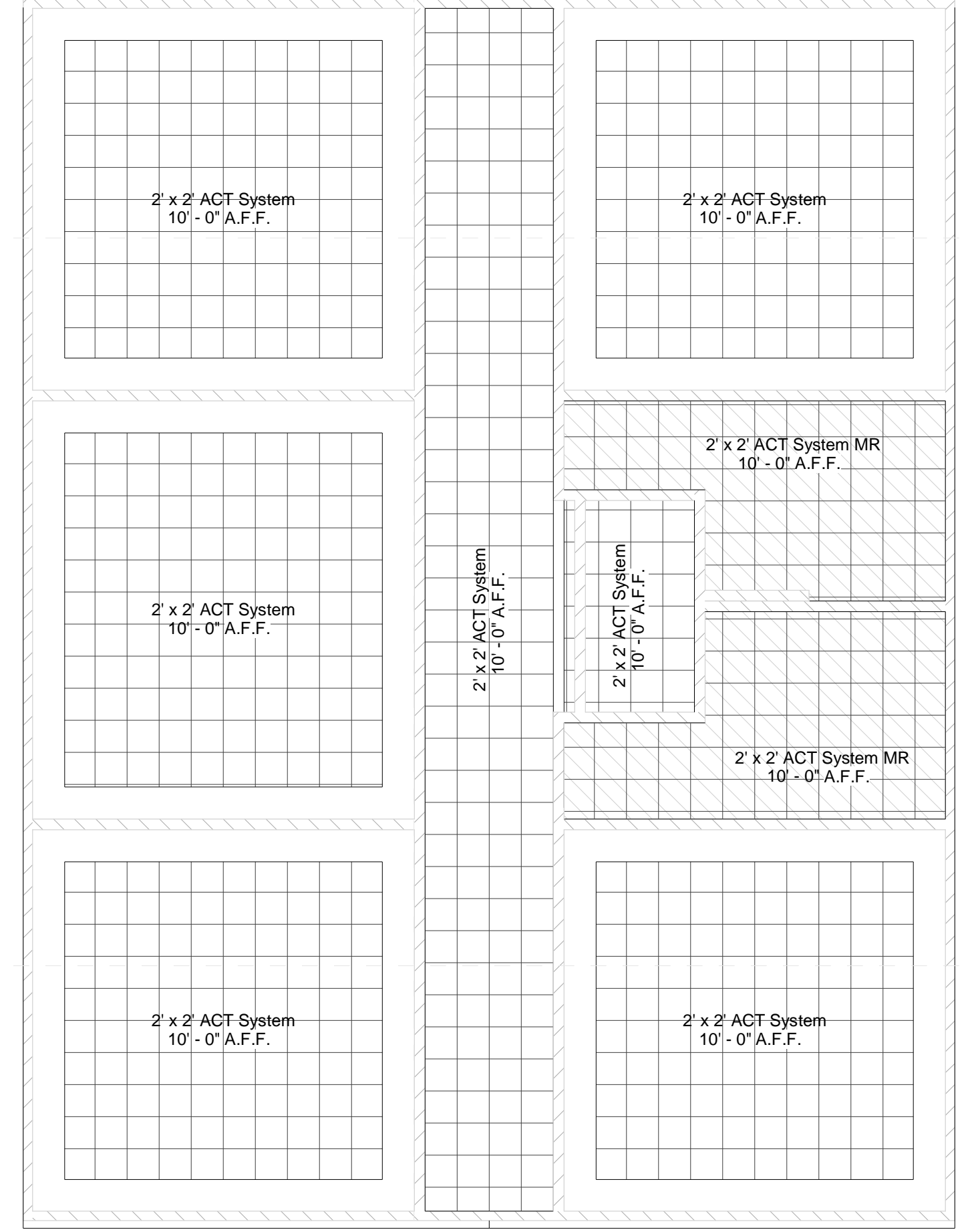
1 RCP - New Construction
1/8" = 1'-0"



