

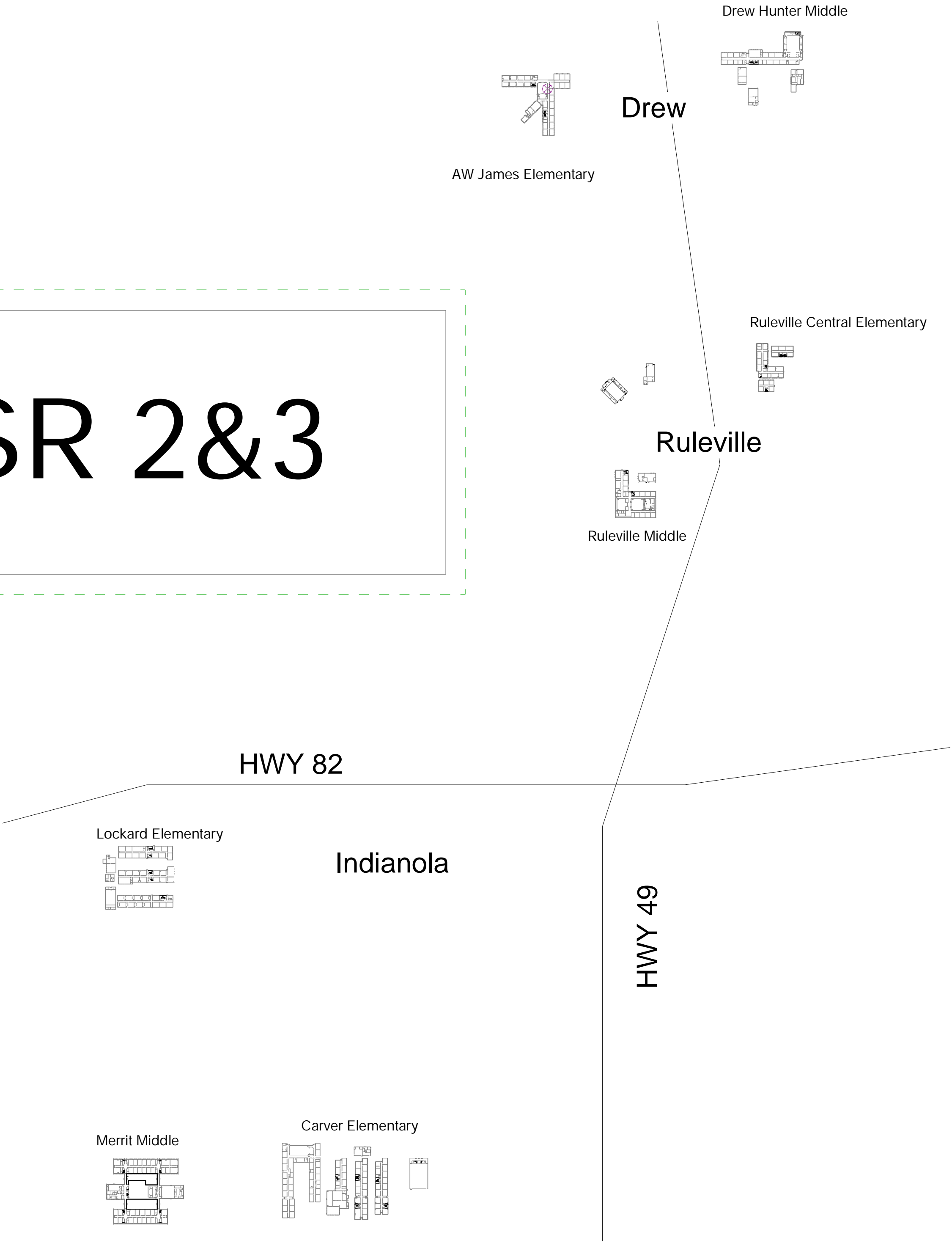
# DALE | BAILEY

J a c k s o n • B i l o x i

AN ASSOCIATION

M i s s i s s i p p i

ESSR 2&3



## Sunflower Consolidated School District

196 Martin Luther King Dr N,  
Indianola, MS 38751

DBA PN: 21027

Design Development  
11/26/2021

Owner  
Architect  
Mechanical  
Electrical

Pontotoc City Schools  
Dale Bailey, an Association  
GSK Mechanical, Inc.  
The Power Source, PLLC

Project Directory

Project Information
Name: Sunflower Consolidated School District
Project #: 21027
Address: 196 Martin Luther King Dr N, Indianola, MS 38751

Client
Sunflower Consolidated School District
196 Martin Luther King Dr N
Indianola, MS 38751
(662) 887-4919
Contact: Dr. Miskia Davis, Superintendent of Education

Architect
Dale J Bailey, an Association
One Jackson Place / Suite 250
188 East Capitol Street
Jackson, MS 39201-2100
(601) 352-5411
Contact: Russ Blount (russblount@dalepartners.com)

Fire Protection, Plumbing, & Mechanical
GSK Mechanical, Inc.
201 Park Ct, Ridgeland, MS 39157
(601) 605-2930
Contact: Jason Kackley (jkackley@gskmech.com)

Electrical
The Power Source, PLLC.
945 Madison Ave, Madison, MS 39110
Contact: Freddie Borganeli (fborganeli@thepowersource.us)

General Project Notes

Project Alternates

- 1. None

Project Phasing Requirements

- 1. N/A

Energy Code Requirements

- 1. IBC 2021 Energy Code is the mandatory energy code standard for this project.
2. All mechanical and electrical building system installed should meet all requirements of the energy code.

Thermal Envelope Requirements

- 1. Roofs = R-20 ci (insulation entirely above deck)
2. Walls = R-7.6ci (mass walls)
3. Walls = R-13 + R-7.5ci (metal framed walls)
4. Below Grade Walls = no requirement
5. Slab on Grade = no requirement

Fenestration Requirements (U-factor)

- 1. Fixed = U-Factor 0.46
2. Operable = U-Factor 0.60
3. Entrances = U-Factor 0.77
4. SHGC = U-Factor 0.25

General Information

- 1. Do not scale drawings. If dimensions are in question, the contractor shall be responsible for obtaining clarification from the architect before continuing with the construction
2. Contractors shall verify, on the site, all dimensions and equipment locations, and notify architect promptly in writing of any discrepancies
3. Contractors shall be responsible to determine the on site conditions and perform all necessary work to complete the project
4. Contractors shall maintain safe methods of egress for occupied buildings and in site area during construction
5. All casework dimensions shall be field verified before unit fabrication or installation
6. Dimensions, notes, finishes, and fixtures shown on typical floor plans shall apply to similar, symmetrical, or opposite hand plans, sections, or details
7. Typical, or typ., shall mean that condition is representative for similar conditions throughout. U.N.O. Details are usually keyed and noted 'Typ.' only one time when they first occur
8. Partitions are dimensioned from finish face U.N.O. Dimensions to masonry are to actual finish face U.N.O.
9. Owner to have right of refusal for all materials, furniture, fixtures and good within the limits of the construction contract.

General Abbreviations

Table with 2 columns: Abbreviation and Full Name. Includes terms like AIR CONDITIONING, ABOVE, ACOUSTICAL CEILING TILE, etc.

Drawing Index

Table with 4 columns: Sheet No, Sheet Name, Building Name, Sheet Organization. Lists various sheets like G-001 Cover Sheet, G-002 Index & General Project Information, etc.

Graphic Symbols

Graphic Symbols section containing various symbols and their corresponding labels: Building Elevation, Building Section, Wall Section, Interior Elevation, Detail, Column Grid, Door Mark, North Arrow, Spot Elevation, Room Name and Number, View Name with Drawing Scale.

All School's Specific Notes



Architects
One Jackson Place- 250
188 East Capitol Street
Jackson, MS 39201
p 601.352.5411
201 Park Court Suite B
Ridgeland, MS 39157
p 601.790.9432
161 Lameuse St. Suite 201
Biloxi, MS 39530
p 228.374.1409
dalebaileyplans.com



Sunflower Consolidated School District
196 Martin Luther King Dr N, Indianola, MS 38751

Design Development table with columns: Project No, Date, Revisions, Rev Date. Shows project number 21027 and dates 11/26/2021, 10/5/2021, 11/26/2021.

All School's Specific Notes

- 02 41 19 002 Dashed lines indicated extent of demoed work
- 02 41 19 004 Remove floor tile and substrate
- 08 11 13 001 Install metal door and frame to match existing for corrected swing
- 08 71 00 001 Replace all door hardware with new at existing leaf
- 08 71 00 002 Fill Hinges Recessions with blank plates & paint
- 09 05 05 01 Install leveling compound as needed for smooth appearance of new tile & a flush threshold to adjacent floors, typical on new floor tile
- 09 30 13 001 Install new floor tile: slope to floor drain is drain provided
- 09 30 13 006 Install accent tile at this wall
- 09 30 13 008 Install new wall tile flush and straight with accent top piece, floor to partial wall/window sill height; install 5/8" MR Sheetrock above partial height wall to MIN 4" ABV Ceiling (epoxy paint)
- 10 21 13.19 001 Install new toilet partitions (typical)
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- 22 47 13 001 Install double drinking fountain here: coordinate with mechanical & electrical drawings



Front of School



Mens 193



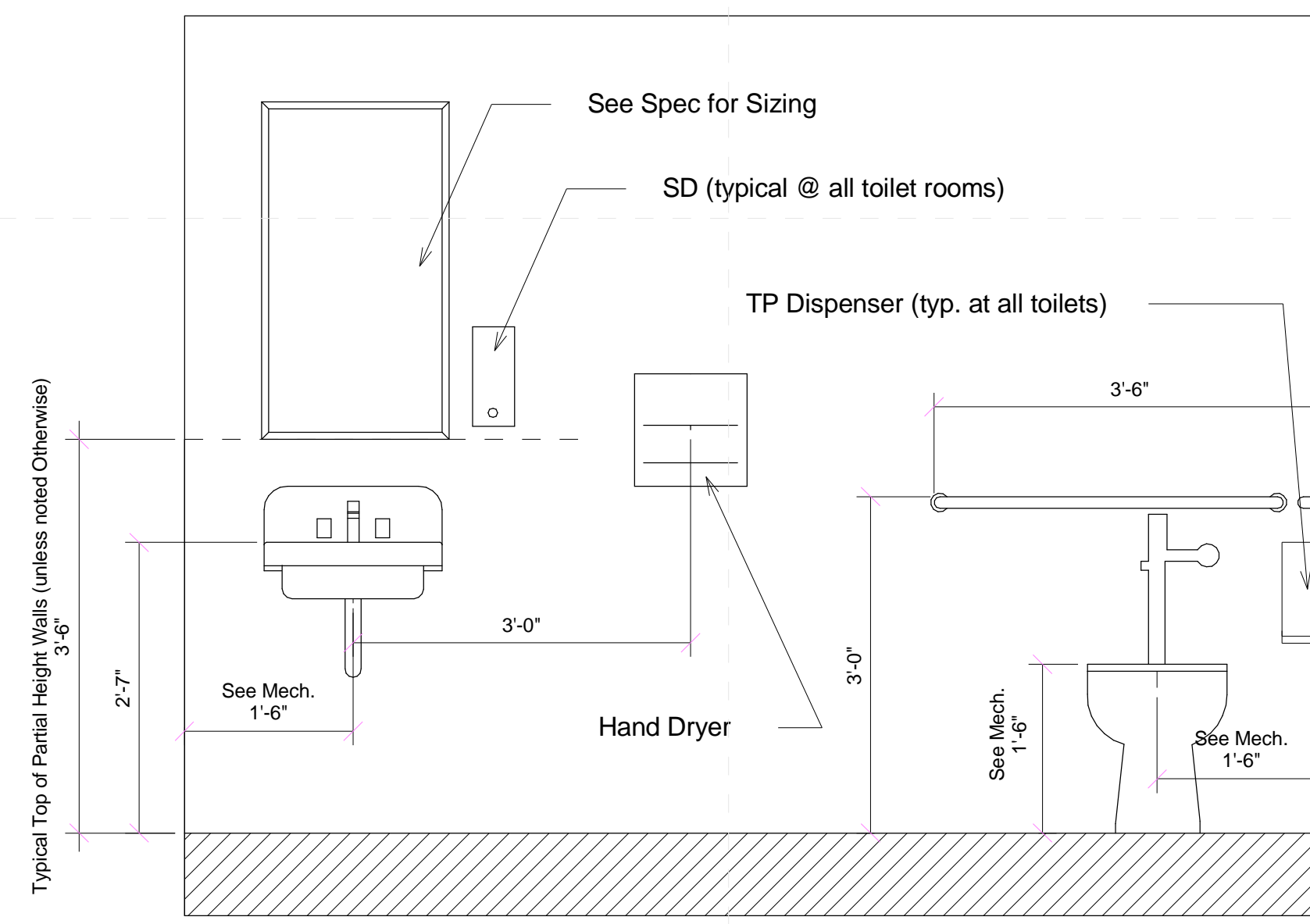
Womens 191



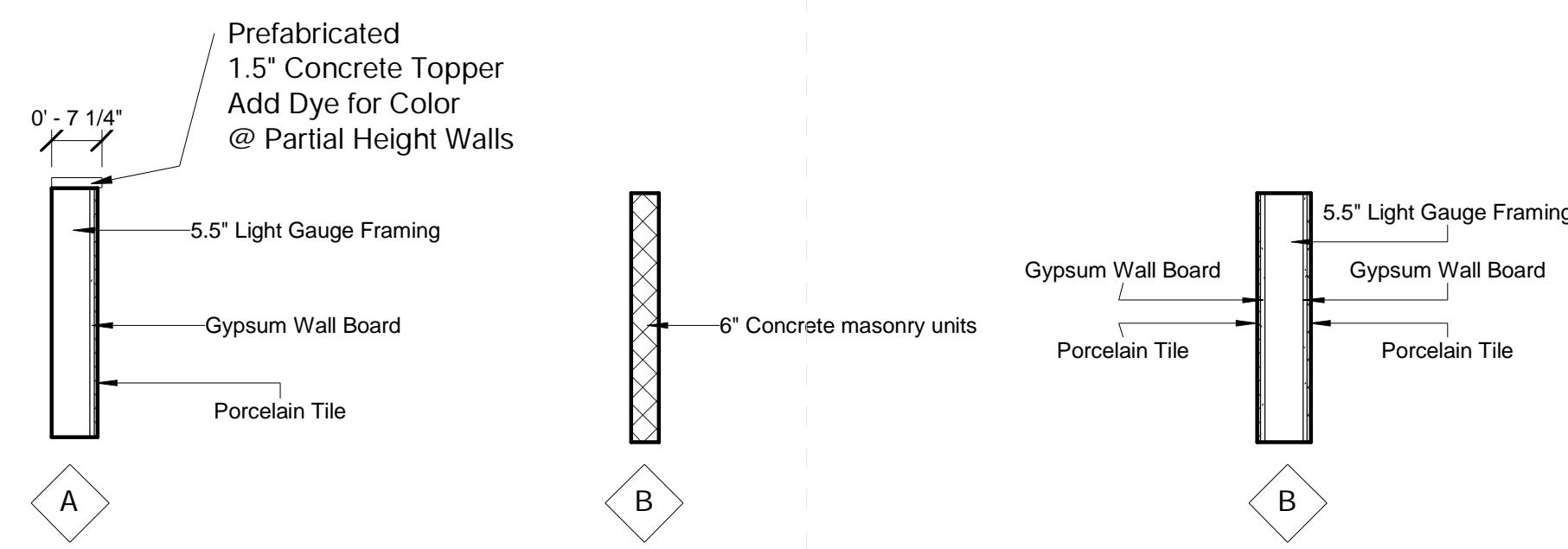
Girls 127



Boys 159



Typical Toilet Room Wall  
3/4" = 1'-0"



Wall Types  
1/2" = 1'-0"

