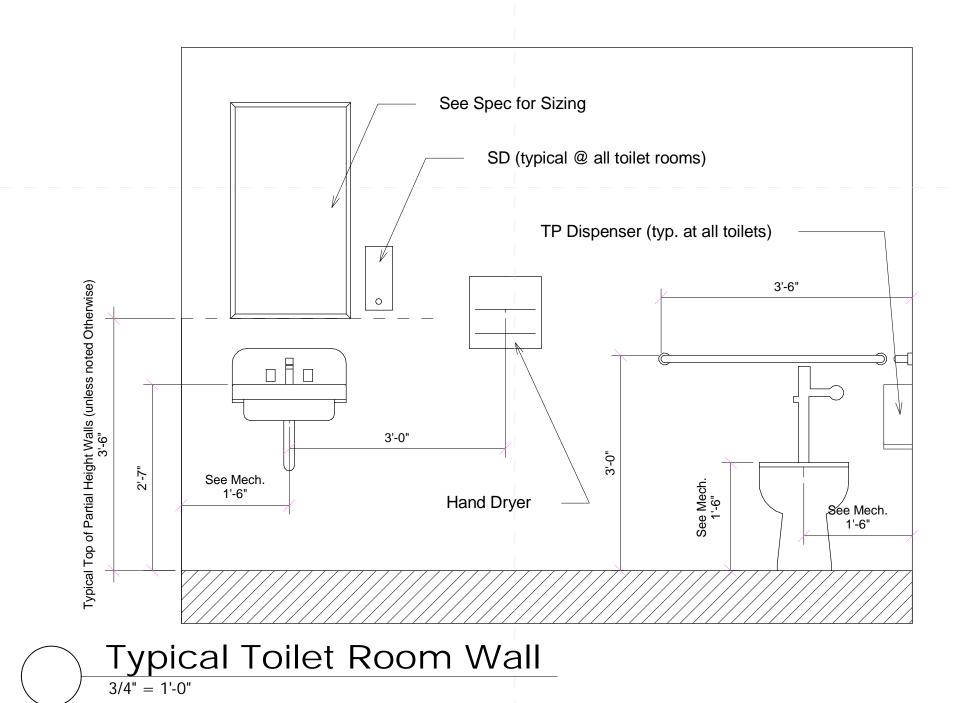
09 30 13 005 Install new wall tile flush and straight, floor to

ceiling at this plumbing wall only 10 21 13.19 001 Install new toilet partitions (typical) 10 28 13 001 Install wall hung mirror here; center over fixture unless noted otherwise

10 28 13 002 Install hand dryer here; coordinate with electrical & mechanical

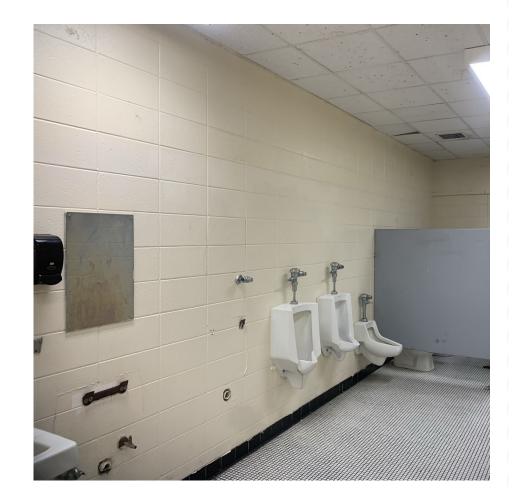
22 05 05 02 New rough plumbing; see plumbing 22 42 00 001 Coordinate new fixture installations with

mechanical, typical for new





Front of School



-Typical Toilet Room



-Typical Toilet Room

**Architects** 

One Jackson Place 250 188 East Capitol Street Jackson, MS 39201 p 601.352.5411

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Not For Construction

District S 38751

21027 3 January 2018 Rev Date 10/5/2021

5 A-441

A-405

4 A-441

RCP - Demo

A-404

#### General RCP Demolition Notes

GC to be responsible for disposal.

- 1. Where ceiling transitions from new ceiling to existing ceiling, coordinate with Architect detail.
- 2. Remove existing ceiling grid & tile at all bathrooms to be renovated, as well as any wall fasteners and/or mastics
- attached therein. 3. Owner has right of refusal for all demo work. If not retained,
- 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this
- 5. Burying or Burning of materials will not be permitted on 6. Repair any damage caused to building construction
- identified to remain. 7. Refer to other discipline drawings for additional demolition
- information as noted. 8. Existing loose school property to be the responsibility of the school district, removal of property by owner to be
- coordinated between the contractor and school district. 9. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

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District

Consolidated

# Ceiling Legend

Moisture Resistant Acoustical Lay In Ceiling

Vinyl Faced Acoustical Lay In Ceiling

Gypsum Board Ceiling

Concealed Fastender Painted Metal Soffit

2x2 Fluorescent Fixture

Surface-Mounted Fluorescent Light Fixture

Recessed Can Light Fixture

Open to Structure (OTS)