3 Cafeteria - New Construction
1/8" = 1'-0"



2 Typical Ceiling Layout
1/4" = 1'-0"

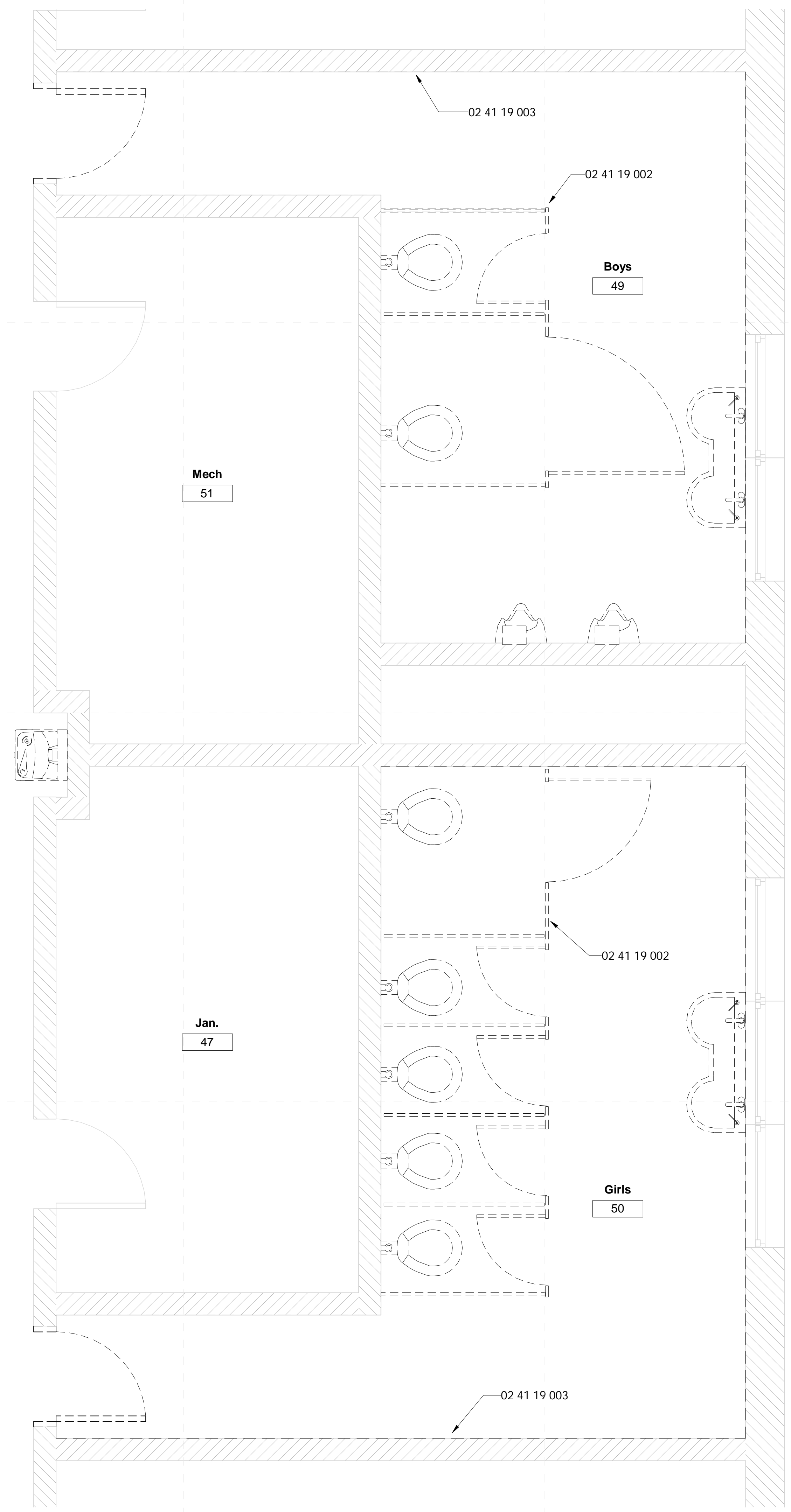


General RCP Notes

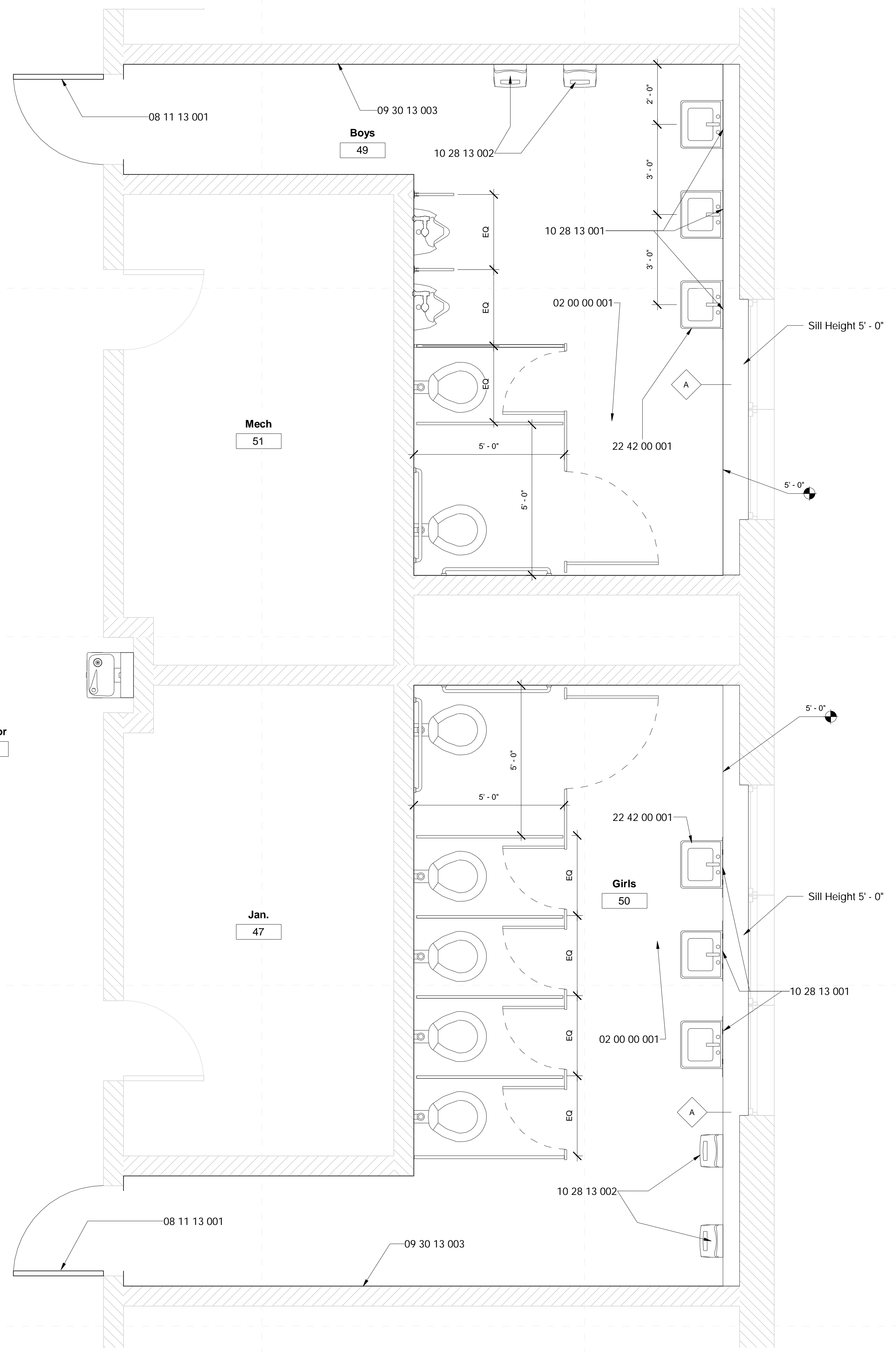
- All ceiling heights shall be same as existing or lower, unless noted otherwise.
- Contractor shall paint all surfaces above 8'-8" at wall, roof, and ceiling, as well as anything attached therein at all exposed sections of ceilings where not covered by new 2x2 ACT, unless noted otherwise.
- Repair/replace any and all ceiling damaged due to construction activities.
- Bent ceiling grid damaged due to construction activities shall be replaced or bent to appear as new in shape.