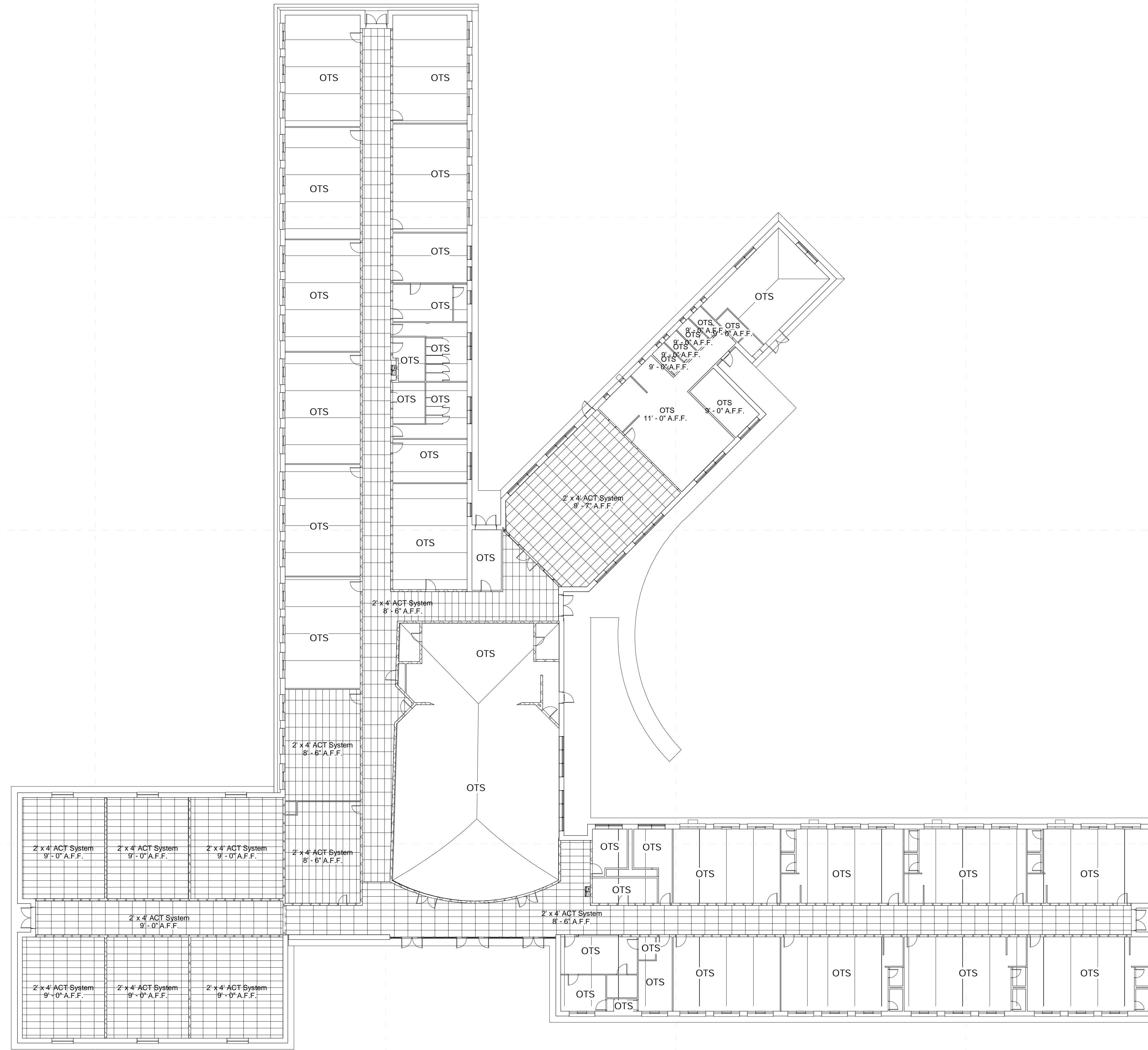
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Biloxi, MS 39530  
p 228.374.1409  
dalebaileyplans.com

Not For Construction

Sunflower Consolidated School District  
AW James Elementary: 400 South Blvd, Drew, MS 38737

Design Development

Project No	21027
Date	June 2021
Revisions	Rev Date
1	10/05/2021
2	11/26/2021



1 RCP - Demolition  
1/16" = 1'-0"

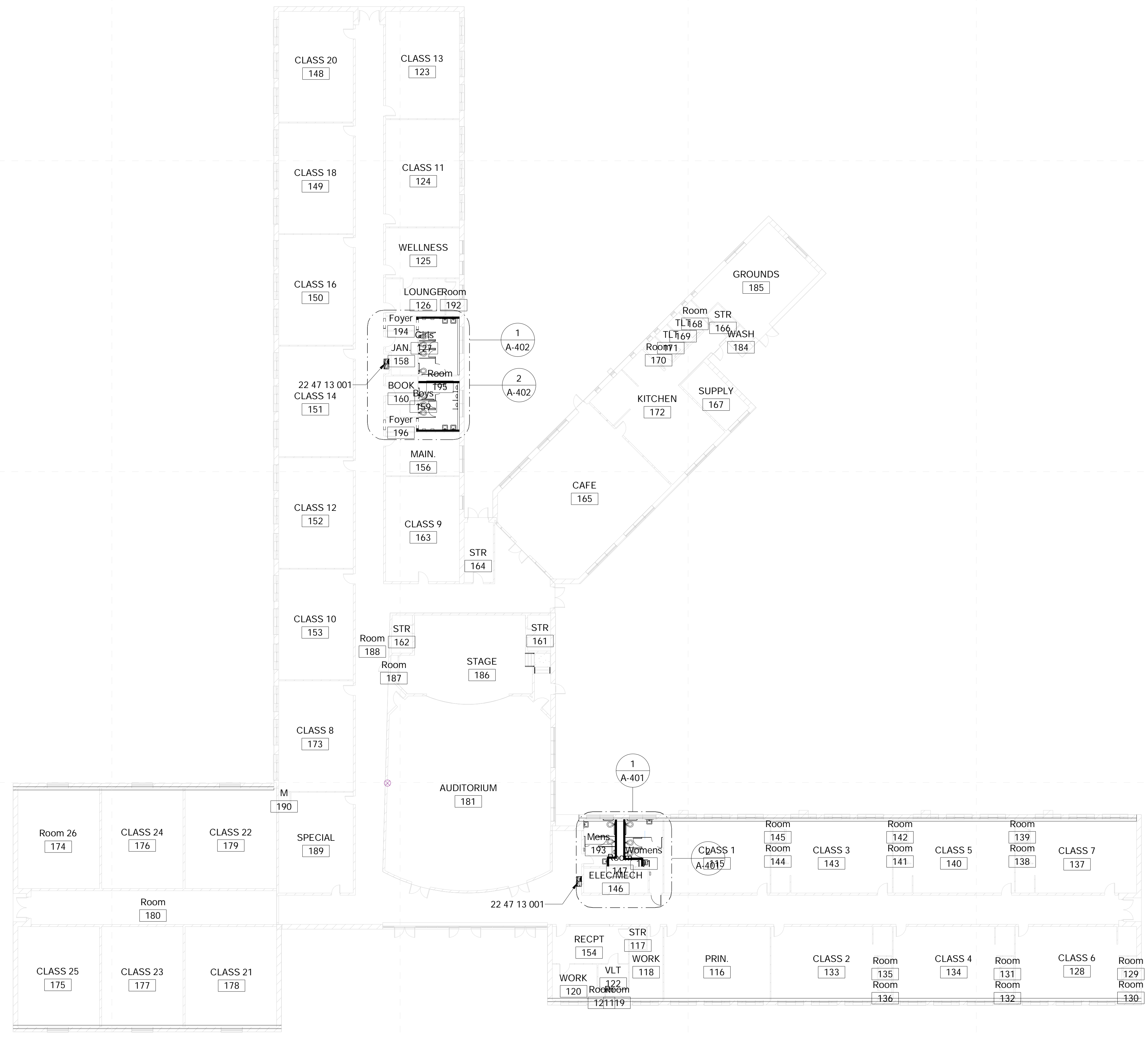
### General RCP Demolition Notes

1. Where ceiling transitions from new ceiling to existing ceiling, coordinate with Architect detail.
2. Remove all existing ceiling grid & tile unless noted otherwise, as well as any wall fasteners and/or mastics attached therein where shown to be replaced by new materials.
3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
5. Burying or Burning of materials will not be permitted on site.
6. Repair any damage caused to building construction identified to remain.
7. Refer to other discipline drawings for additional demolition information as noted.
8. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
9. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
10. No work in rooms with ceiling open to the structure above, unless noted otherwise.

### Ceiling Legend

- Moisture Resistant Acoustical Lay In Ceiling
- Colored Acoustical Lay In Ceiling
- Vinyl Faced Acoustical Lay In Ceiling
- Gypsum Board Ceiling
- 2x2 Acoustical Lay In Ceiling
- Plaster/Stucco
- Concealed Fastender Painted Metal Soffit
- 2x2 Fluorescent Fixture
- Surface-Mounted Fluorescent Light Fixture
- Recessed Can Light Fixture
- HVAC Supply Grille
- HVAC Return Grille
- Exterior Wall Light
- Interior Wall Light
- Open to Structure (OTS)

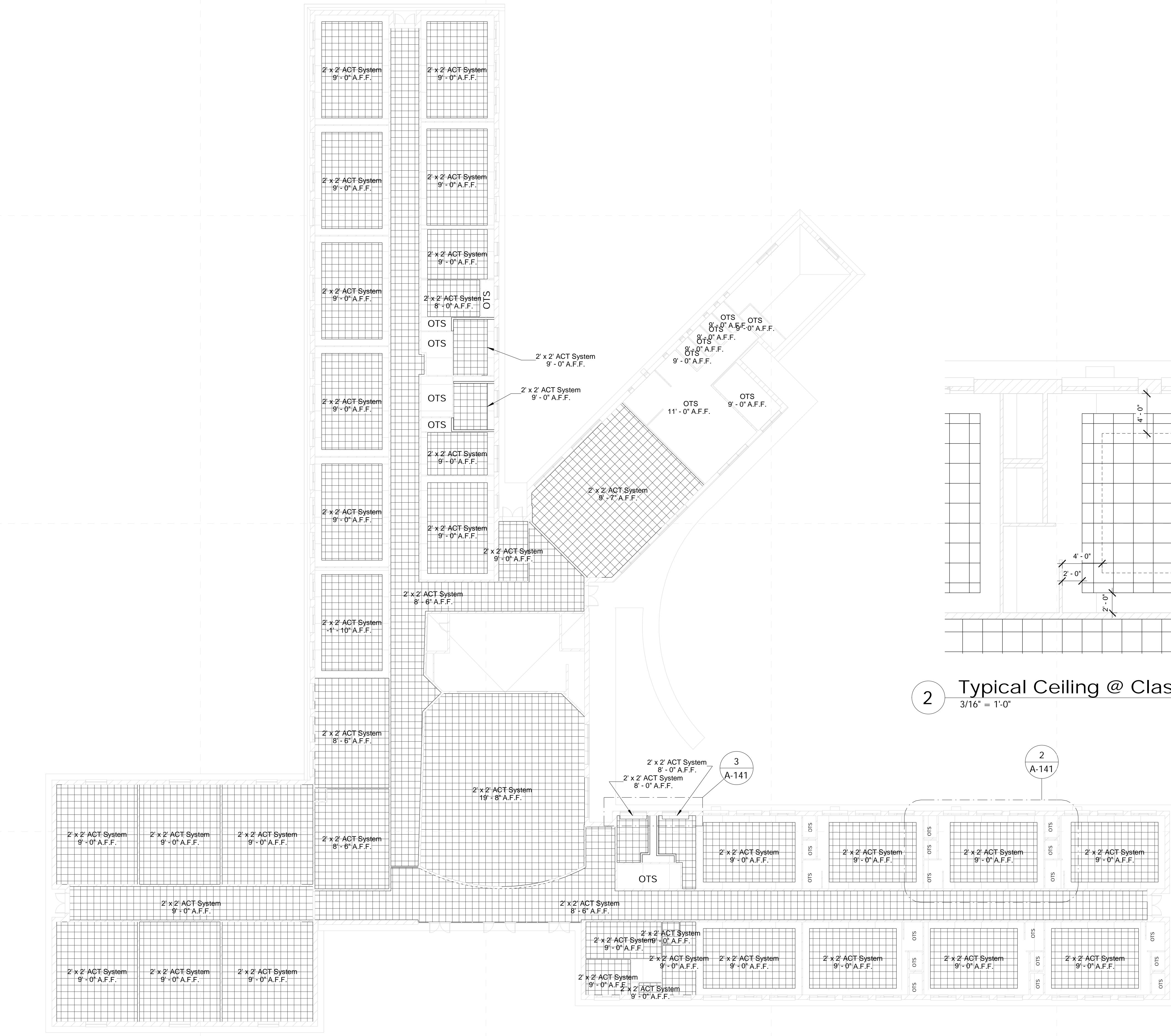
Project No	21027
Date	June 2021
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1	10/05/2021
2	11/26/2021



**Specific Notes**

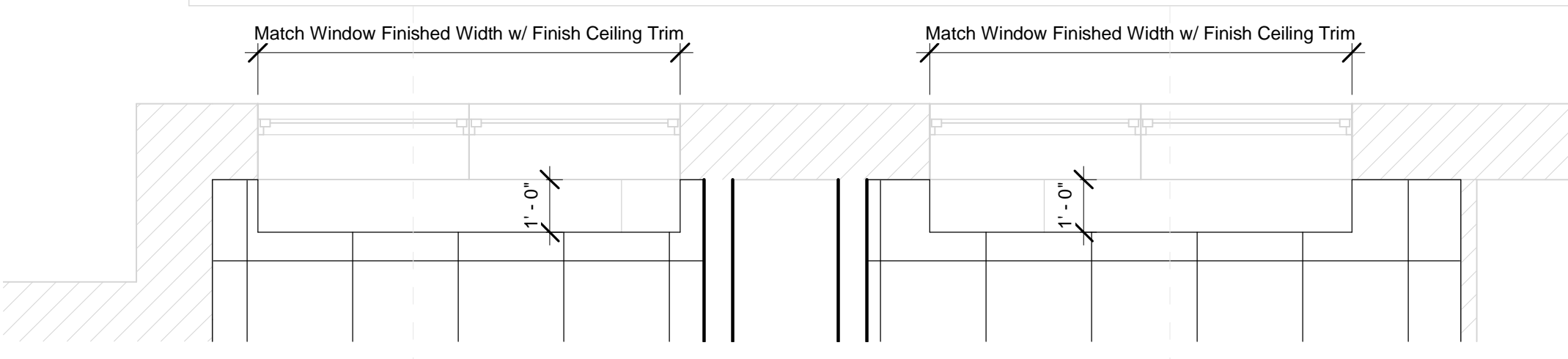
22 47 13 001 Install double drinking fountain here: coordinate with mechanical & electrical drawings