Colored Acoustical Lay In Ceiling

2x2 Acoustical Lay In Ceiling

Plaster/Stucco

HVAC Supply Grille

HVAC Return Grille

Exterior Wall Light

Interior Wall Light

Design Development

21027 3 January 2018 Rev Date 10/5/2021

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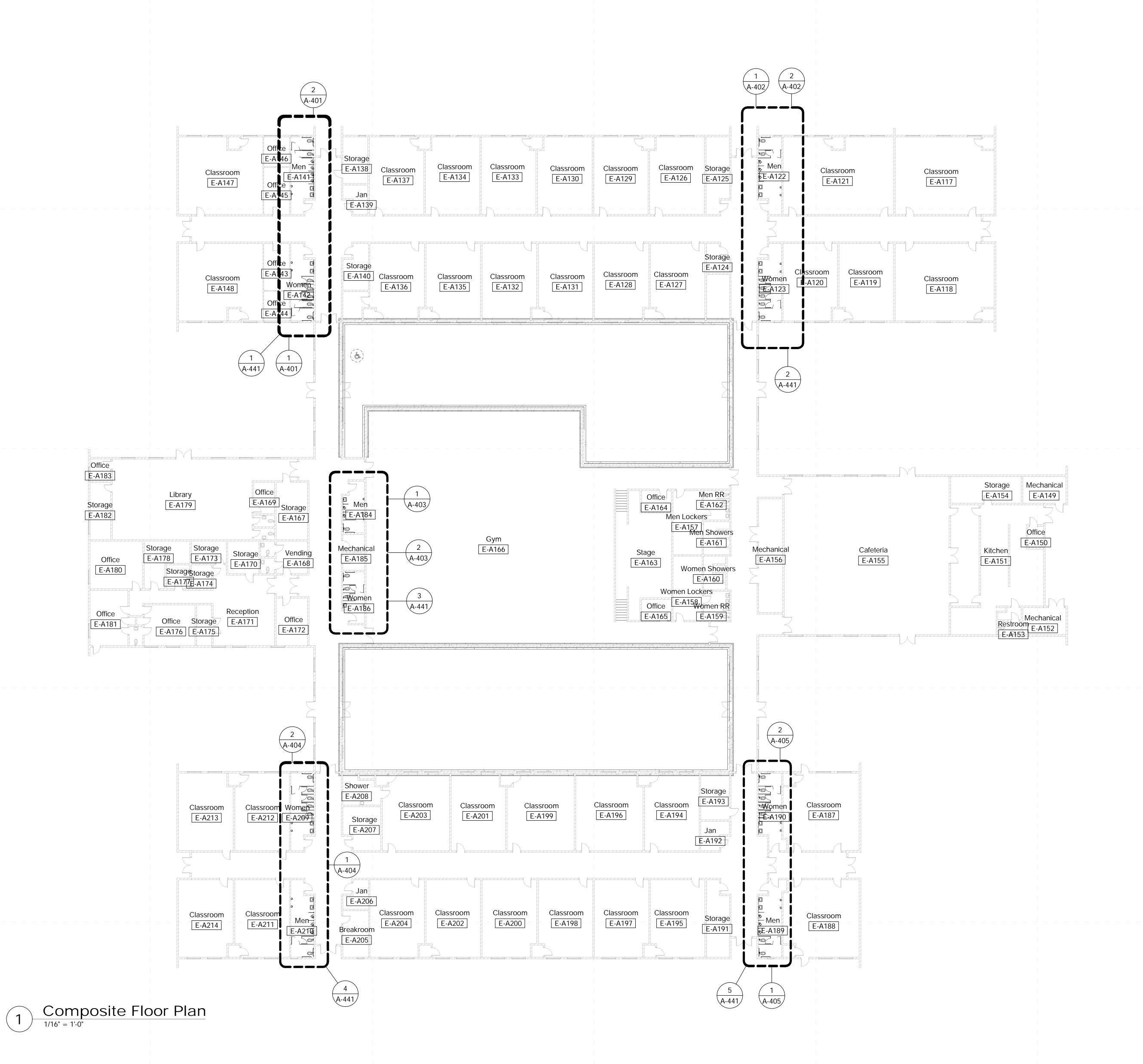
District Consolidated