Ceiling Legend

- Moisture Resistant Acoustical Lay In Ceiling
- Colored Acoustical Lay In Ceiling
- Vinyl Faced Acoustical Lay In Ceiling
- Gypsum Board Ceiling
- 2x2 Acoustical Lay In Ceiling
- Plaster/Stucco
- Concealed Fastener Painted Metal Soffit
- 2x2 Fluorescent Fixture
- Surface-Mounted Fluorescent Light Fixture
- Recessed Can Light Fixture
- HVAC Supply Grille
- HVAC Return Grille
- Exterior Wall Light
- Interior Wall Light
- Open to Structure (OTS)



1 Toilets - NW Bank - Existing
1/2" = 1'-0"



2 Toilets - NW Bank - New Construction
1/2" = 1'-0"

- ### General Finish Plan Notes
- All flooring transitions are to occur at center line of door panel.
 - New Fixture locations shall be coordinated with mechanical sheets.
 - Install new tile base at all walls in bathrooms
 - Install new grab bars at all ADA toilets
 - Install 1/2" MR Drywall at upper wall (ABV tile To 2" Above Ceiling) with adhesive and mechanical fasteners; finish and paint with epoxy
 - Install moisture resistant back board at all new tile.

Specific Notes

02 00 00 001	Floor tile to remain; patch and repair as needed
02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 003	Demo FRP & Base at walls; typical at all bathroom interiors unless otherwise noted
08 11 13 001	Install metal door and frame to match existing for corrected swing
09 30 13 003	Install new wall tile flush and straight with accent top piece, floor to highest partial wall or window sill height; typical at bathroom interior unless noted otherwise
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

- ### General Demolition Notes
- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
 - Remove all existing flooring, ceiling tile, rubber base, etc., where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
 - Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
 - Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
 - Burying or Burning of materials will not be permitted on site.
 - Repair any damage caused to building construction identified to remain.
 - Refer to other discipline drawings for additional demolition information as noted
 - Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
 - Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
 - Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
 - Remove partitions and existing fixtures.