**1** Floor Plan - New Construction  
1/16" = 1'-0"

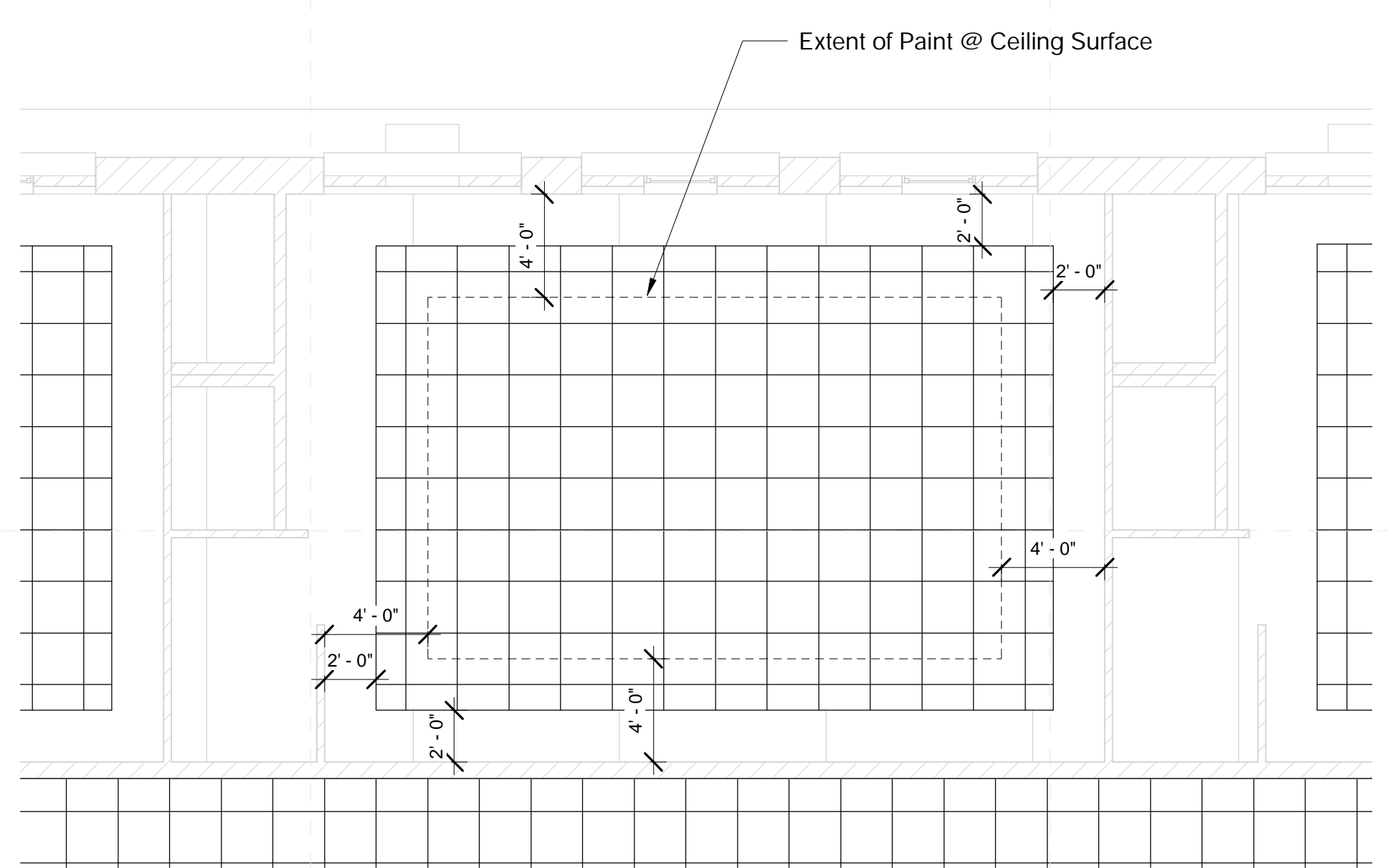


**1** Floor Plan - New Construction  
1/16" = 1'-0"

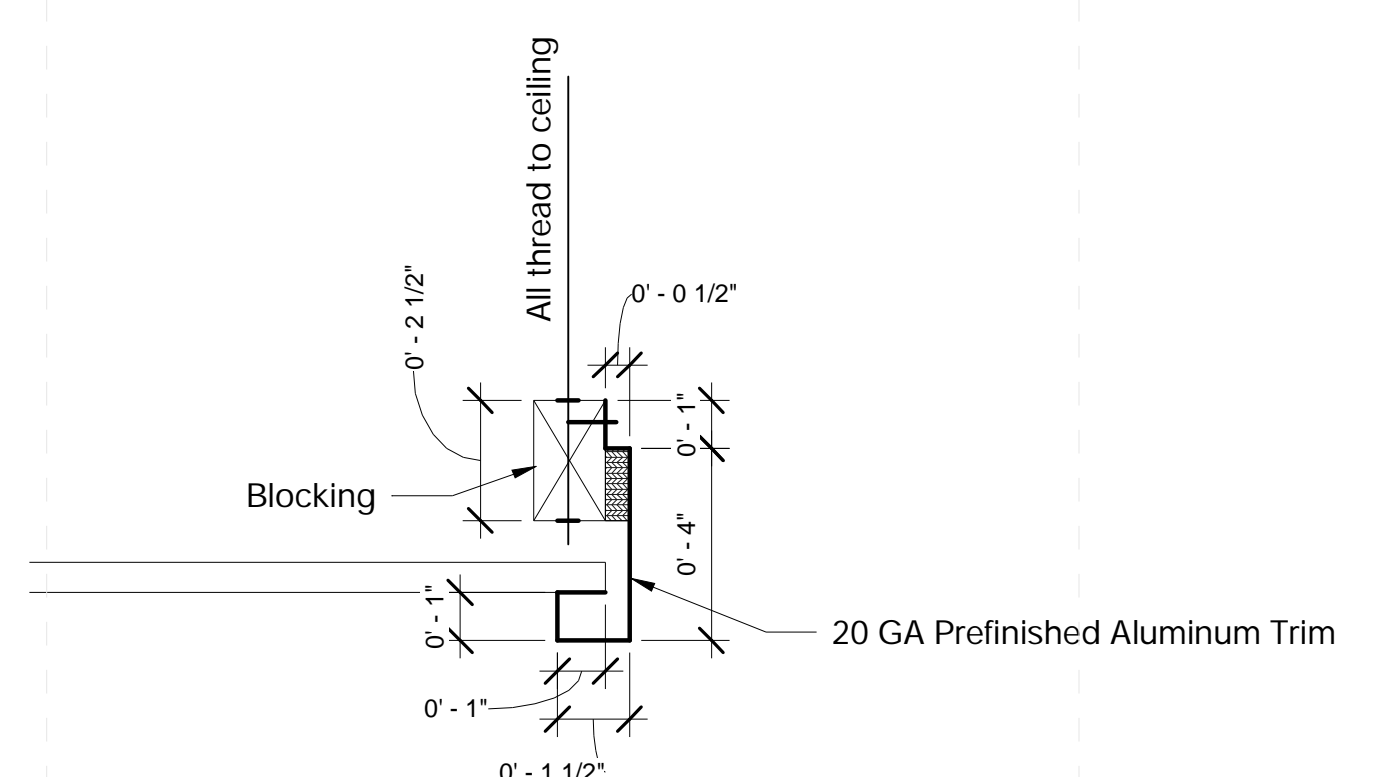
**3** Detail @ Full Height Windows  
3/8" = 1'-0"



**2** Typical Ceiling @ Classrooms  
3/16" = 1'-0"



**4** Ceiling Edge Trim Detail  
3" = 1'-0"

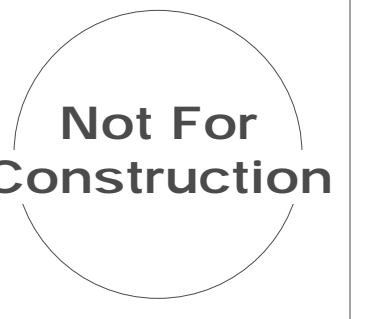


**General RCP Notes**

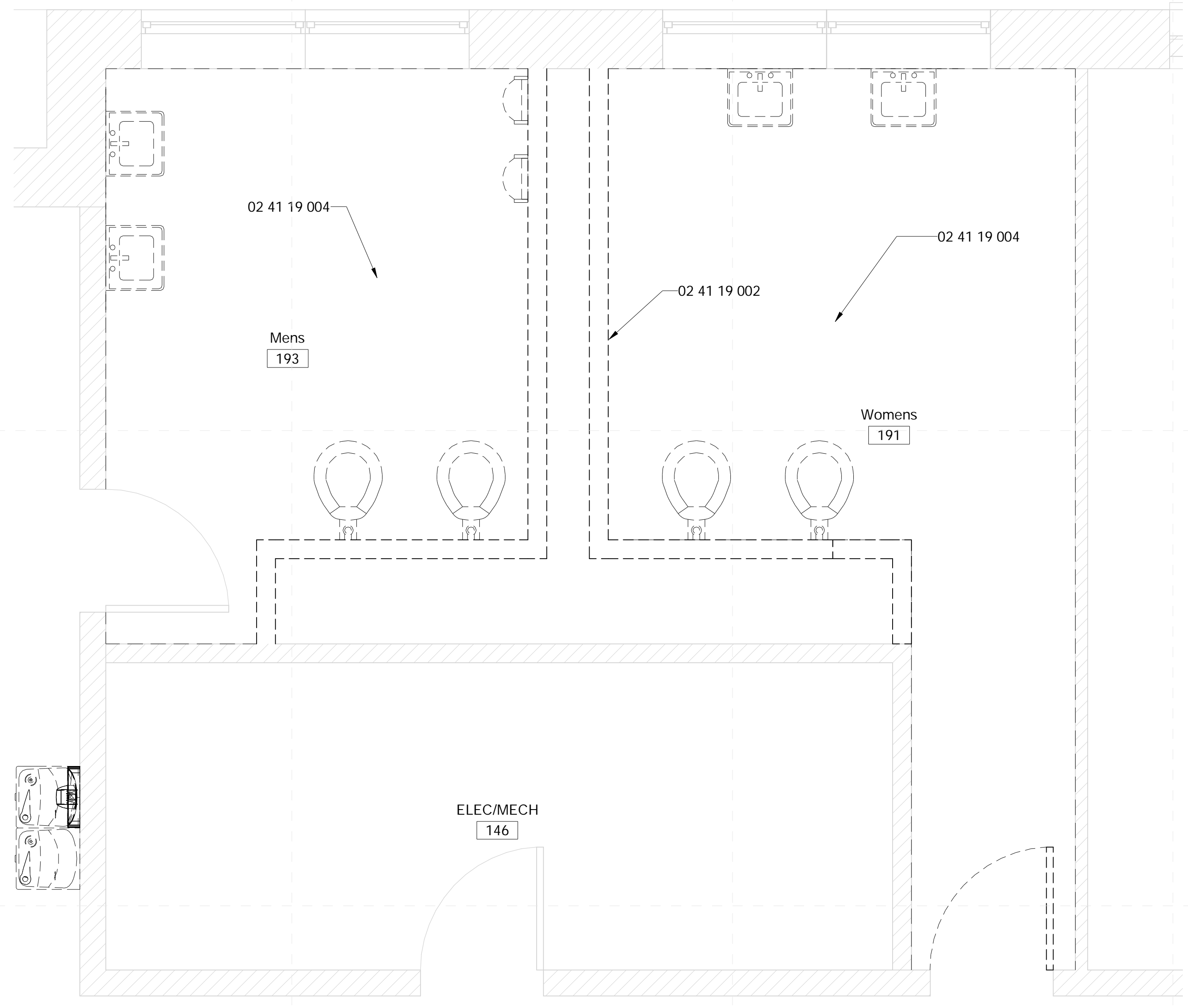
- All ceiling heights shall be same as existing or lower, unless noted otherwise.
- Contractor shall paint all surfaces above 8'-8" at wall, roof, and ceiling, as well as anything attached therein at all exposed sections of ceilings where not covered by new 2x2 ACT, unless noted otherwise.
- Repair/replace any and all ceiling damaged due to construction activities.
- Bent ceiling grid damaged due to construction activities shall be replaced or bent to appear as new in shape.

**Ceiling Legend**

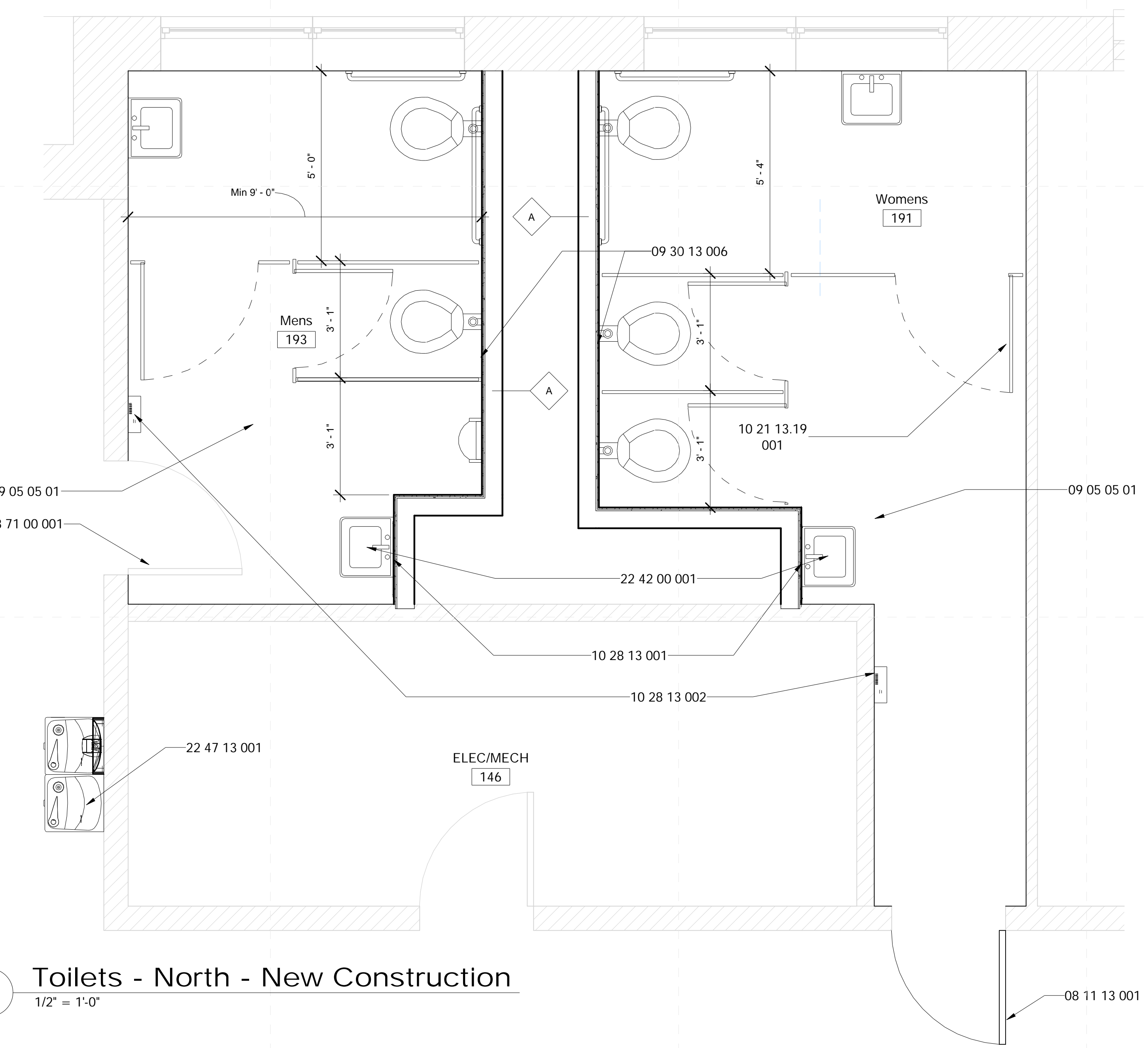
- Moisture Resistant Acoustical Lay In Ceiling
- Colored Acoustical Lay In Ceiling
- Vinyl Faced Acoustical Lay In Ceiling
- Gypsum Board Ceiling
- 2x2 Acoustical Lay In Ceiling
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- Recessed Can Light Fixture
- HVAC Supply Grille
- HVAC Return Grille
- Exterior Wall Light
- Interior Wall Light
- Open to Structure (OTS)



Project No	21027
Date	June 2021
Revisions	Rev Date
1	10/05/2021
2	11/26/2021



2 Toilets - North - Demolition  
1/2" = 1'-0"



1 Toilets - North - New Construction  
1/2" = 1'-0"

General RCP Demolition Notes

- Where ceiling transitions from new ceiling to existing ceiling, coordinate with Architect detail.
- Remove all existing ceiling grid & tile unless noted otherwise, as well as any wall fasteners and/or mastics attached therein where shown to be replaced by new materials.
- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- Burying or Burning of materials will not be permitted on site.
- Repair any damage caused to building construction identified to remain.
- Refer to other discipline drawings for additional demolition information as noted.
- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- No work in rooms with ceiling open to the structure above, unless noted otherwise.

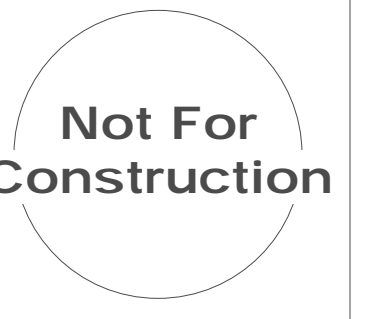
Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 004	Remove floor tile and substrate
08 11 13 001	Install metal door and frame to match existing for corrected swing
08 71 00 001	Replace all door hardware with new at existing leaf
09 05 05 01	Install leveling compound as needed for smooth appearance of new tile & a flush threshold to adjacent floors, typical on new floor tile
09 30 13 006	Install accent tile at this wall
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new
22 47 13 001	Install double drinking fountain here; coordinate with mechanical & electrical drawings

General Finish Plan Notes

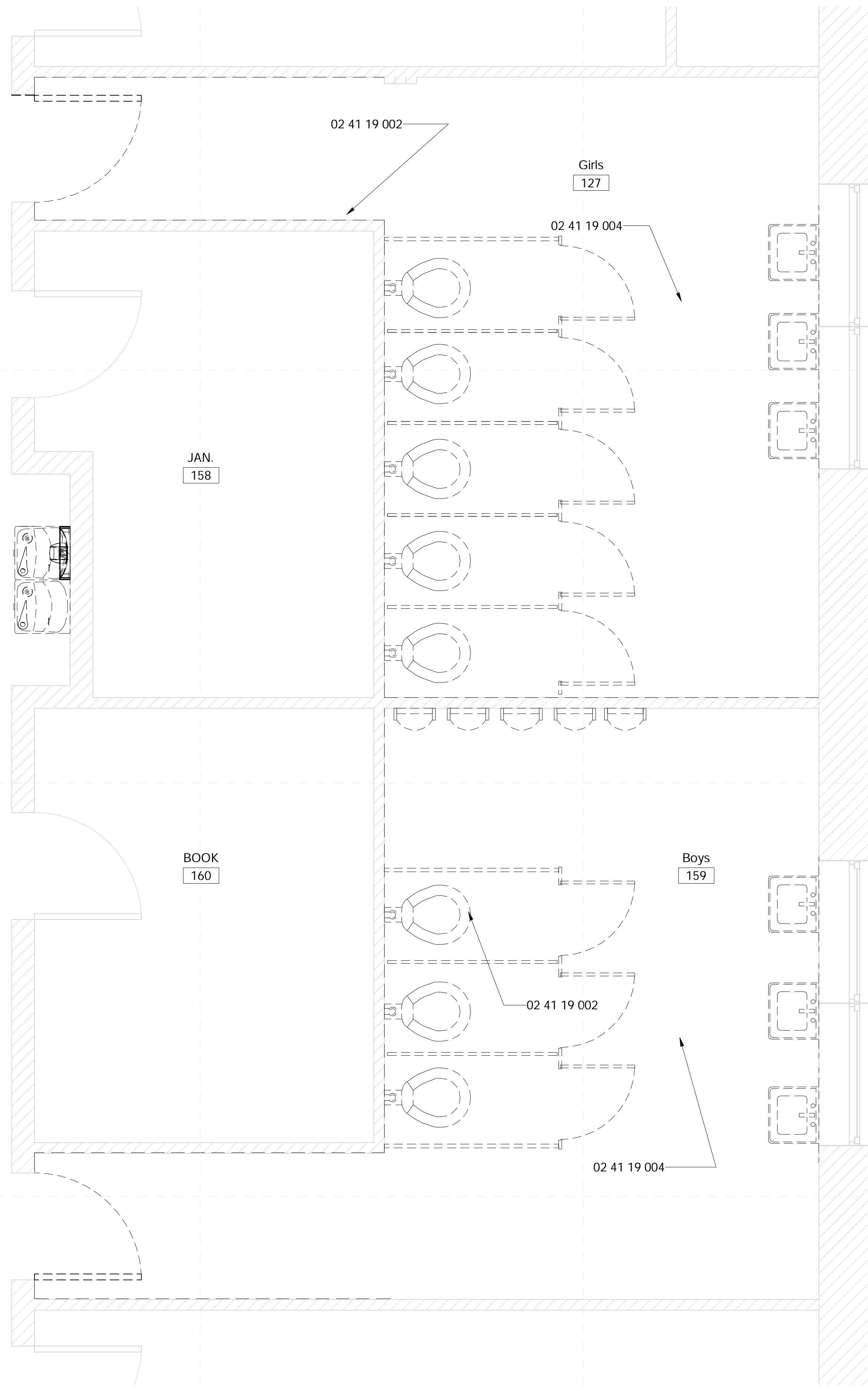
- All flooring transitions are to occur at center line of door panel.
- Install new tile at floors.
- New Fixture locations shall be coordinated with mechanical sheets.
- Install new wall tile flush and straight floor to ceiling; typical at bathroom interior unless noted otherwise
- Install new tile base at all walls in bathrooms
- Install new grab bars at all ADA & AMB toilets
- Install moisture resistant back board at all new tile.