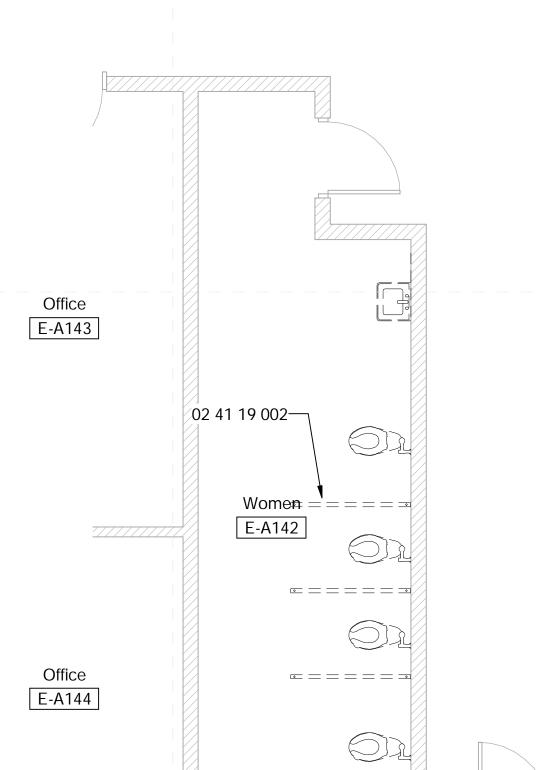
Design Development

21027 3 January 2018 Rev Date 10/5/2021 11/26/2021

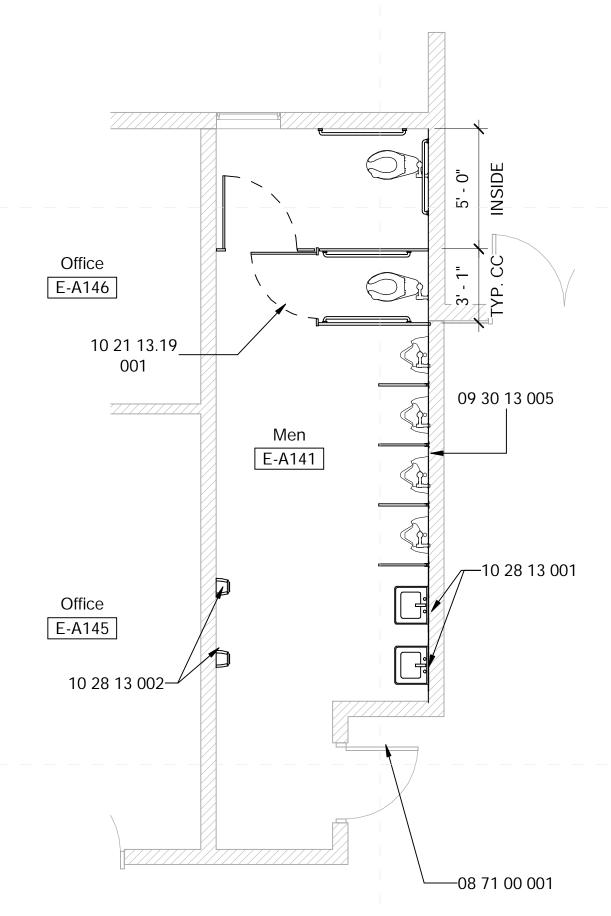
A-101

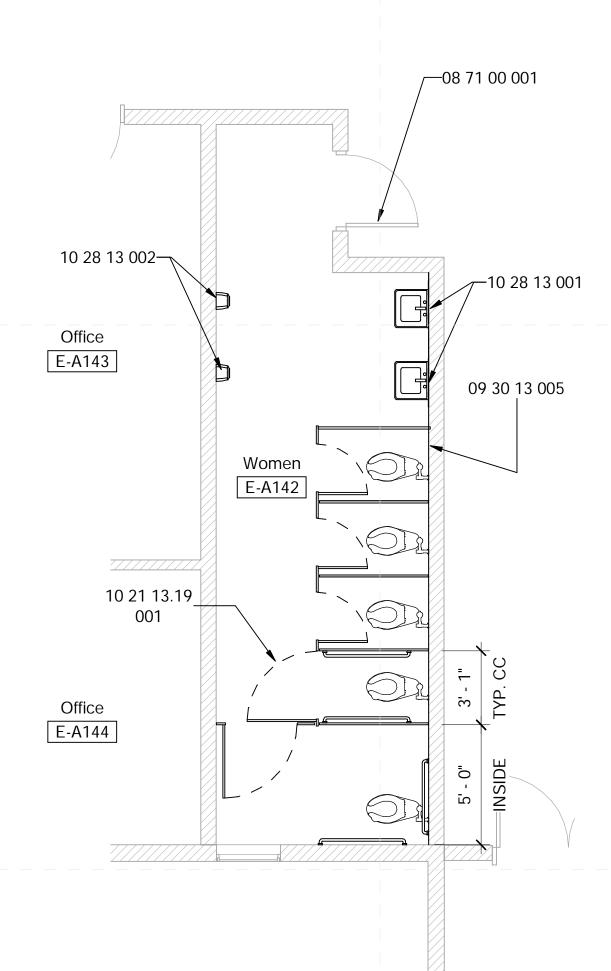
Composite Floor Plan











Main Floor - NW Toilets - New Construction

1/4" = 1'-0"

#### General Demolition Notes

- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- 2. Remove all existing flooring, ceiling tile, rubber base, etc... where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- 5. Burying or Burning of materials will not be permitted on
- 6. Repair any damage caused to building construction
- identified to remain. 7. Refer to other discipline drawings for additional demolition
- information as noted 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to
- 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be
- coordinated between the contractor and school district. 10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- 11. Remove all tile within bathrooms (floor & wall). 12. Remove partitions and existing fixtures.