DALE BAILEY
AN ASSOCIATION

Architects

One Jackson Place- 250
188 East Capitol Street
Jackson, MS 39201
p 601.352.5411

201 Park Court Suite B
Ridgeland, MS 39157
p 601.790.9432

161 Lameuse St. Suite 201
Biloxi, MS 39530
p 228.374.1409

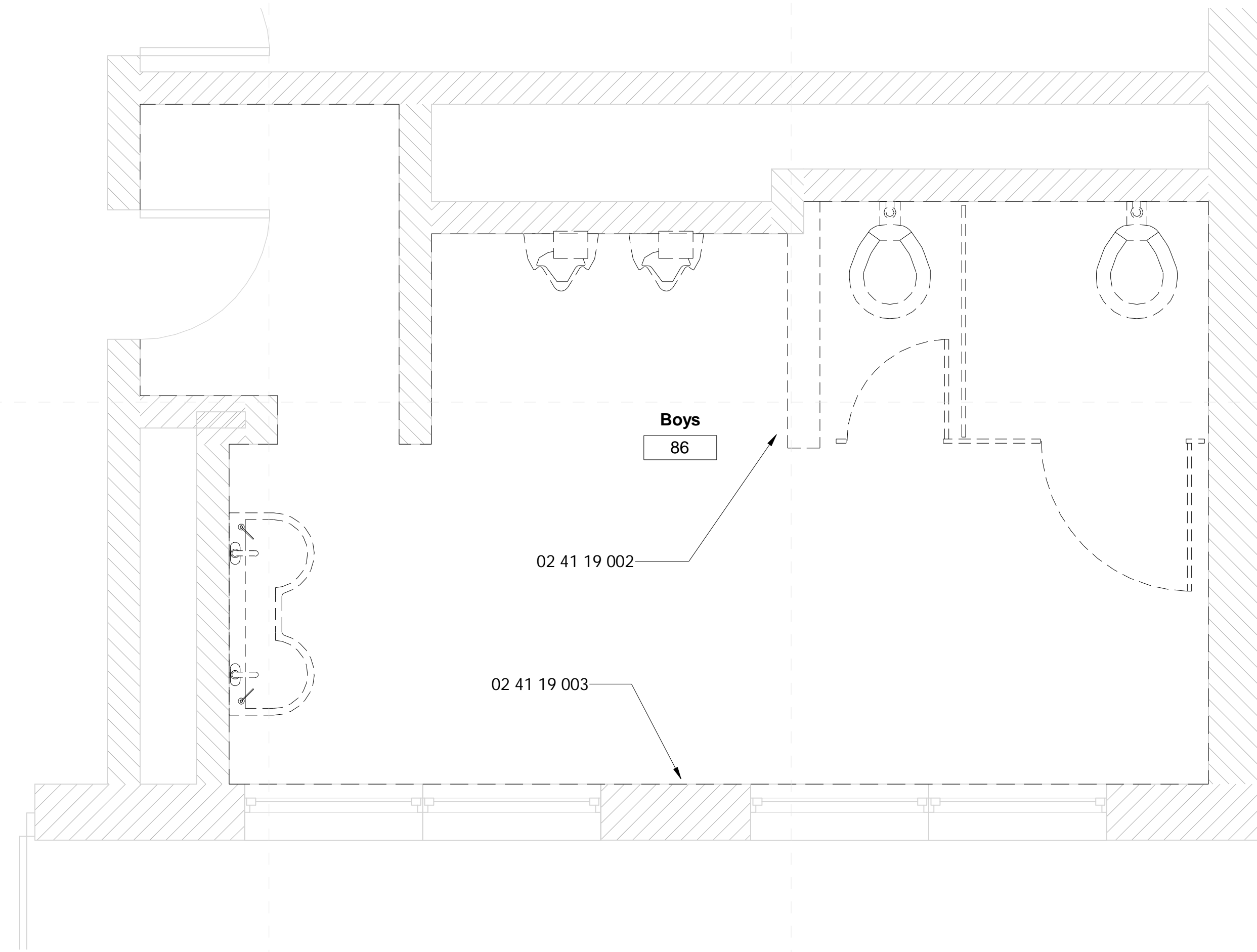
dalebaileyplans.com

Not For Construction

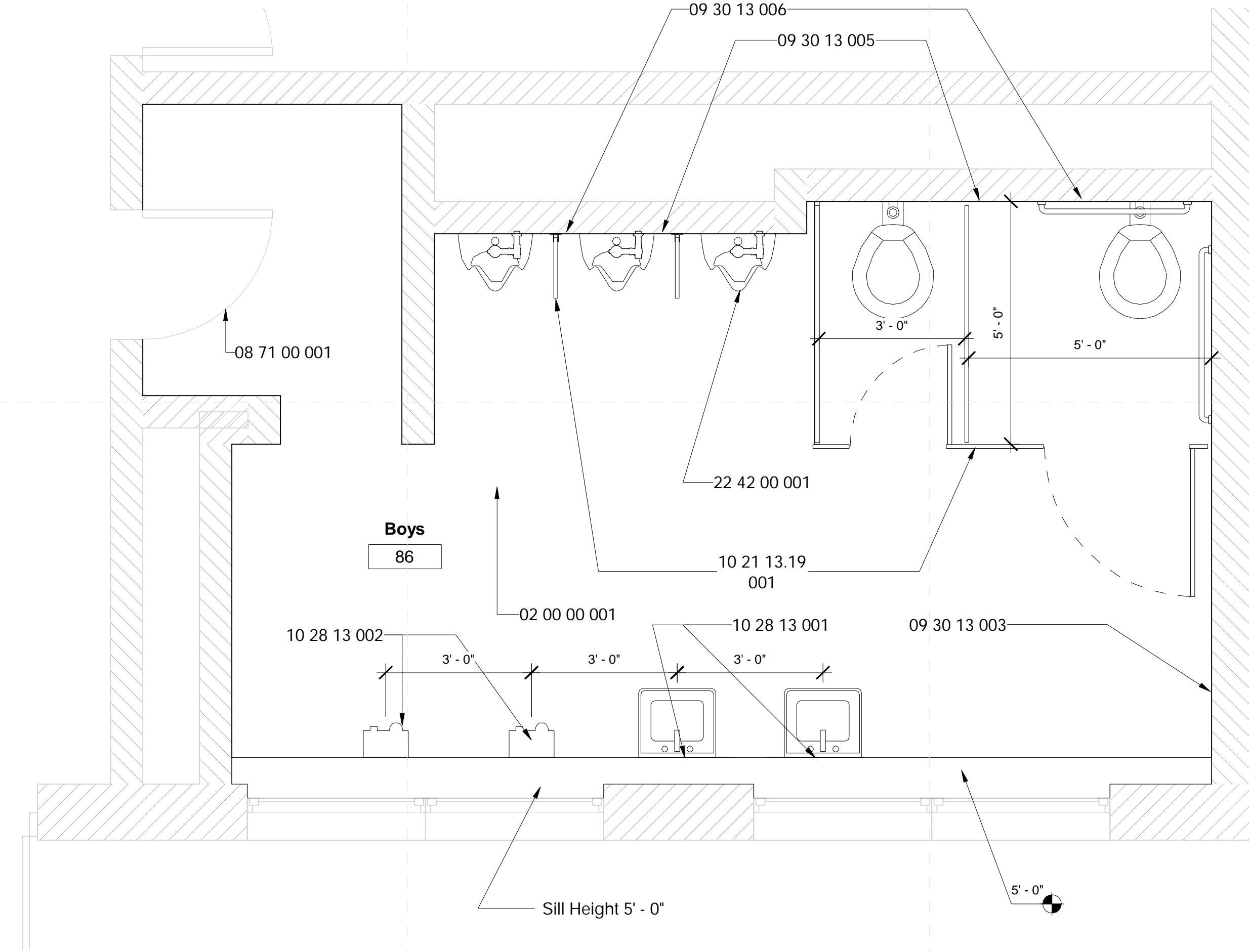
Sunflower Consolidated School District
Ruleville Elementary School: 410 L F Packer Dr. Ruleville, MS 38771