Architects  
One Jackson Place- 250  
188 East Capitol Street  
Jackson, MS 39201  
p 601.352.5411  
201 Park Court Suite B  
Ridgeland, MS 39157  
p 601.790.9432  
161 Lameuse St. Suite 201  
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p 228.374.1409  
dalebaileyplans.com

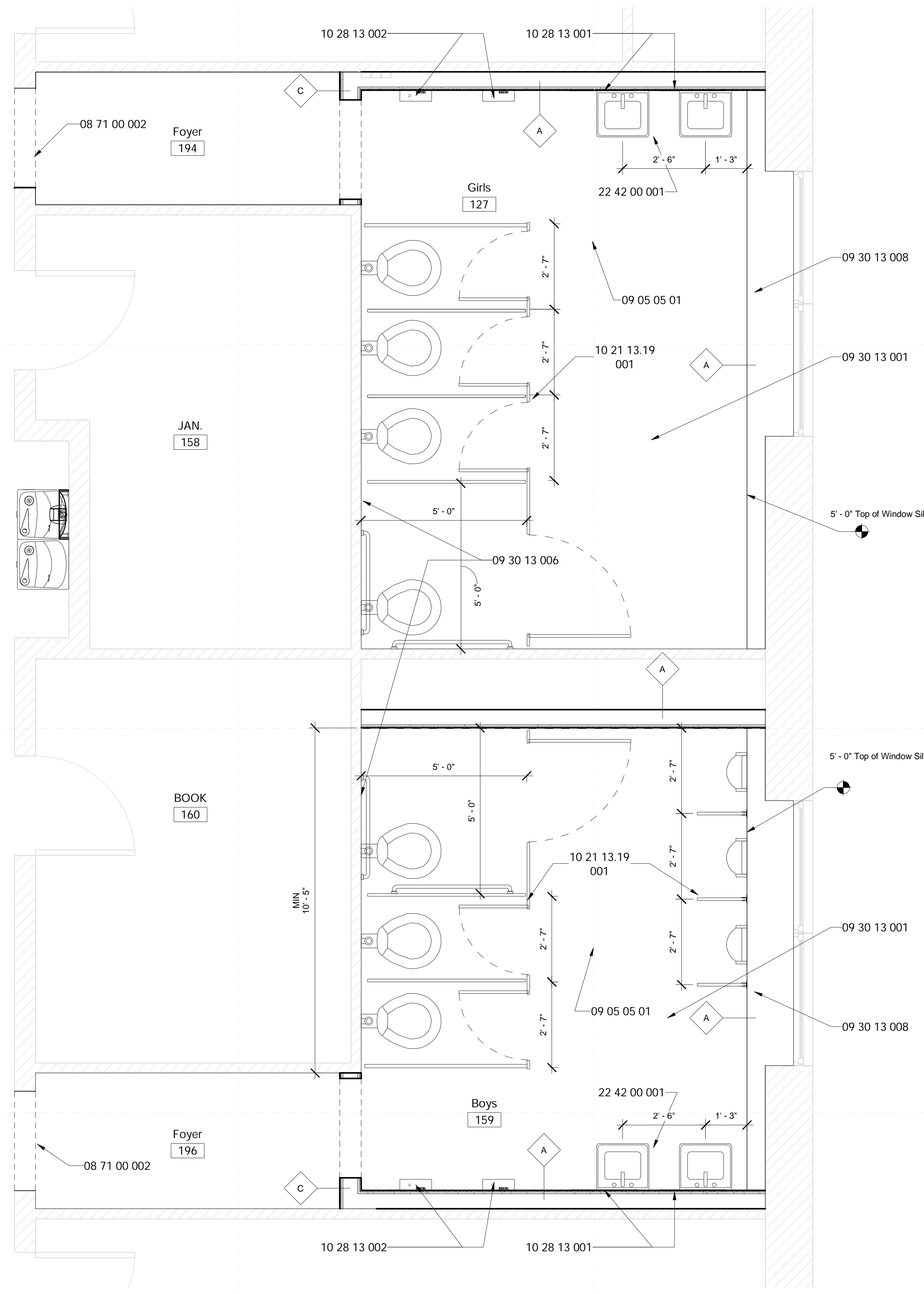


Design  
Development

Project No	21027
Date	June 2021
Revisions	Rev Date
1	10/05/2021
2	11/26/2021



**1 Toilets - South - Demolition**  
1/2" = 1'-0"



**2 Toilets - South - New Construction**  
1/2" = 1'-0"

**General Demolition Notes**

- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc., where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule.
- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- Burying or Burning of materials will not be permitted on site.
- Repair any damage caused to building construction identified to remain.
- Refer to other discipline drawings for additional demolition information as noted.
- Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

**Specific Notes**

02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 004	Remove floor tile and substrate
08 71 00 002	Fill Hinges Recessions with blank plates & paint
09 05 05 01	Install leveling compound as needed for smooth appearance of new tile & a flush threshold to adjacent floors, typical on new floor tile
09 30 13 001	Install new floor tile; slope to floor drain is drain provided
09 30 13 006	Install accent tile at this wall
09 30 13 008	Install new wall tile flush and straight with accent top piece, floor to partial wall/window sill height; install 5/8" MR Sheetrock above partial height wall to MIN 4" ABV Ceiling (epoxy paint)
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

**General Finish Plan Notes**

- All flooring transitions are to occur at center line of door panel.
- Install new tile at floors.
- New Fixture locations shall be coordinated with mechanical sheets.
- Install new wall tile flush and straight floor to ceiling; typical at bathroom interior unless noted otherwise
- Install new tile base at all walls in bathrooms
- Install new grab bars at all ADA & AMB toilets
- Install moisture resistant back board at all new tile.



Project No	21027
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All School's Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 004	Remove floor tile and substrate
02 41 19 005	Demo tile wainscot; patch & repair substrate as needed for new tile install
08 71 00 001	Replace all door hardware with new at existing leaf
09 05 05 01	Install leveling compound as needed for smooth appearance of new tile & a flush threshold to adjacent floors, typical on new floor tile
09 30 13 001	Install new floor tile; slope to floor drain is drain provided
09 30 13 002	Install new wall tile flush and straight, floor to ceiling
09 30 13 005	Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
09 30 13 006	Install accent tile at this wall
09 30 13 007	Tile floor to remain; patch and repair any damages as well as any alterations due to construction for finished look
09 91 23 001	Paint wall tile and CMU floor to ceiling in this room only
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 40 00 001	New fixtures throughout (typical); see plumbing
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new
22 47 13 001	Install double drinking fountain here; coordinate with mechanical & electrical drawings