Construction

District

Not For

DALE

AN ASSOCIATION

**Architects** 

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188 East Capitol Street

Jackson, MS 39201

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p 228.374.1409

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p 601.352.5411

#### Specific Notes

02 41 19 002 Dashed lines indicated extent of demoed work 08 71 00 001 Replace all door hardware with new at existing leaf 09 30 13 005 Install new wall tile flush and straight, floor to

ceiling at this plumbing wall only 10 21 13.19 Install new toilet partitions (typical)

10 28 13 001 Install wall hung mirror here; center over fixture unless noted otherwise

10 28 13 002 Install hand dryer here; coordinate with electrical & mechanical

## General Finish Plan Notes

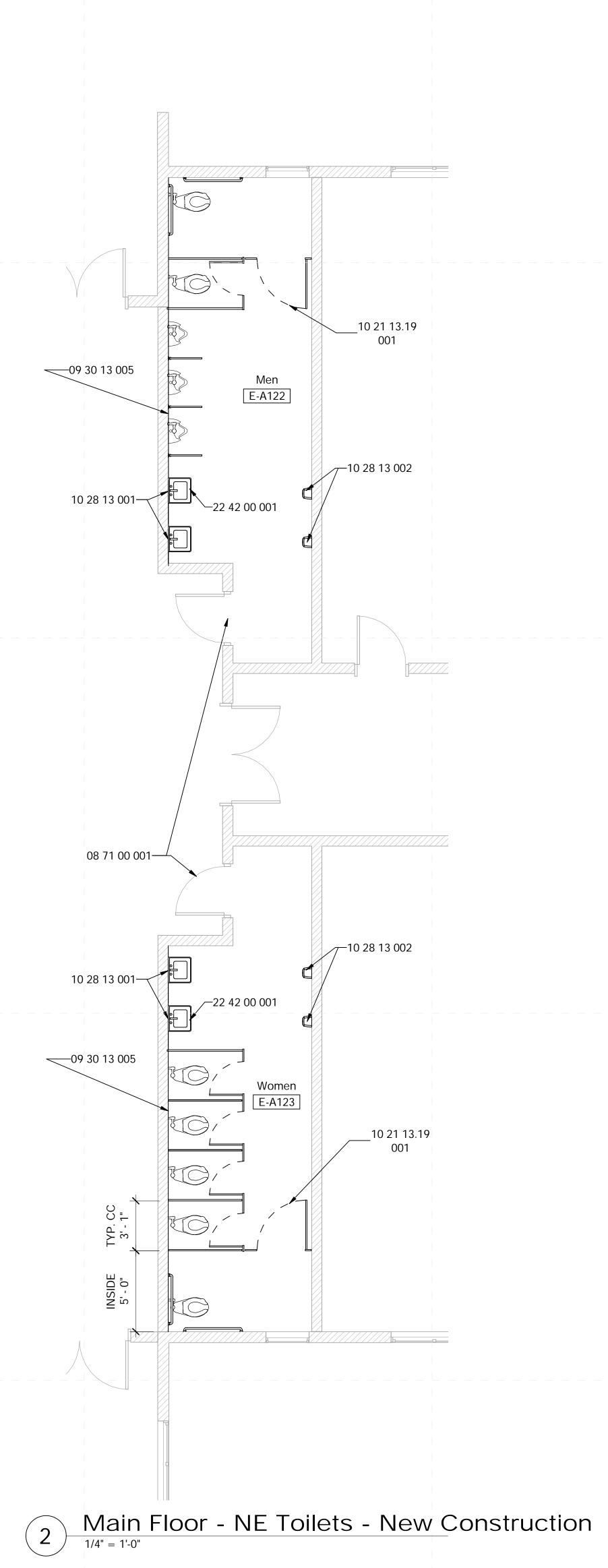
- 1. All flooring transitions are to occur at center line of door
- 2. Protect existing floor tile during construction; Clean floor tile
- 3. New Fixture locations shall be coordinated with mechanical
- 4. Install new tile base at all walls in bathrooms
- 5. Install new grab bars at all ADA & AMB toilets
- 6. Paint all Exposed CMU at bathroom interiors with epoxy
- 7. Install moisture resistant back board at all new tile.