Design Development

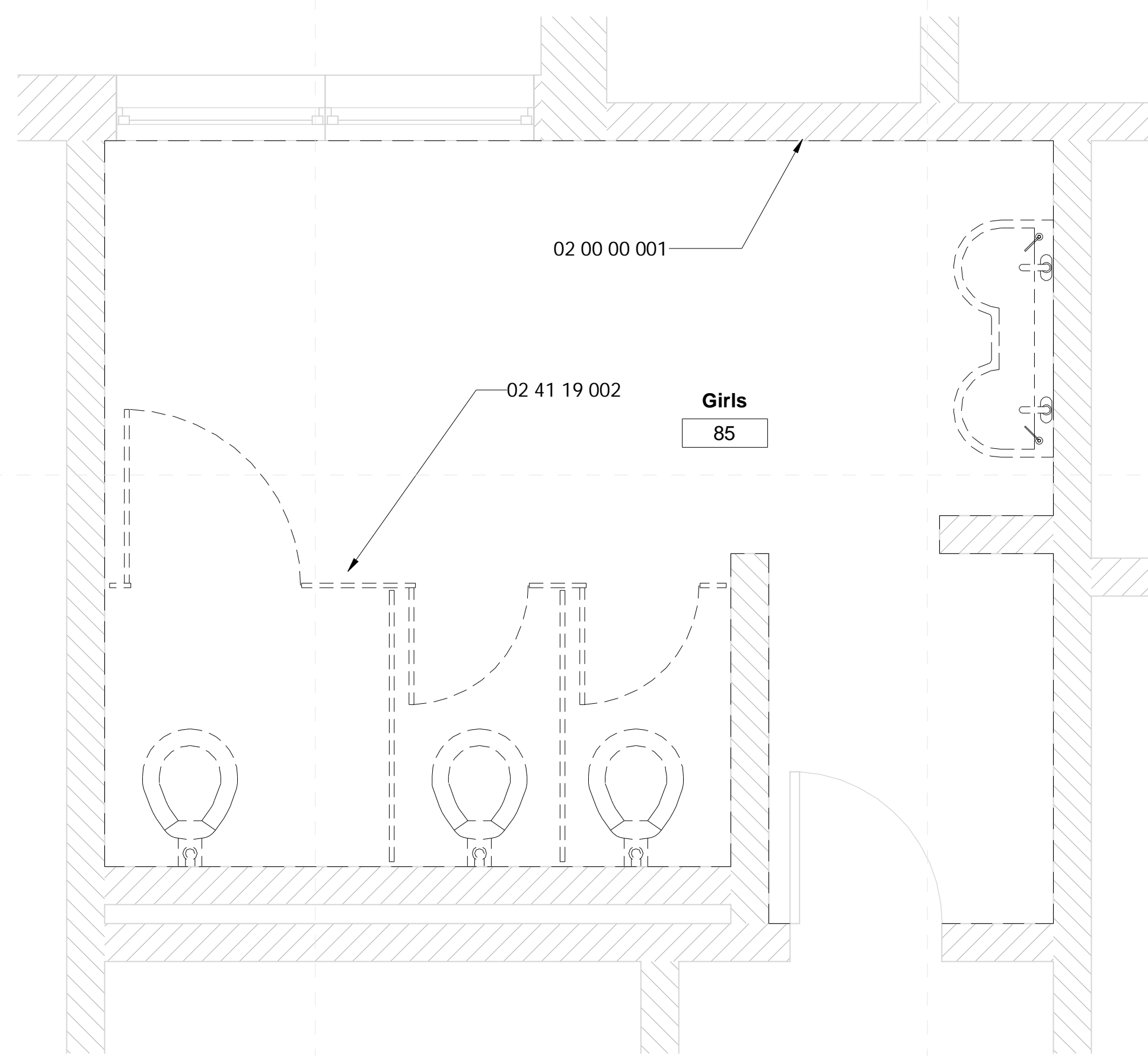
Project No	00000
Date	Issue Date
Revisions	Rev Date
1	10/5/2021
2	11/26/2021