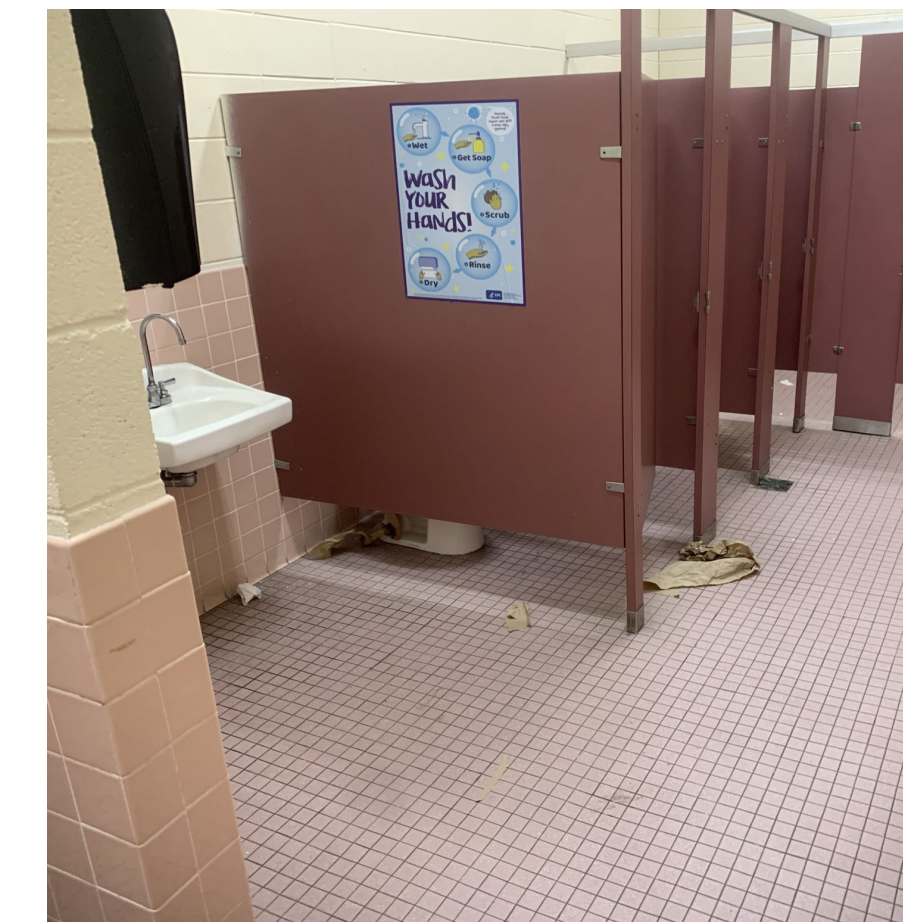
Front of School



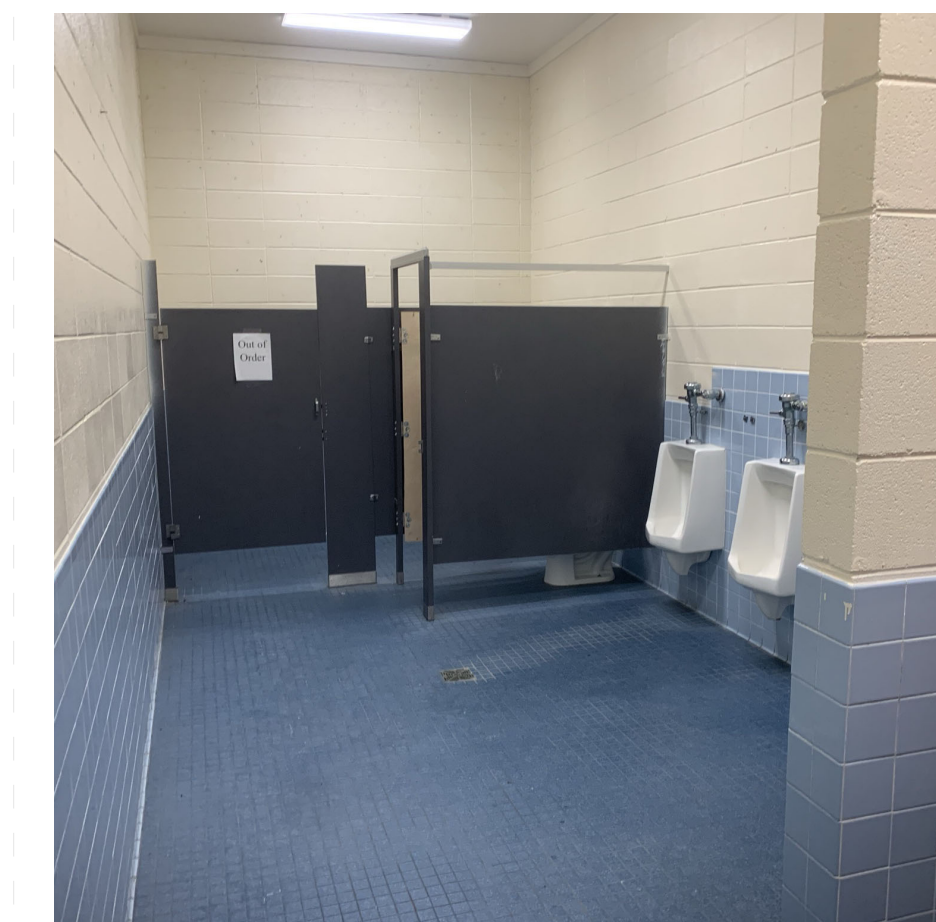
Typical Toilet Room



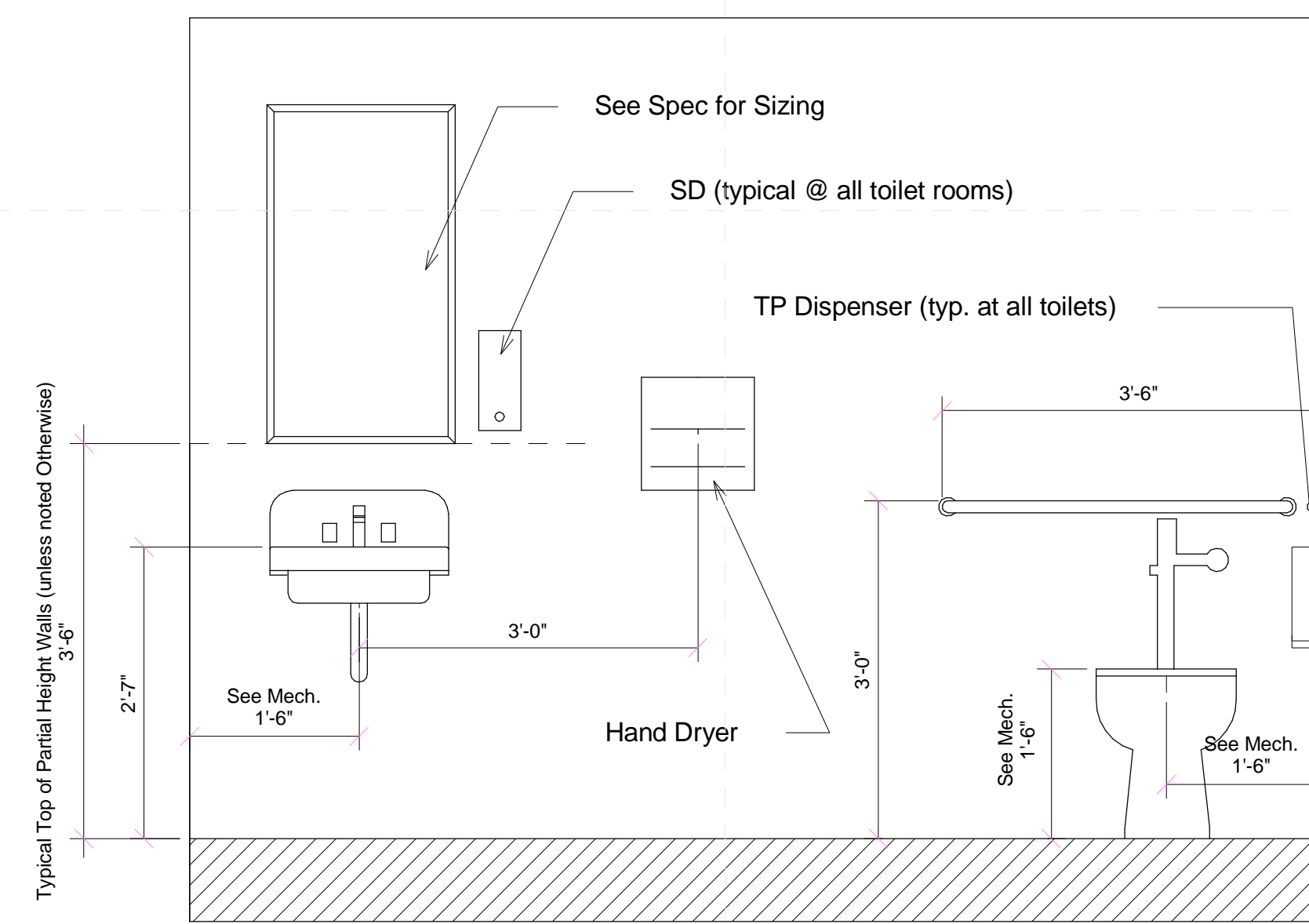
Typical Toilet Room



Gym Toilets

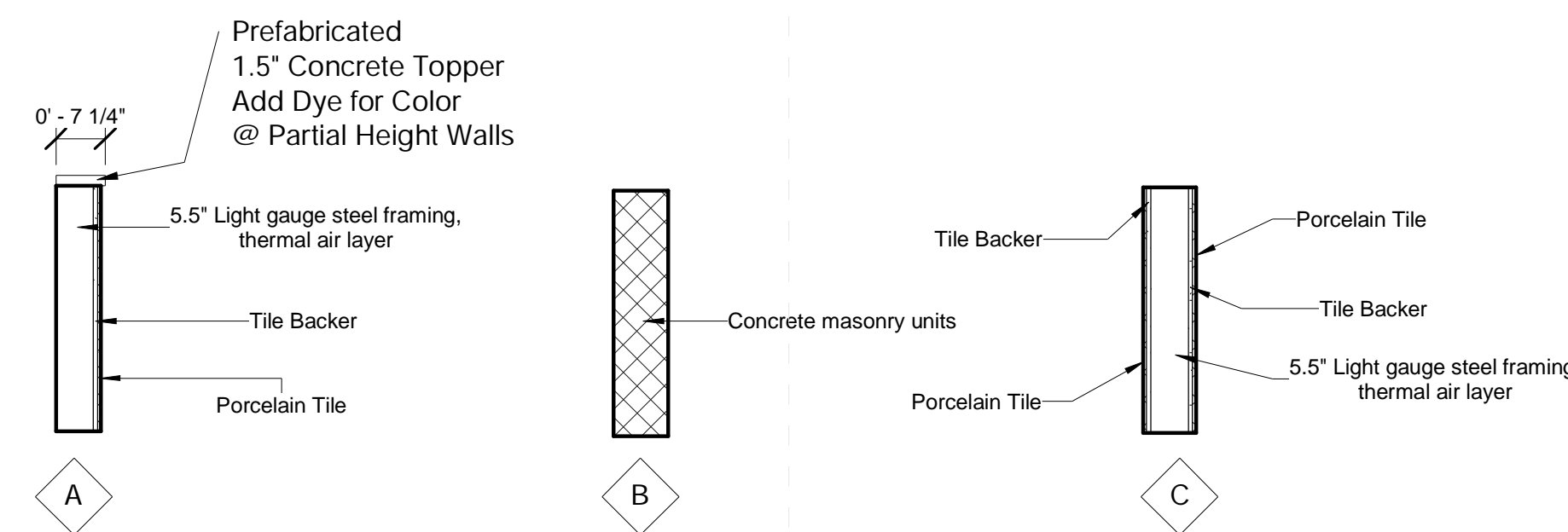


Gym Toilets



Typical Toilet Room Wall

3/4" = 1'-0"



Wall Types

1/2" = 1'-0"

Architects

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p 228.374.1409

dalebaileyplans.com

Not For Construction

Sunflower Consolidated School District  
Carver Elementary School: 404 Jefferson St. Indianola, MS 38751

Design Development

Project No	00000
Date	Issue Date
Revisions	Rev Date
1	10/5/2021
2	11/26/2021

Not For Construction
















Design Development

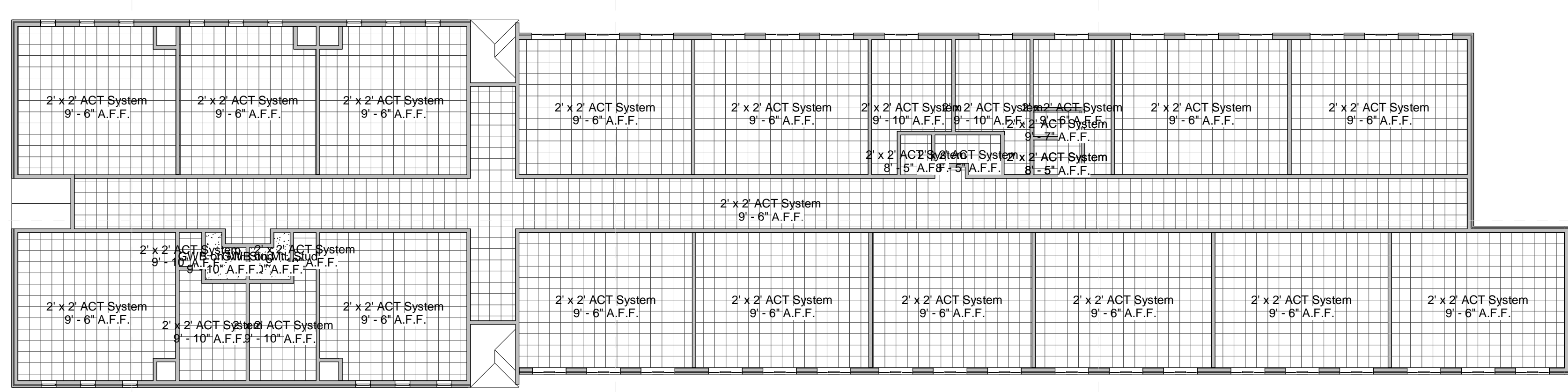
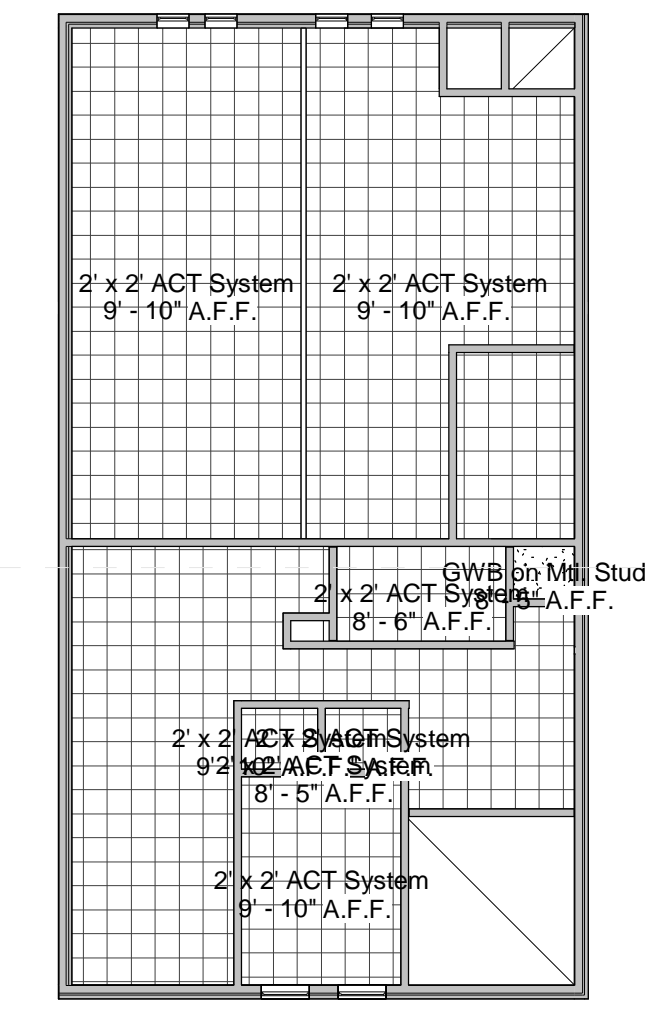
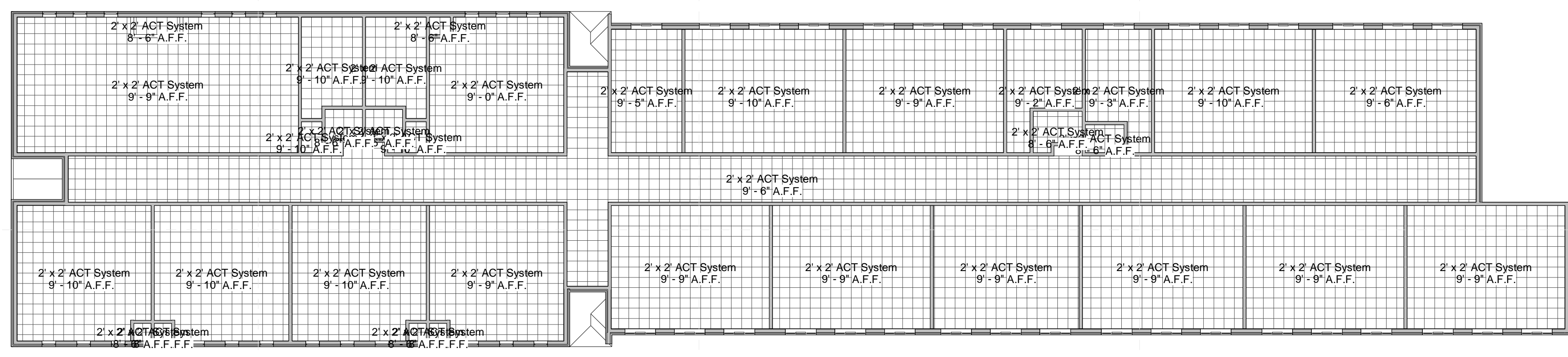
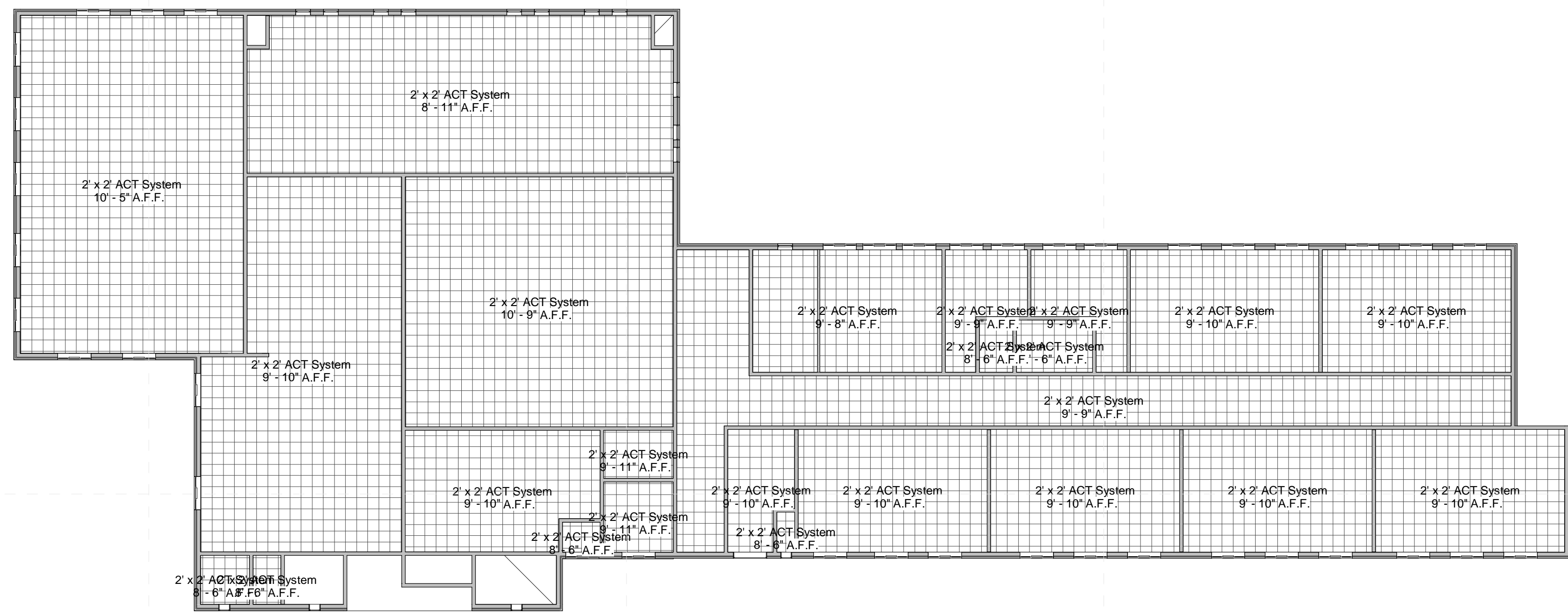
Project No	00000
Date	Issue Date
Revisions	Rev Date
1	10/5/2021
2	11/26/2021

General RCP Demolition Notes

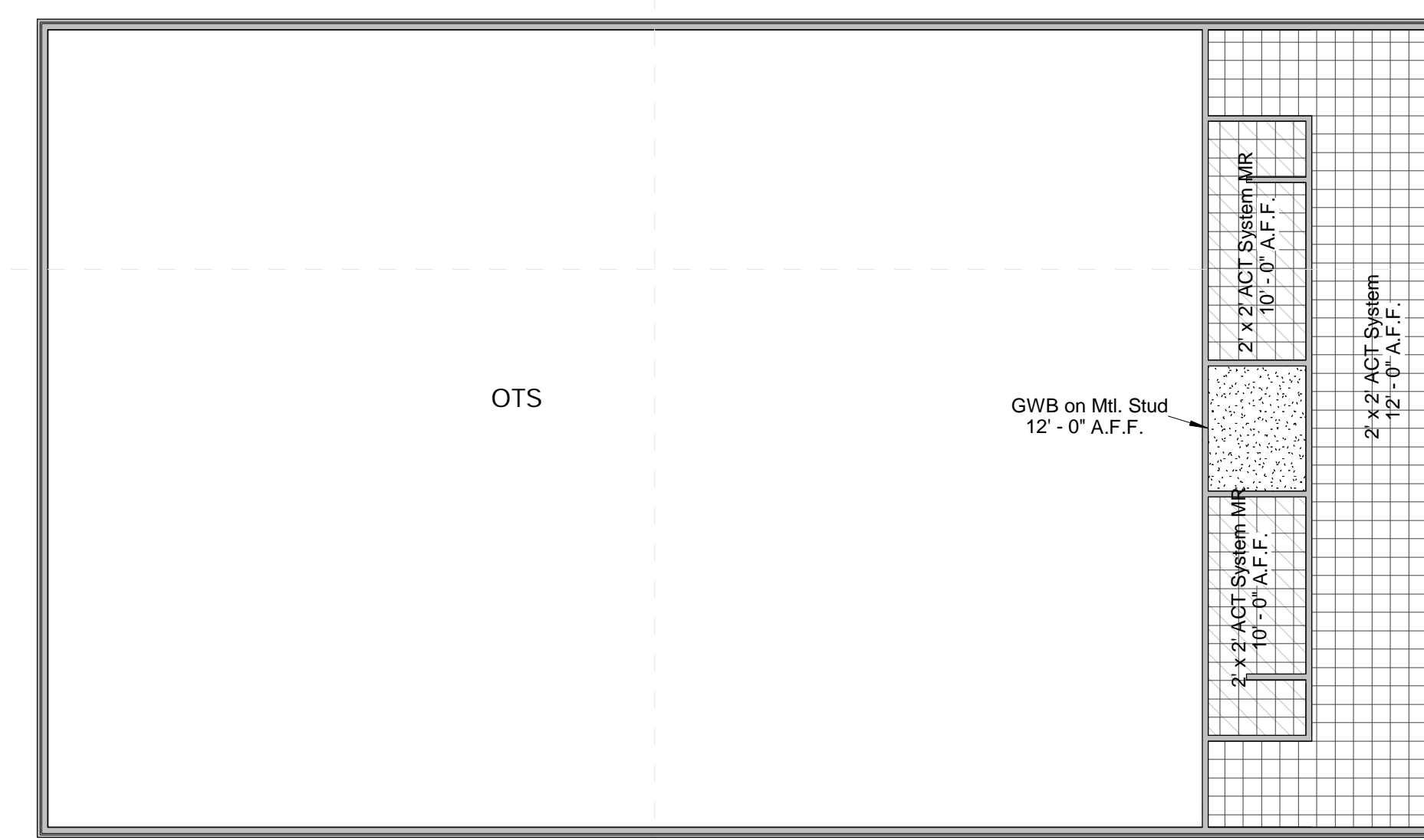
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Ceiling Legend