Development 21027 3 January 2018 Rev Date 10/5/2021

11/26/2021

Design

A-401



General Demolition Notes

- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- 2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- 5. Burying or Burning of materials will not be permitted on
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- 7. Refer to other discipline drawings for additional demolition information as noted
- 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to
- 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be
- coordinated between the contractor and school district. 10. Where areas are removed or altered, patch, repair, & paint
- to match adjacent surface material and finish. 11. Remove all tile within bathrooms (floor & wall).
- 12. Remove partitions and existing fixtures.

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Architects

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Not For Construction

District

# Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
08 71 00 001	Replace all door hardware with new at existing leaf
09 30 13 005	Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

### General Finish Plan Notes

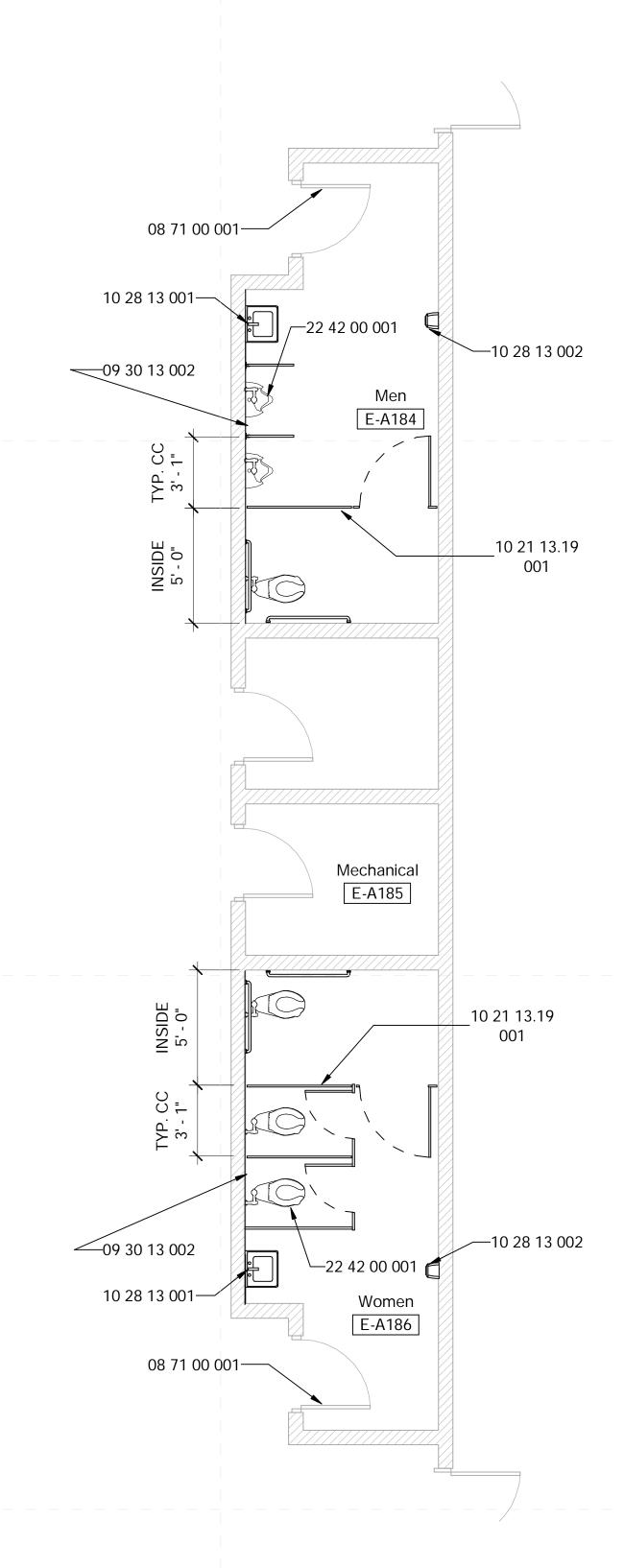
- 1. All flooring transitions are to occur at center line of door
- 2. Protect existing floor tile during construction; Clean floor tile
- 3. New Fixture locations shall be coordinated with mechanical
- 4. Install new tile base at all walls in bathrooms
- 5. Install new grab bars at all ADA & AMB toilets6. Paint all Exposed CMU at bathroom interiors with epoxy
- 7. Install moisture resistant back board at all new tile.

Design Development

Project No	21027
Date	3 January 2018
Revisions	Rev Date
1	10/5/2021
2	11/26/2021

A-402





Main Floor - W Toilets - New Construction

#### General Demolition Notes

- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- 2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this
- 5. Burying or Burning of materials will not be permitted on
- 6. Repair any damage caused to building construction identified to remain.
- 7. Refer to other discipline drawings for additional demolition information as noted
- 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to
- 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- 10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- 11. Remove all tile within bathrooms (floor & wall).
- 12. Remove partitions and existing fixtures.