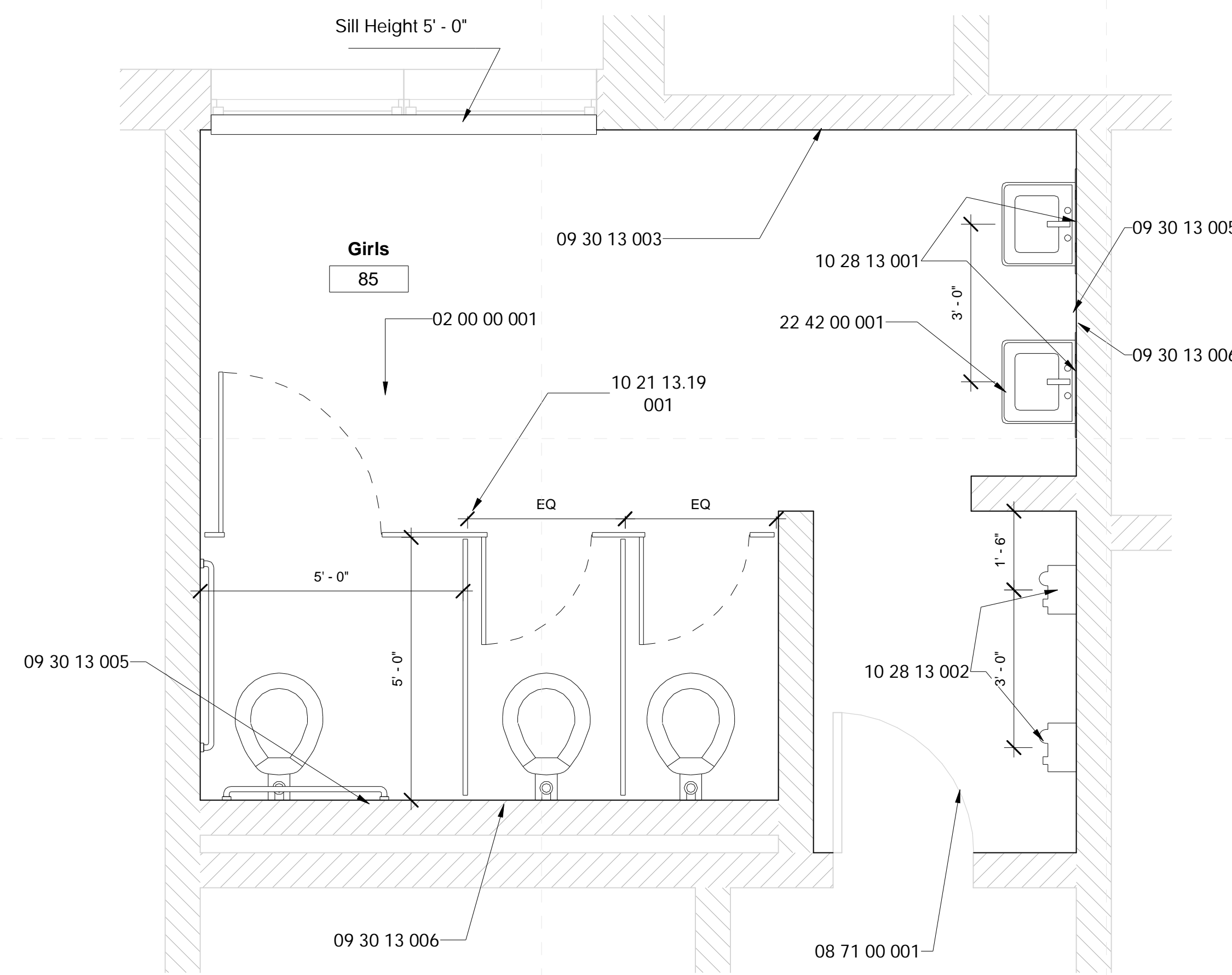
1 Toilets - Central Bank E - Existing
1/2" = 1'-0"



2 Toilets - Central Bank E - New Construction
1/2" = 1'-0"



3 Toilets - Central Bank W - Existing
1/2" = 1'-0"



4 Toilets - Central Bank W - New Construction
1/2" = 1'-0"

General Finish Plan Notes

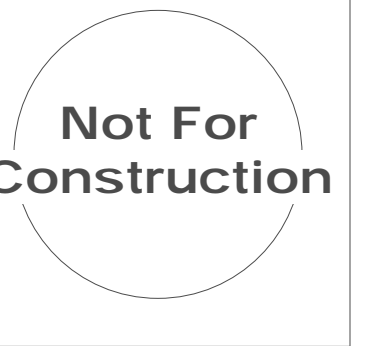
1. All flooring transitions are to occur at center line of door panel.
2. New Fixture locations shall be coordinated with mechanical sheets.
3. Install new tile base at all walls in bathrooms
4. Install new grab bars at all ADA toilets
5. Install 1/2" MR Drywall at upper wall (ABV tile To 2" Above Ceiling) with adhesive and mechanical fasteners; finish and paint with epoxy
6. Install moisture resistant back board at all new tile.