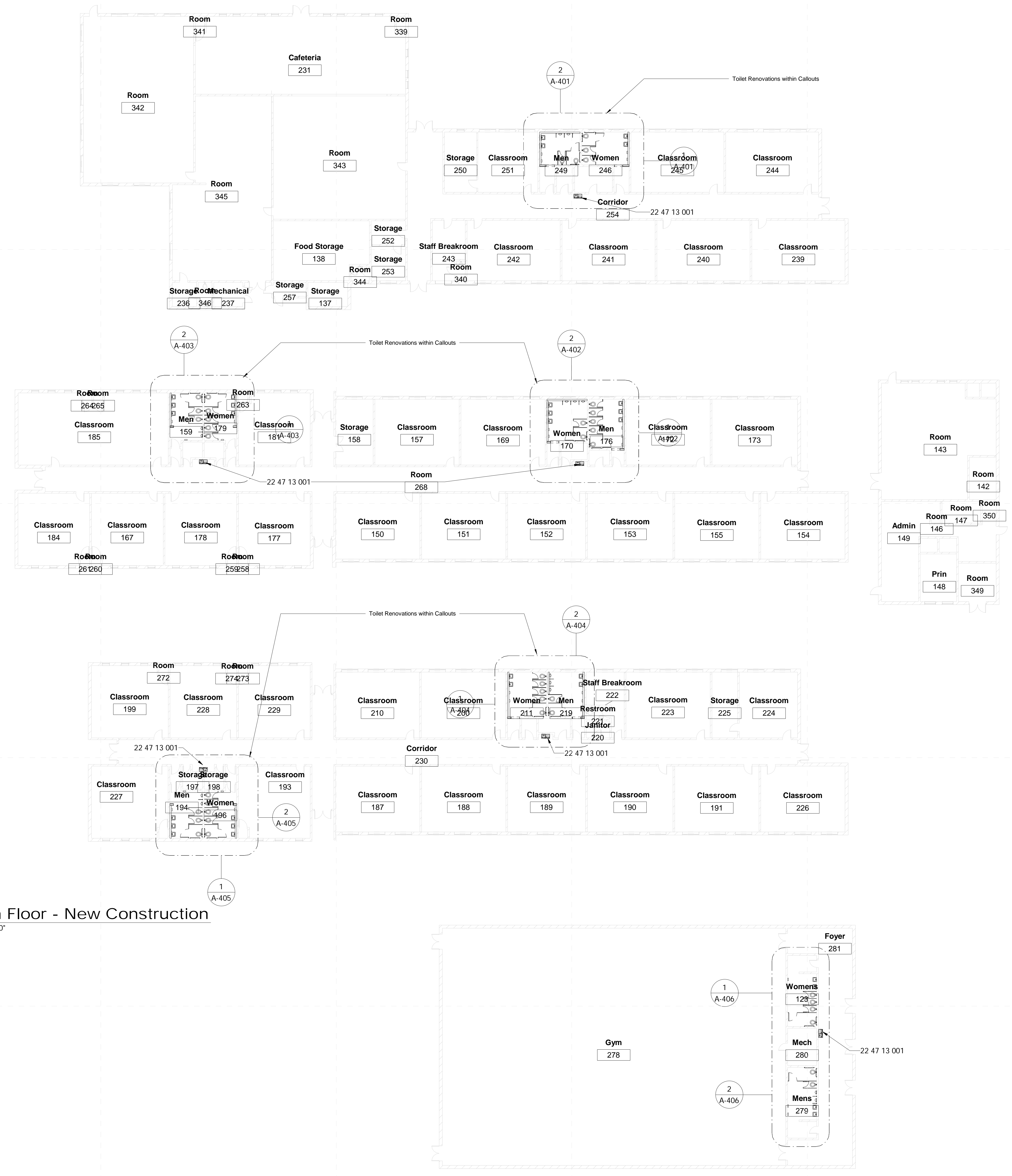
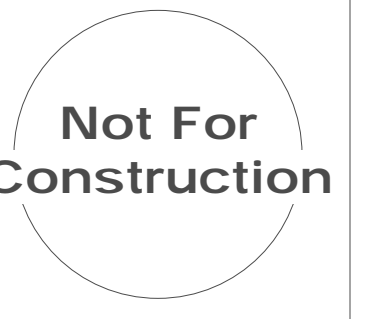
-  Moisture Resistant Acoustical Lay In Ceiling
-  Colored Acoustical Lay In Ceiling
-  Vinyl Faced Acoustical Lay In Ceiling
-  Gypsum Board Ceiling
-  2x2 Acoustical Lay In Ceiling
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-  Recessed Can Light Fixture
-  HVAC Supply Grille
-  HVAC Return Grille
-  Exterior Wall Light
-  Interior Wall Light
-  Open to Structure (OTS)



**1** RCP - Demolition  
1/16" = 1'-0"



**2** RCP - Demolition Gym  
1/16" = 1'-0"



Specific Notes

22 47 13 001 Install double drinking fountain here: coordinate with mechanical & electrical drawings

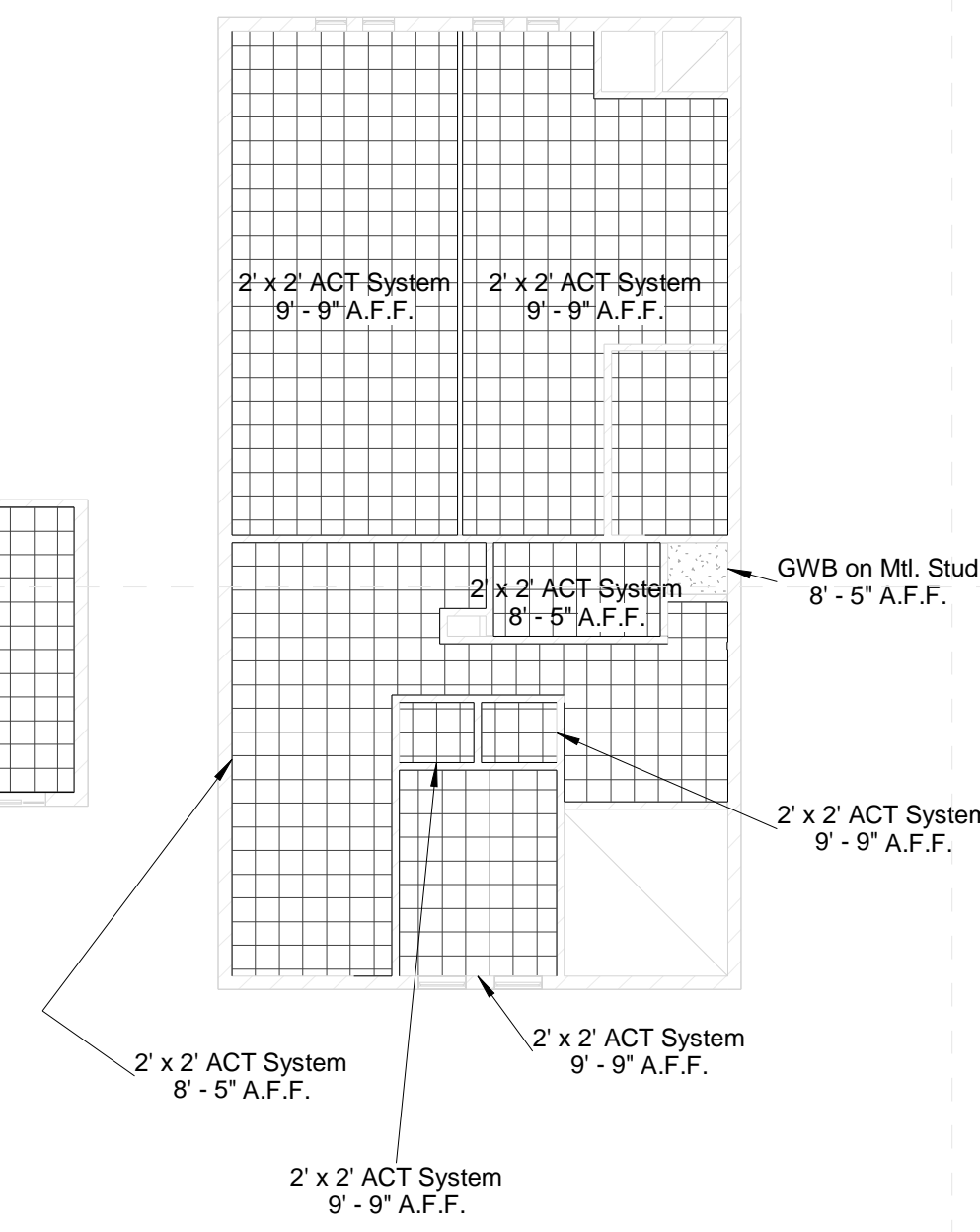
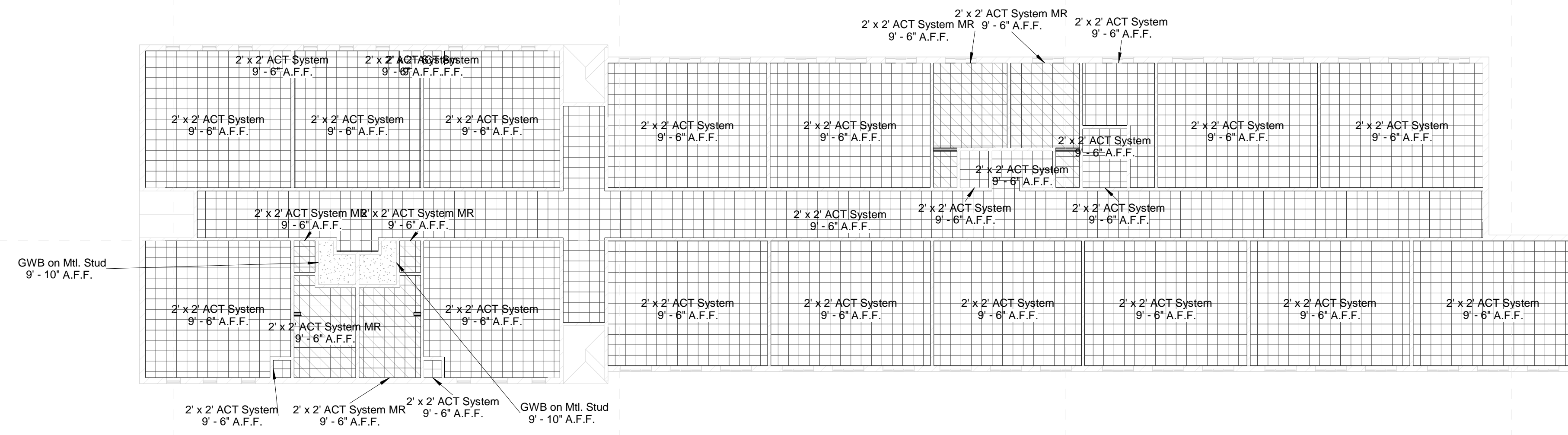
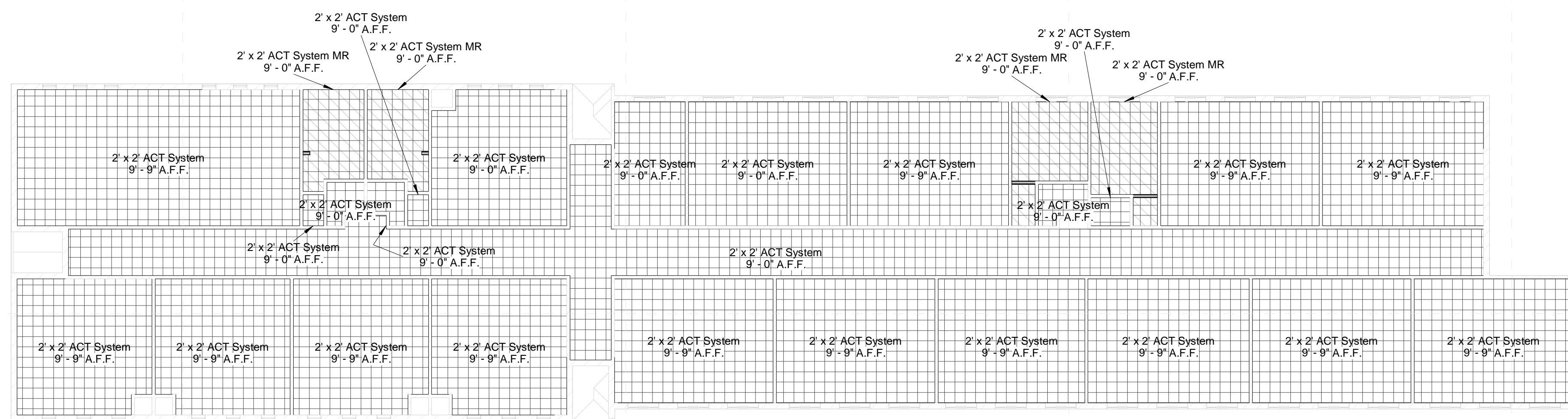
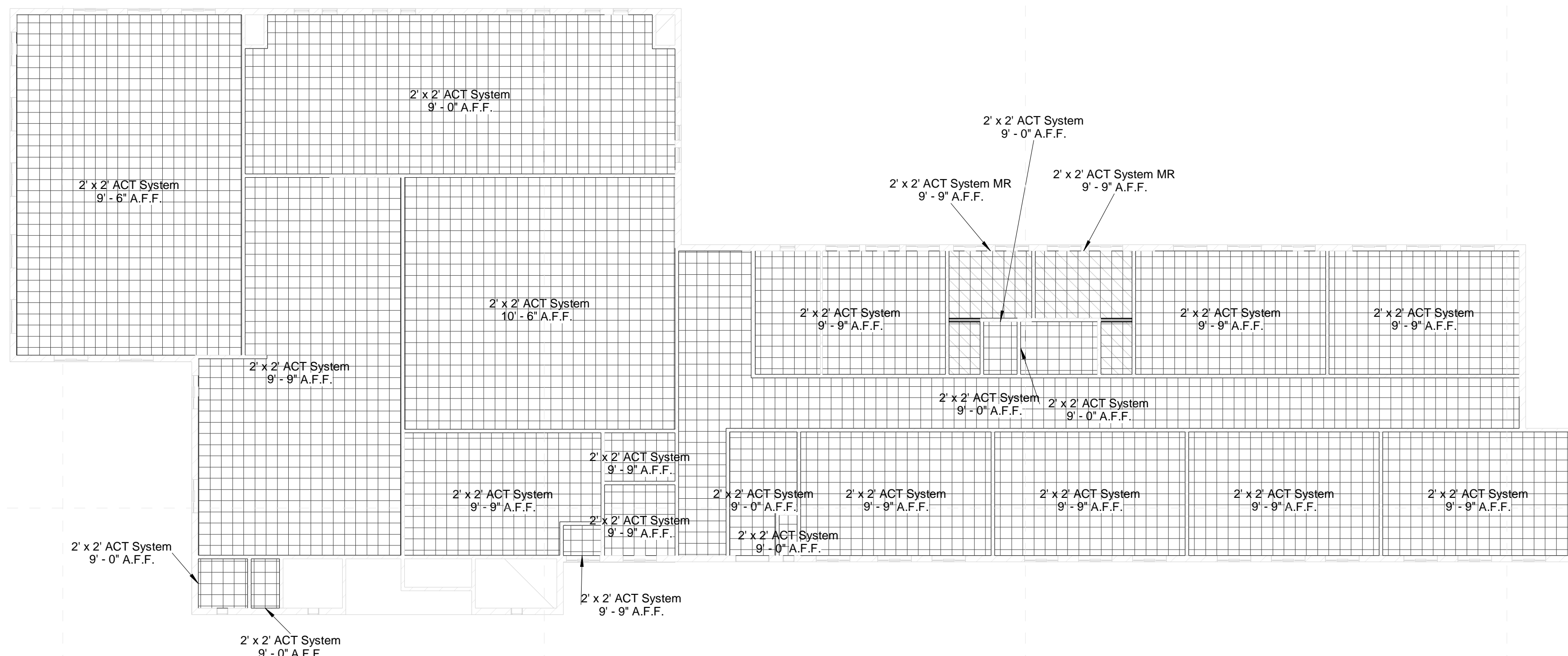
**1** Main Floor - New Construction  
1/16" = 1'-0"

**2** Main Floor - New Construction Gym  
1/16" = 1'-0"

**Sunflower Consolidated School District**  
Carver Elementary School: 404 Jefferson St. Indianola, MS 38751

Design Development

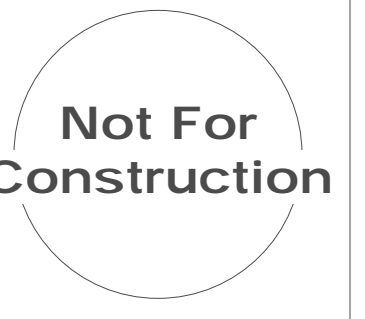
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Date	Issue Date
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**General RCP Notes**

1. All ceiling heights shall be same as existing or lower, unless noted otherwise.
2. Contractor shall paint all surfaces above 10'-0" at wall, roof, and ceiling, as well as anything attached therein at all exposed sections of ceilings where not covered by new 2x2 ACT, unless noted otherwise.
3. Repair/replace any and all ceiling damaged due to construction activities.
4. Bent ceiling grid damaged due to construction activities shall be replaced or bent to appear as new in shape.