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p 228.374.1409

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Not For Construction

District

olidate

Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
08 71 00 001	Replace all door hardware with new at existing leaf

09 30 13 002 Install new wall tile flush and straight, floor to

10 21 13.19 001 Install new toilet partitions (typical) 10 28 13 001 Install wall hung mirror here; center over fixture unless noted otherwise

10 28 13 002 Install hand dryer here; coordinate with electrical & mechanical

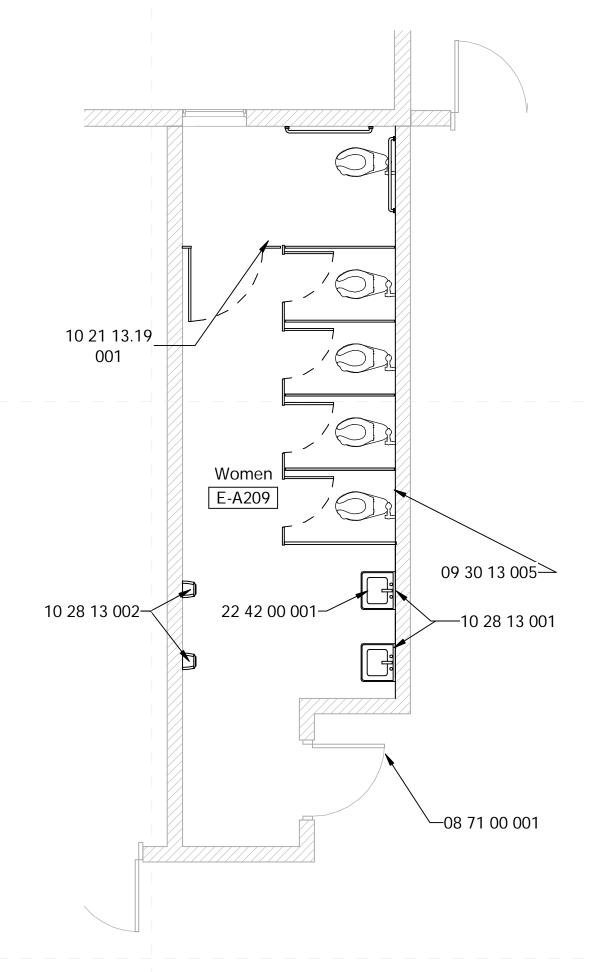
22 42 00 001 Coordinate new fixture installations with mechanical, typical for new

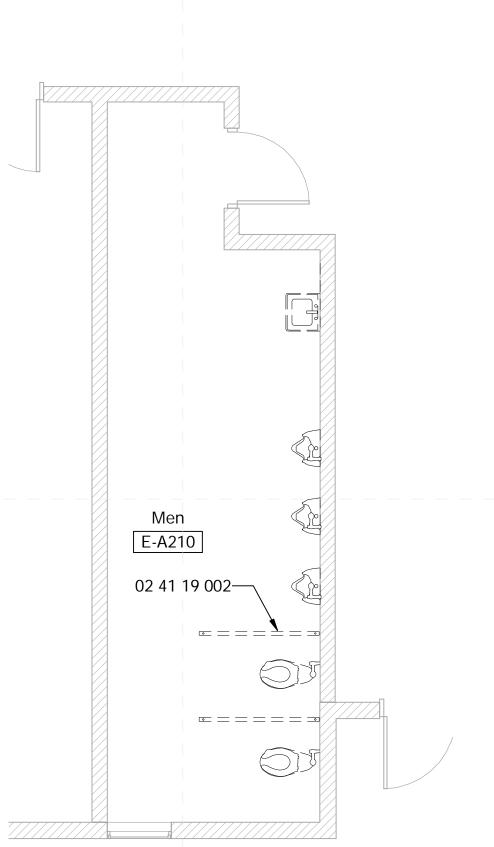
General Finish Plan Notes

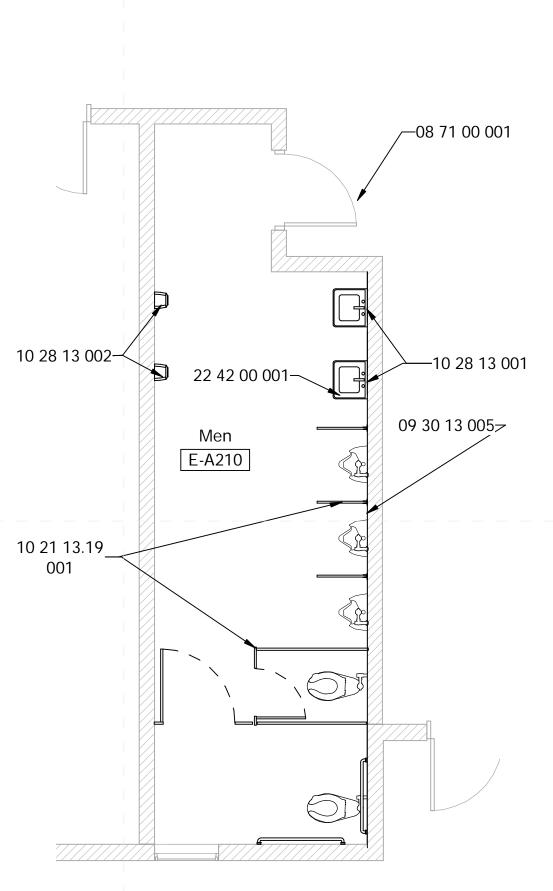
- 1. All flooring transitions are to occur at center line of door
- 2. Protect existing floor tile during construction; Clean floor tile and reseal.
- 3. New Fixture locations shall be coordinated with mechanical
- 4. Install new tile base at all walls in bathrooms 5. Install new grab bars at all ADA & AMB toilets
- 6. Paint all Exposed CMU at bathroom interiors with epoxy
- 7. Install moisture resistant back board at all new tile.