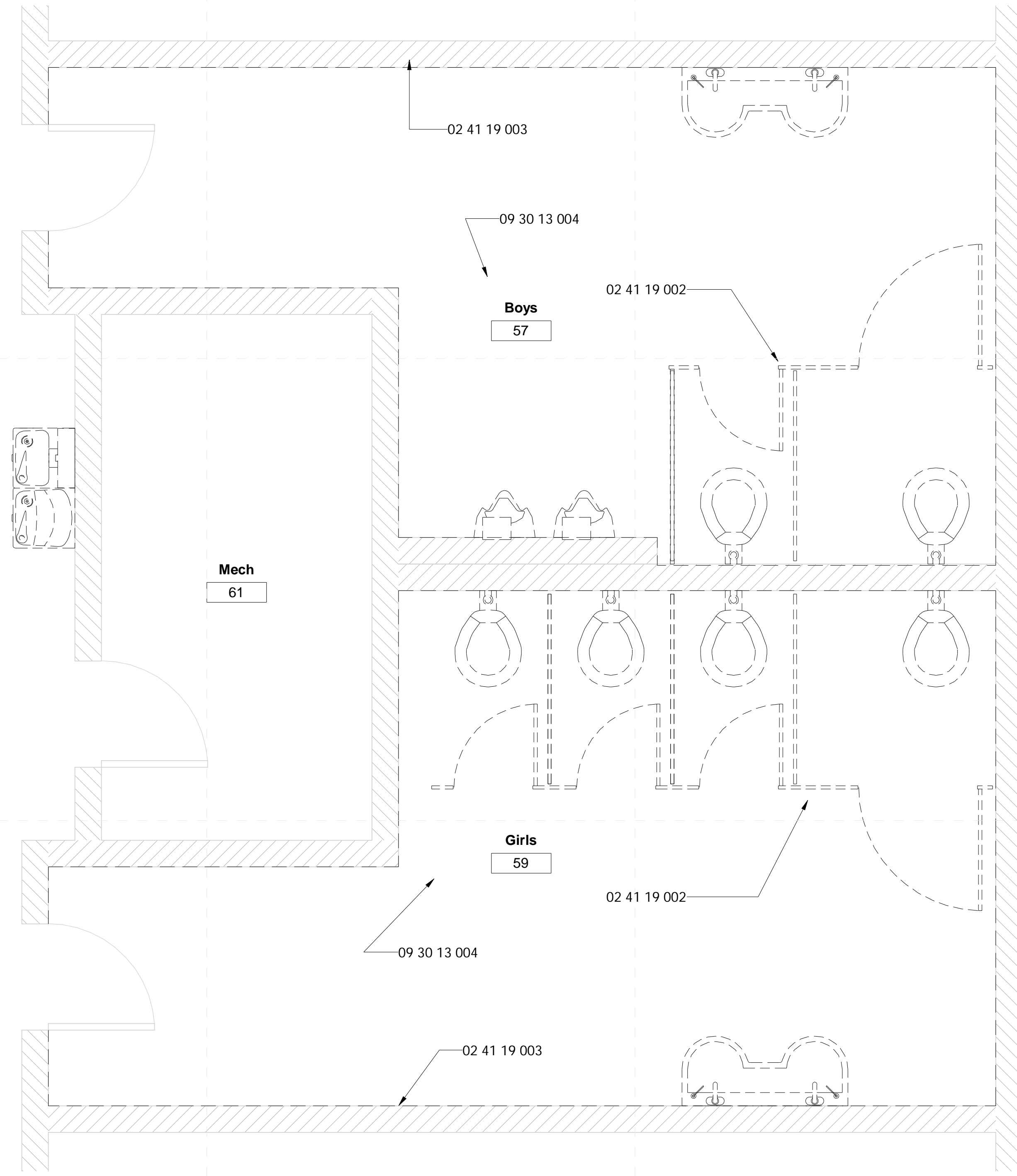
Specific Notes

- | | |
|-----------------|--|
| 02 00 00 001 | Floor tile to remain; patch and repair as needed |
| 02 41 19 002 | Dashed lines indicated extent of demoed work |
| 02 41 19 003 | Demo FRP & Base at walls; typical at all bathroom interiors unless otherwise noted |
| 08 71 00 001 | Replace all door hardware with new at existing leaf |
| 09 30 13 003 | Install new wall tile flush and straight with accent top piece, floor to highest partial wall or window sill height; typical at bathroom interior unless noted otherwise |
| 09 30 13 005 | Install new wall tile flush and straight, floor to ceiling at this plumbing wall only |
| 09 30 13 006 | Install accent tile at this wall |
| 10 21 13.19 001 | Install new toilet partitions (typical) |
| 10 28 13 001 | Install wall hung mirror here; center over fixture unless noted otherwise |
| 10 28 13 002 | Install hand dryer here; coordinate with electrical & mechanical |
| 22 42 00 001 | Coordinate new fixture installations with mechanical, typical for new |