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p 228.374.1409  
dalebaileyplans.com



**Ceiling Legend**

- Moisture Resistant Acoustical Lay In Ceiling
- Colored Acoustical Lay In Ceiling
- Vinyl Faced Acoustical Lay In Ceiling
- Gypsum Board Ceiling
- 2x2 Acoustical Lay In Ceiling
- Plaster/Stucco
- Concealed Fastener Painted Metal Soffit
- 2x2 Fluorescent Fixture
- Surface-Mounted Fluorescent Light Fixture
- Recessed Can Light Fixture
- HVAC Supply Grille
- HVAC Return Grille
- Exterior Wall Light
- Interior Wall Light
- Open to Structure (OTS)

**Sunflower Consolidated School District**  
Carver Elementary School: 404 Jefferson St. Indianola, MS 38751

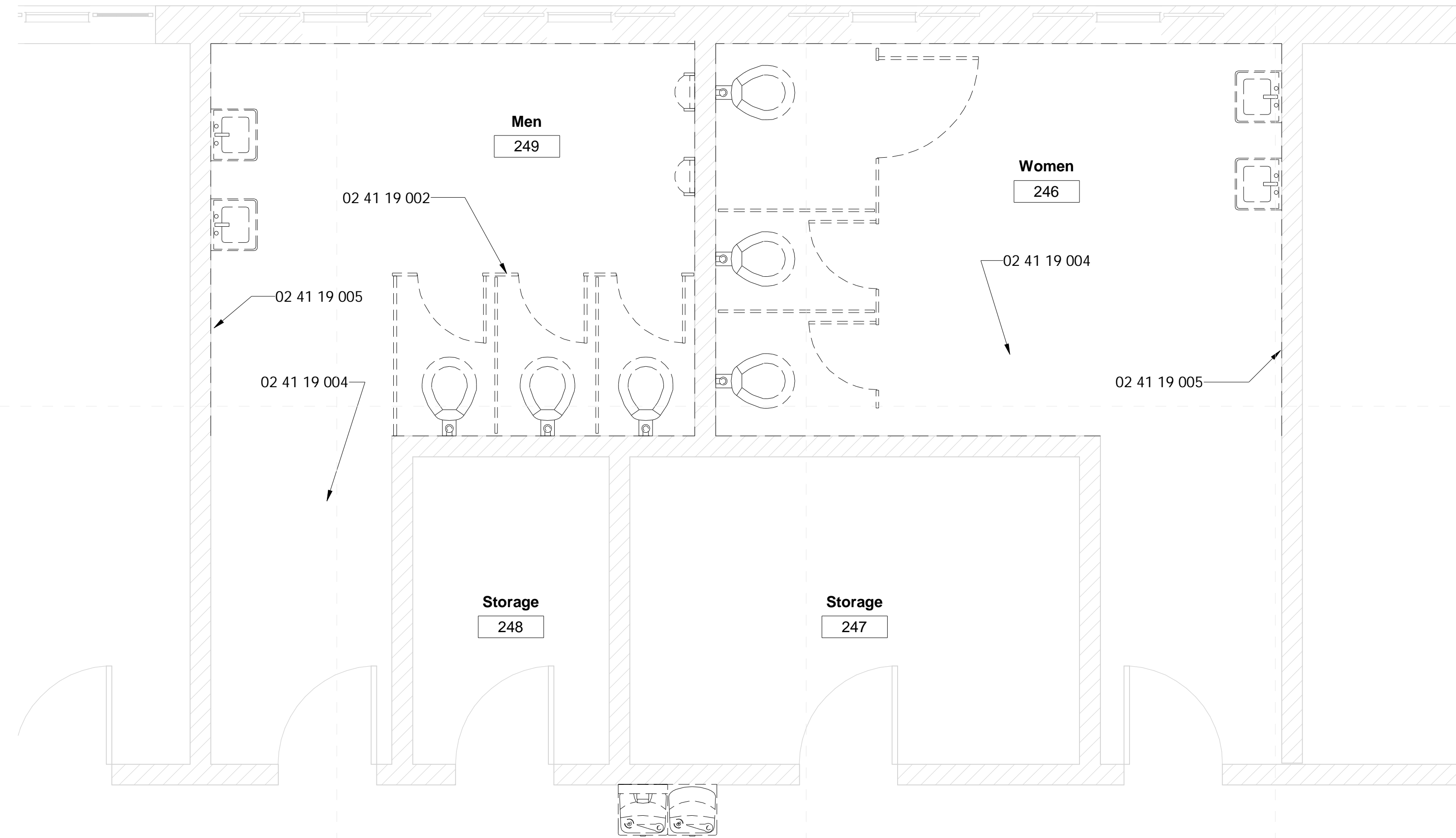
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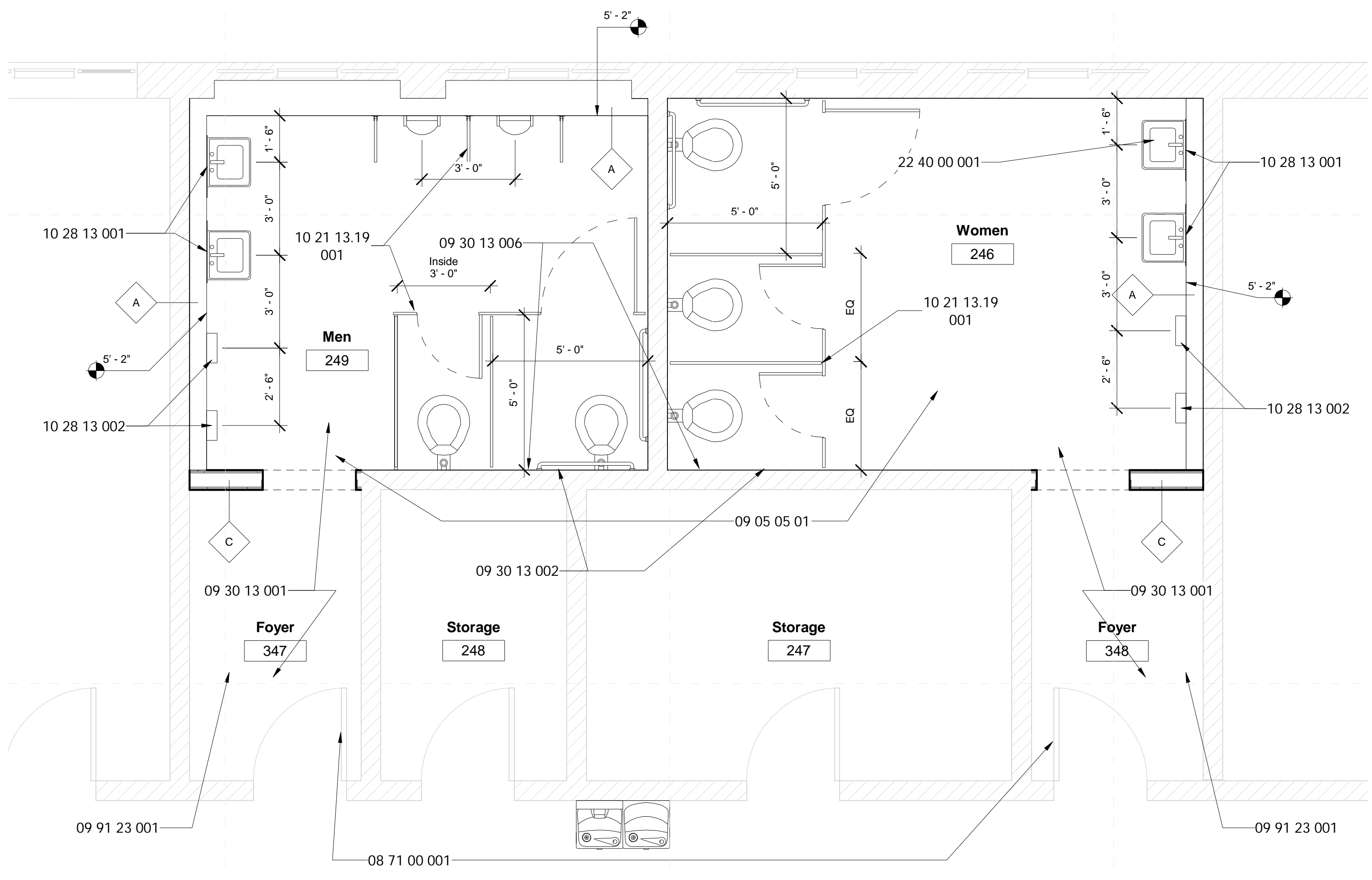
**1 RCP - New Construction**  
1/16" = 1'-0"

**2 RCP - New Construction Gym**  
1/16" = 1'-0"





**2 Main Floor - Demolition - W Toilets**  
3/8" = 1'-0"



**1 Main Floor - New Construction - W Toilets**  
3/8" = 1'-0"

**General Demolition Notes**

- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc., where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
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- Burying or Burning of materials will not be permitted on site.
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- Refer to other discipline drawings for additional demolition information as noted
- Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

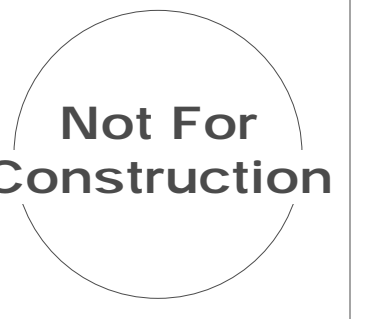
**Specific Notes**

02 41 19 002	Dashed lines indicated extent of demold work
02 41 19 004	Remove floor tile and substrate
02 41 19 005	Demo tile wainscot; patch & repair substrate as need for new tile install
08 71 00 001	Replace all door hardware with new at existing leaf
09 05 05 01	Install leveling compound as needed for smooth appearance of new tile & a flush threshold to adjacent floors, typical on new floor tile
09 30 13 001	Install new floor tile: slope to floor drain is drain provided
09 30 13 002	Install new wall tile flush and straight, floor to ceiling
09 30 13 006	Install accent tile at this wall
09 91 23 001	Paint wall tile and CMU floor to ceiling in this room only
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here: center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here: coordinate with electrical & mechanical
22 40 00 001	New fixtures throughout (typical); see plumbing

**General Finish Plan Notes**

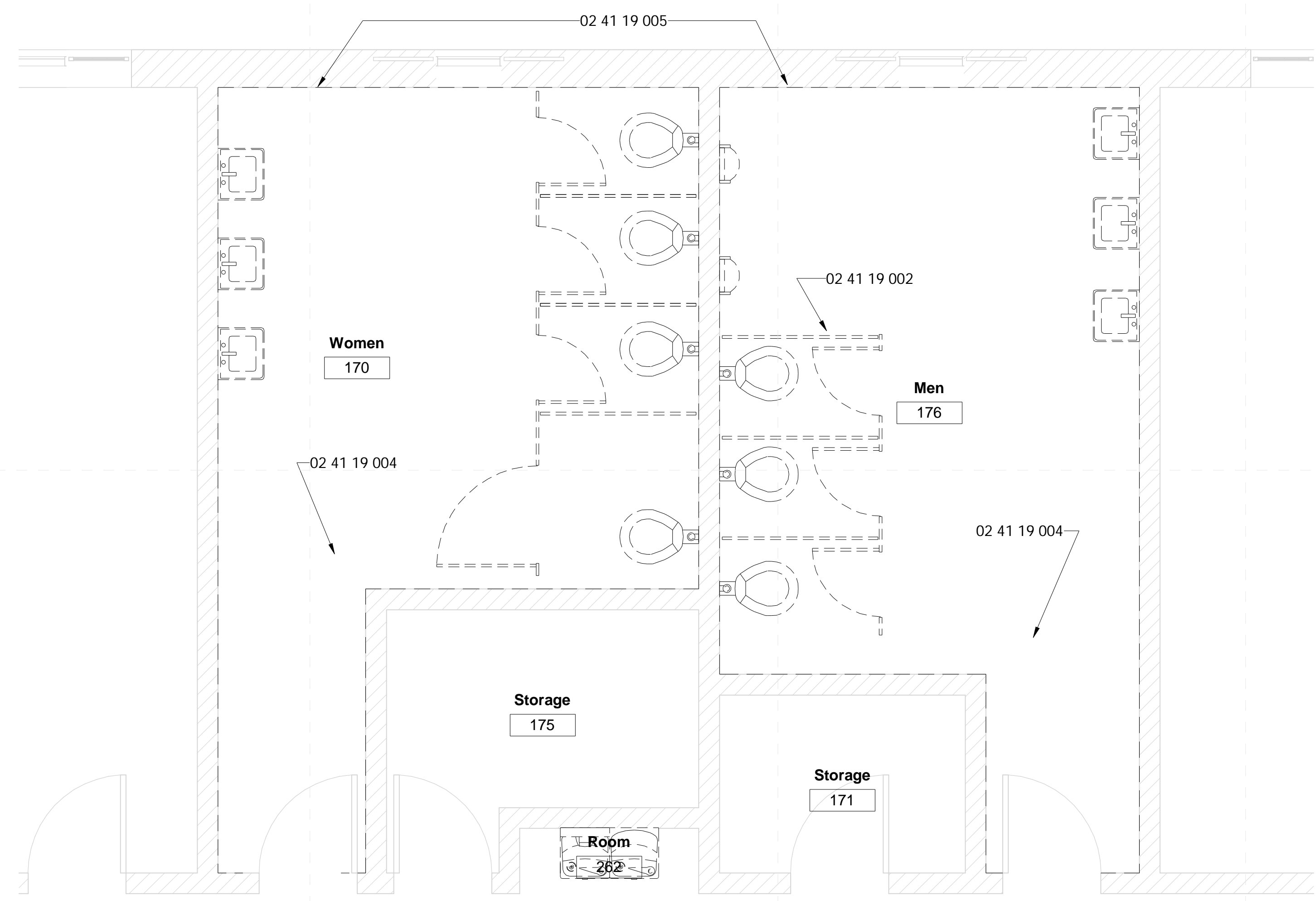
- All flooring transitions are to occur at center line of door panel.
- Install new tile at floors, unless noted otherwise.
- New Fixture locations shall be coordinated with mechanical Sheets.
- Install new wall tile flush and straight with accent top piece, floor to 5'-2" AFF; typical at bathroom interior unless noted otherwise
- Install new tile base at all walls in bathrooms
- Install new grab bars at all ADA & AMB toilets
- Paint all exposed CMU at renovated toilets.

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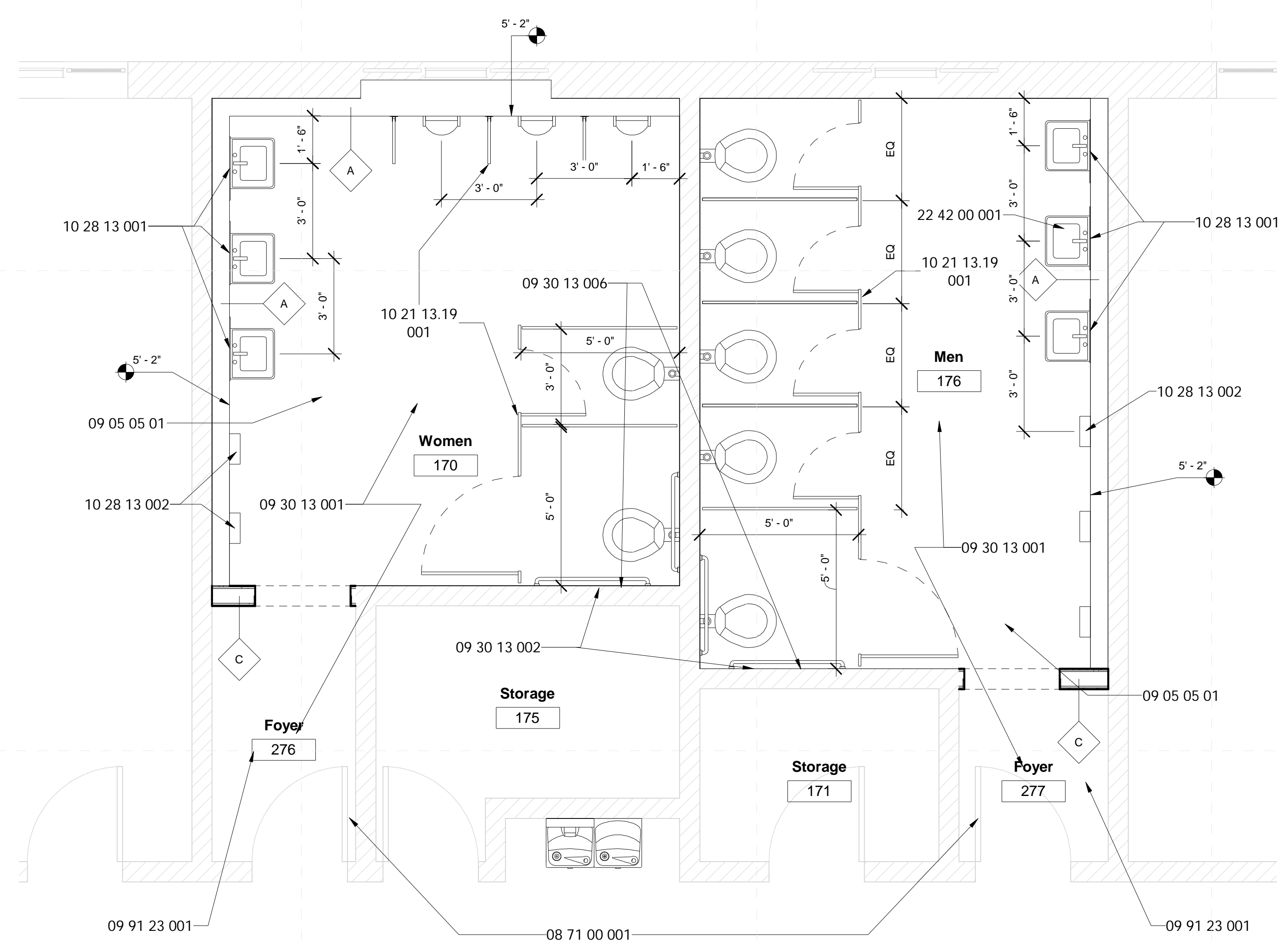


Design  
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**2 Main Floor - Demolition - Central N Toilets**  
3/8" = 1'-0"



**1 Main Floor - New Construction - Central N Toilets**  
3/8" = 1'-0"

**General Demolition Notes**

- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
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**Specific Notes**

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22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