Design Development

21027 3 January 2018 Rev Date 10/5/2021 11/26/2021







1 Main Floor - SW Toilets - Existing

Main Floor - SW Toilets - New Construction

#### General Demolition Notes

- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc..
   where shown to be replaced by new materials in the finish schedule. RF: Floors plans. RCP, and Finish Schedule
- schedule. RE: Floors plans, RCP, and Finish Schedule

  3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this
- 5. Burying or Burning of materials will not be permitted on
- 6. Repair any damage caused to building construction identified to remain
- identified to remain.7. Refer to other discipline drawings for additional demolition
- 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to
- 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- coordinated between the contractor and school district.

  10. Where areas are removed or altered, patch, repair, & paint
- to match adjacent surface material and finish.

  11. Remove all tile within bathrooms (floor & wall).
- 12. Remove partitions and existing fixtures.

information as noted

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Not For Construction

District

# Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
08 71 00 001	Replace all door hardware with new at existing leaf
09 30 13 005	Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

### General Finish Plan Notes

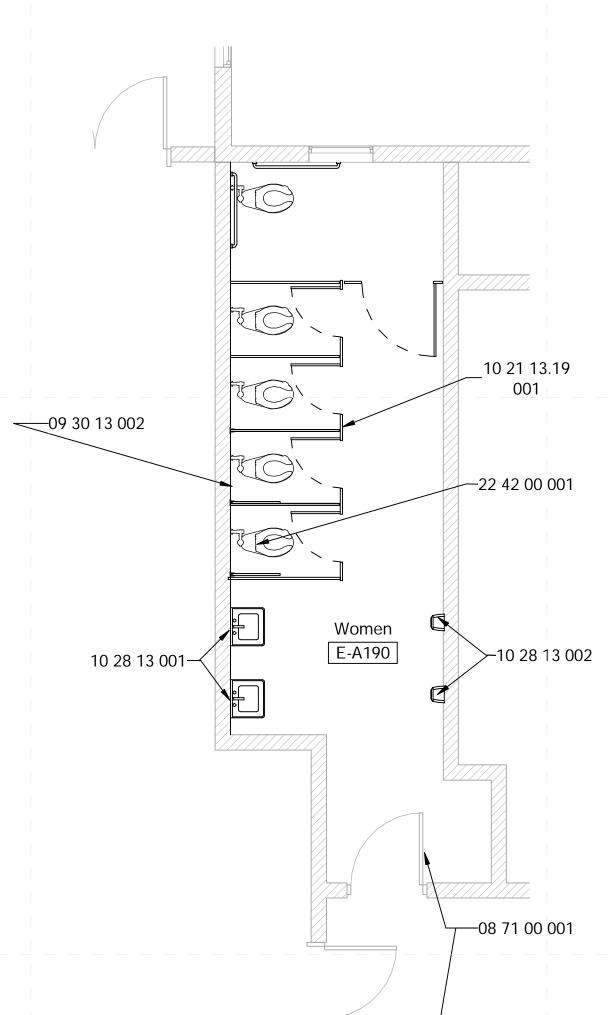
- All flooring transitions are to occur at center line of door panel.
- Protect existing floor tile during construction; Clean floor tile and reseal.
- 3. New Fixture locations shall be coordinated with mechanical
- sheets.4. Install new tile base at all walls in bathrooms
- Install new tile base at all walls in bathroomsInstall new grab bars at all ADA & AMB toilets
- 6. Paint all Exposed CMU at bathroom interiors with epoxy
- paint.