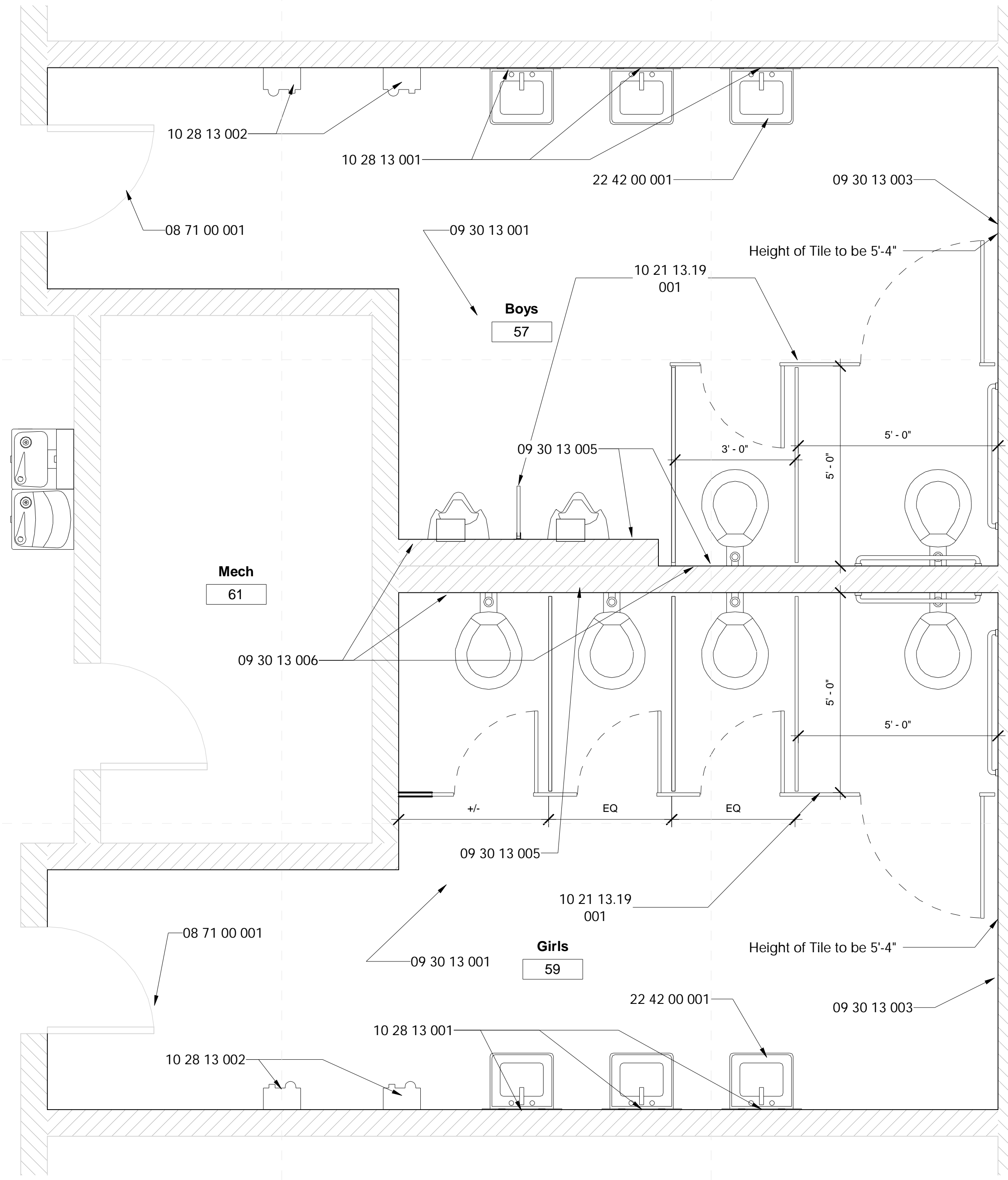
General Demolition Notes

1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
2. Remove all existing flooring, ceiling tile, rubber base, etc... where shown to be replaced by new materials in the finish schedule, RE: Floors plans, RCP, and Finish Schedule
3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
5. Burying or Burning of materials will not be permitted on site.
6. Repair any damage caused by building construction identified to remain.
7. Refer to other discipline drawings for additional demolition information as noted
8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
11. Remove partitions and existing fixtures.





1 Toilets - East Bank - Existing
1/2" = 1'-0"



2 Toilets - East Bank - New Construction
1/2" = 1'-0"

General Finish Plan Notes

- All flooring transitions are to occur at center line of door panel.
- New Fixture locations shall be coordinated with mechanical sheets.
- Install new tile base at all walls in bathrooms
- Install new grab bars at all ADA toilets
- Install 1/2" MR Drywall at upper wall (ABV tile To 2" Above Ceiling) with adhesive and mechanical fasteners; finish and paint with epoxy
- Install moisture resistant back board at all new tile.

Specific Notes

- 02 41 19 002 Dashed lines indicated extent of demoed work
- 02 41 19 003 Demo FRP & Base at walls; typical at all bathroom interiors unless otherwise noted
- 08 71 00 001 Replace all door hardware with new at existing leaf
- 09 30 13 001 Install new floor tile; slope to floor drain is drain provided
- 09 30 13 003 Install new wall tile flush and straight with accent top piece, floor to highest partial wall or window sill height; typical at bathroom interior unless noted otherwise
- 09 30 13 004 Prep surface for new tile install; contractor shall be responsible for issues concerning lack of adhesion between mortar and substrates as well as levelness of finished tile
- 09 30 13 005 Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
- 09 30 13 006 Install accent tile at this wall
- 10 21 13.19 001 Install new toilet partitions (typical)
- 10 28 13 001 Install wall hung mirror here; center over fixture unless noted otherwise
- 10 28 13 002 Install hand dryer here; coordinate with electrical & mechanical
- 22 42 00 001 Coordinate new fixture installations with mechanical, typical for new

General Demolition Notes

- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc... where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- Burying or Burning of materials will not be permitted on site.
- Repair any damage caused to building construction identified to remain.
- Refer to other discipline drawings for additional demolition information as noted
- Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- Remove partitions and existing fixtures.

Architects
 One Jackson Place 250
 188 East Capitol Street
 Jackson, MS 39201
 p 601.352.5411
 201 Park Court Suite B
 Ridgeland, MS 39157
 p 601.790.9432
 161 Lameux St. Suite 201
 Biloxi, MS 39530
 p 228.374.1409
 dalebaileyplans.com

Not For Construction

Sunflower Consolidated School District
 Ruleville Elementary School: 410 L F Packer Dr. Ruleville, MS 38771

Design Development

Project No	00000
Date	Issue Date
Revisions	Rev Date
1	10/5/2021
2	11/26/2021