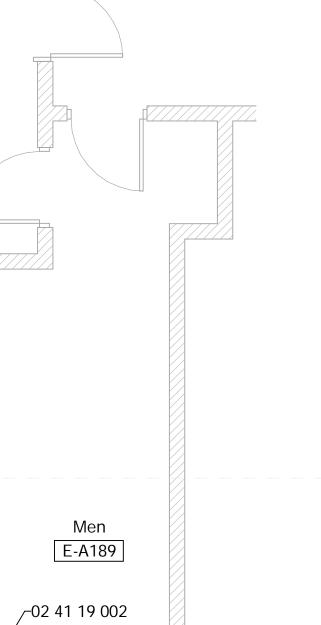
  7. Install moisture resistant back board at all new tile.

Design
om interiors with epoxy
oard at all new tile.

21027
3 January 2018
Rev Date
10/5/2021
11/26/2021

4-404

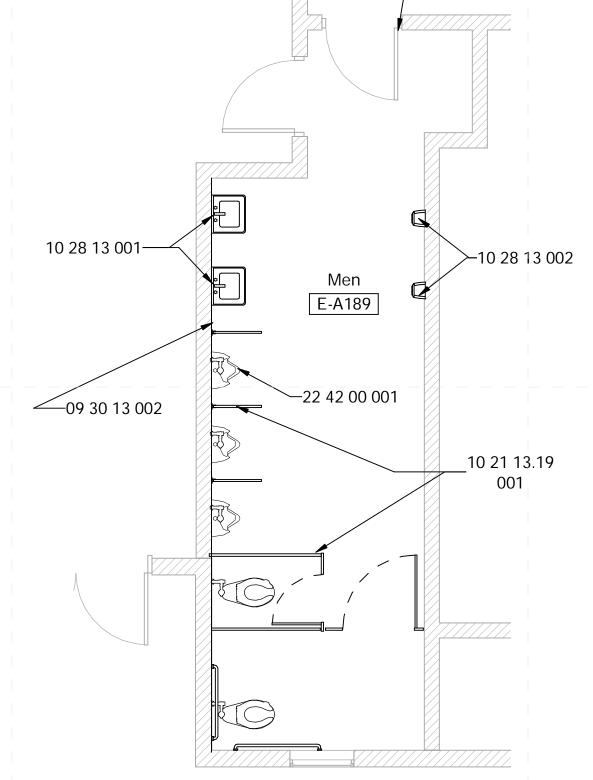




02 41 19 002

Women

E-A190



Main Floor - SE Toilets - Existing

Main Floor - SE Toilets - New Construction

- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the
- opening is a part of corridor. 2. Remove all existing flooring, ceiling tile, rubber base, etc... where shown to be replaced by new materials in the finish
- schedule. RE: Floors plans, RCP, and Finish Schedule
- 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this
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- to match adjacent surface material and finish. 11. Remove all tile within bathrooms (floor & wall).
- 12. Remove partitions and existing fixtures.

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p 228.374.1409

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Not For Construction

District

Specific Notes

02 41 19 002 Dashed lines indicated extent of demoed work 08 71 00 001 Replace all door hardware with new at existing

09 30 13 002 Install new wall tile flush and straight, floor to

10 21 13.19 Install new toilet partitions (typical)

10 28 13 001 Install wall hung mirror here; center over fixture unless noted otherwise

10 28 13 002 Install hand dryer here; coordinate with electrical & mechanical 22 42 00 001 Coordinate new fixture installations with

mechanical, typical for new

#### General Finish Plan Notes

- 1. All flooring transitions are to occur at center line of door
- 2. Protect existing floor tile during construction; Clean floor tile
- 3. New Fixture locations shall be coordinated with mechanical
- 4. Install new tile base at all walls in bathrooms
- 5. Install new grab bars at all ADA & AMB toilets
- 6. Paint all Exposed CMU at bathroom interiors with epoxy
- 7. Install moisture resistant back board at all new tile.

Design Development

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Office -E-A146

Office

E-A145

Office E-A143

Office E-A144

E-A141

Women E-A142

RCP - NW Toilets - NC

1/4" = 1'-0"

......

E-A122

Women E-A123

2 RCP - NE Toilets - NC

Men E-A184

Mechanical E-A185

Women E-A186

3 RCP - W Toilets - NC

///

General RCP Notes

- 1. All ceiling heights shall be same as existing or lower, unless noted otherwise.
- 2. Repair/replace any and all ceiling damaged due to
- construction activities. 3. Bent ceiling grid damaged due to construction activities shall be replaced or bent to appear as new in shape.

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p 228.374.1409

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Not For Construction

Vinyl Faced Acoustical Lay In Ceiling

Moisture Resistant Acoustical Lay In Ceiling

Colored Acoustical Lay In Ceiling

Gypsum Board Ceiling

2x2 Acoustical Lay In Ceiling

Plaster/Stucco

Concealed Fastender Painted Metal Soffit

2x2 Fluorescent Fixture

HVAC Supply Grille

Recessed Can Light Fixture

HVAC Return Grille

Exterior Wall Light

Interior Wall Light

Open to Structure (OTS)

District

Design

Development 21027 3 January 2018 Rev Date

A-441