**General Finish Plan Notes**

- All flooring transitions are to occur at center line of door panel.
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**DALE BAILEY**  
AN ASSOCIATION

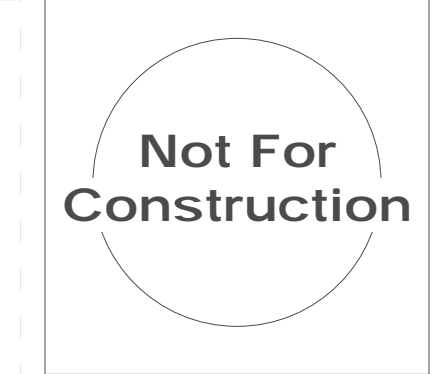
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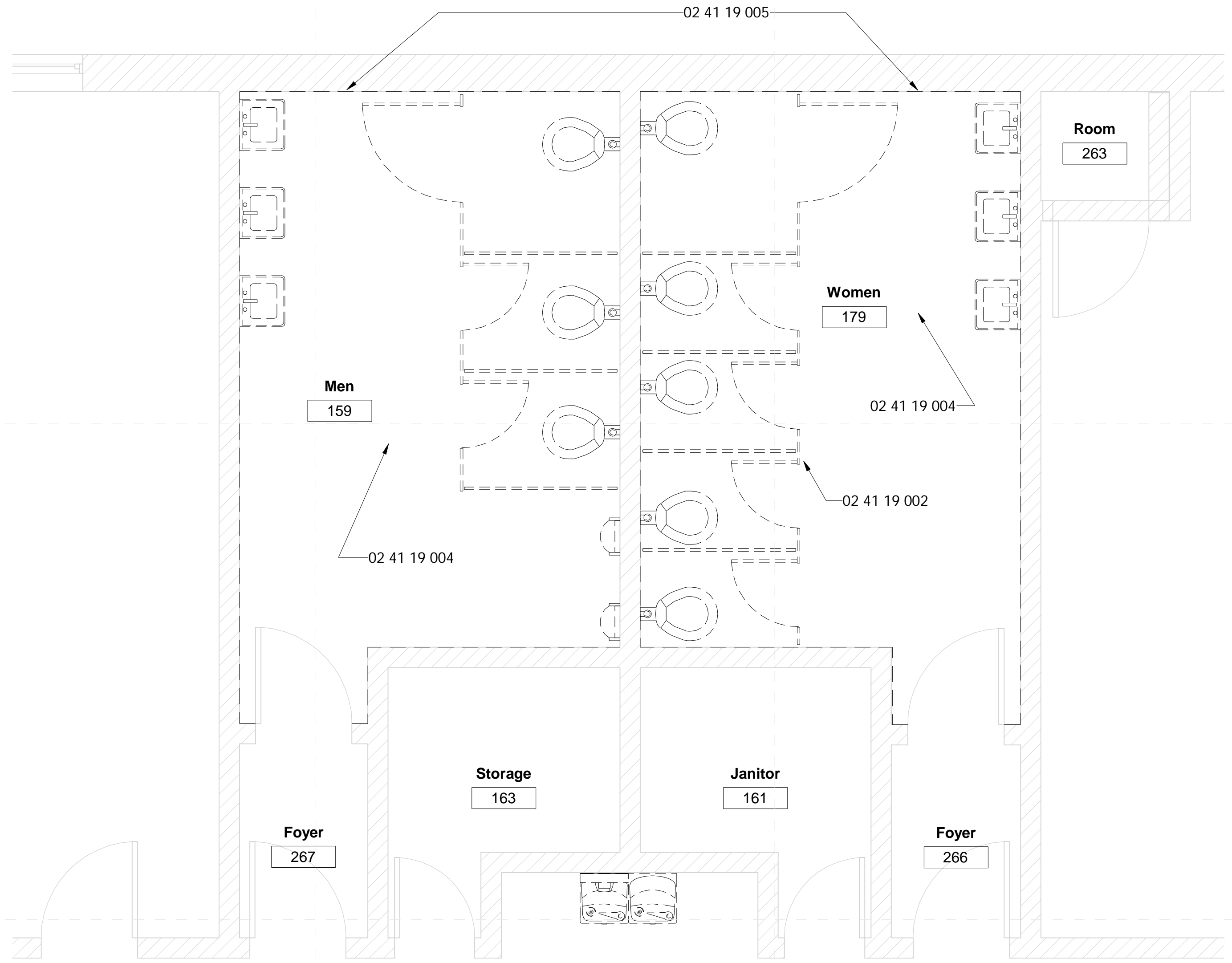
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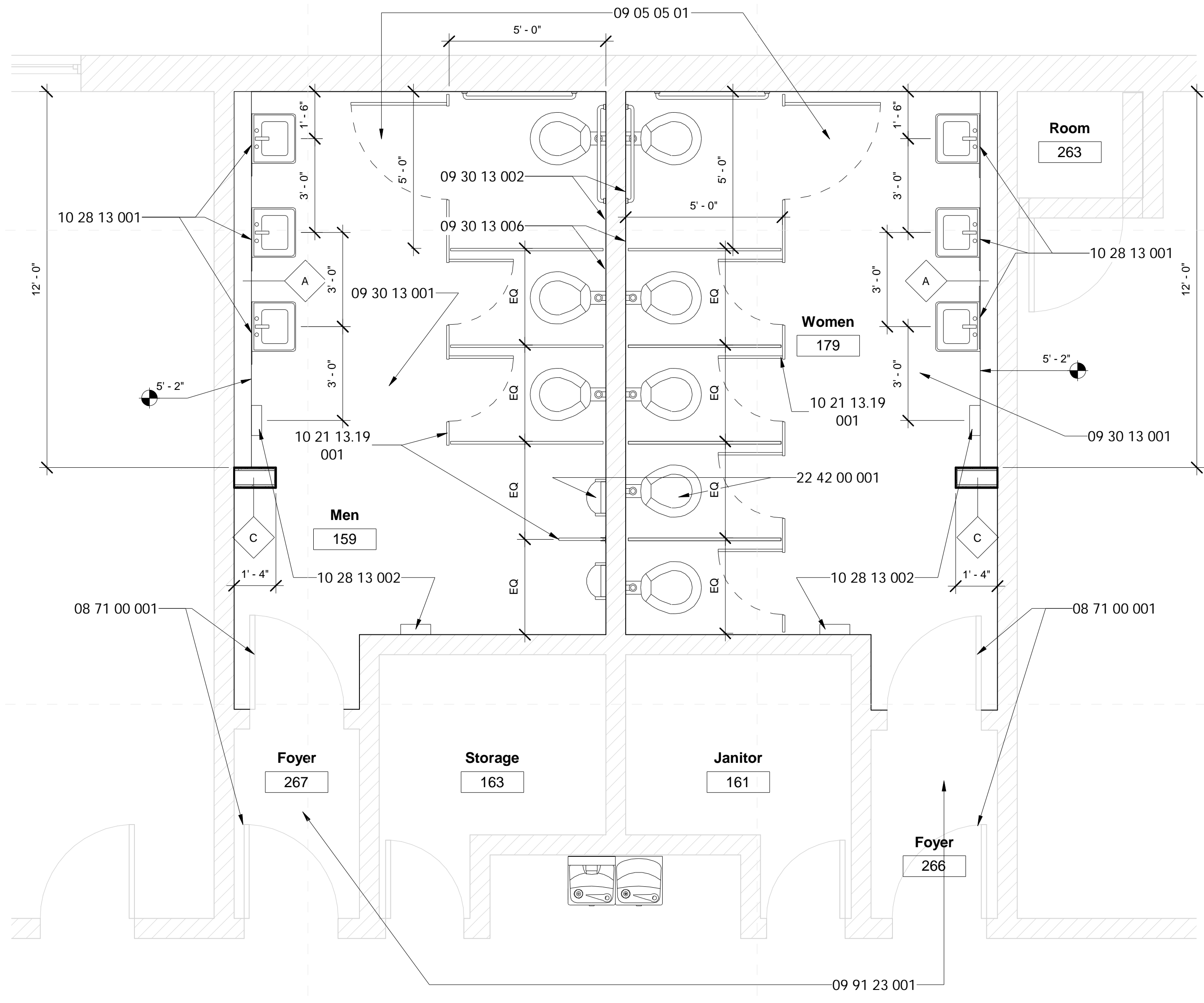
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1 Main Floor - Demolition - Central S Toilets  
3/8" = 1'-0"



2 Main Floor - New Construction - Central S Toilets  
3/8" = 1'-0"

General Demolition Notes

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General Finish Plan Notes

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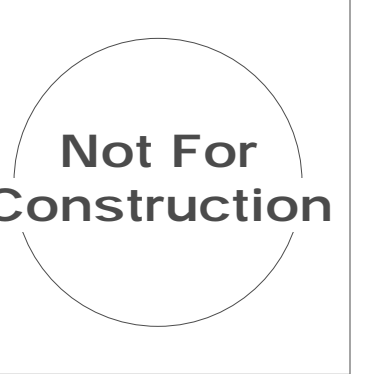
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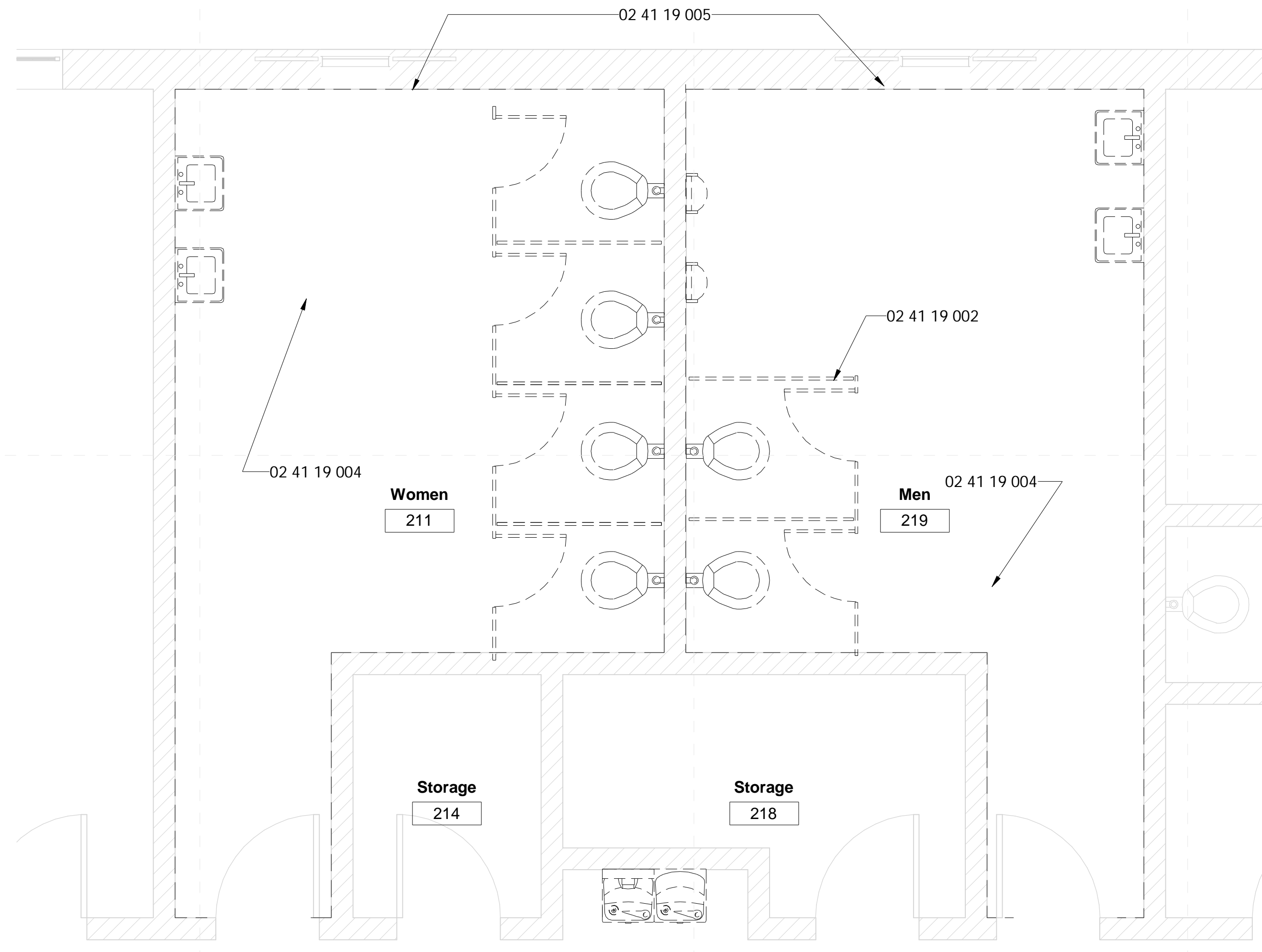
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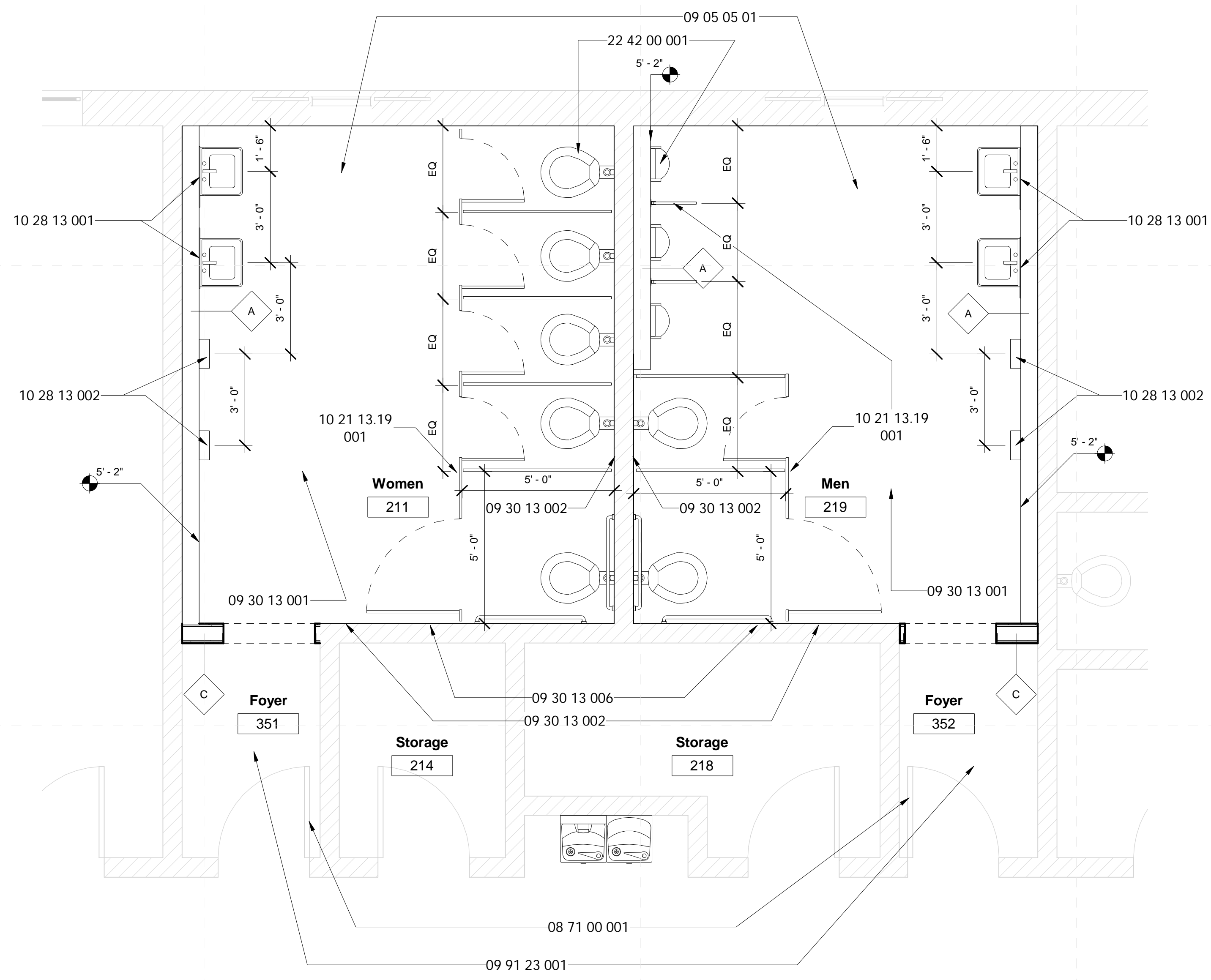
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2 Main Floor - Demolition - E N Toilets  
3/8" = 1'-0"



1 Main Floor - New Construction - E N Toilets  
3/8" = 1'-0"

General Demolition Notes

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General Finish Plan Notes

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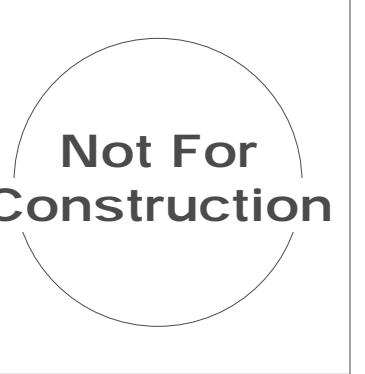
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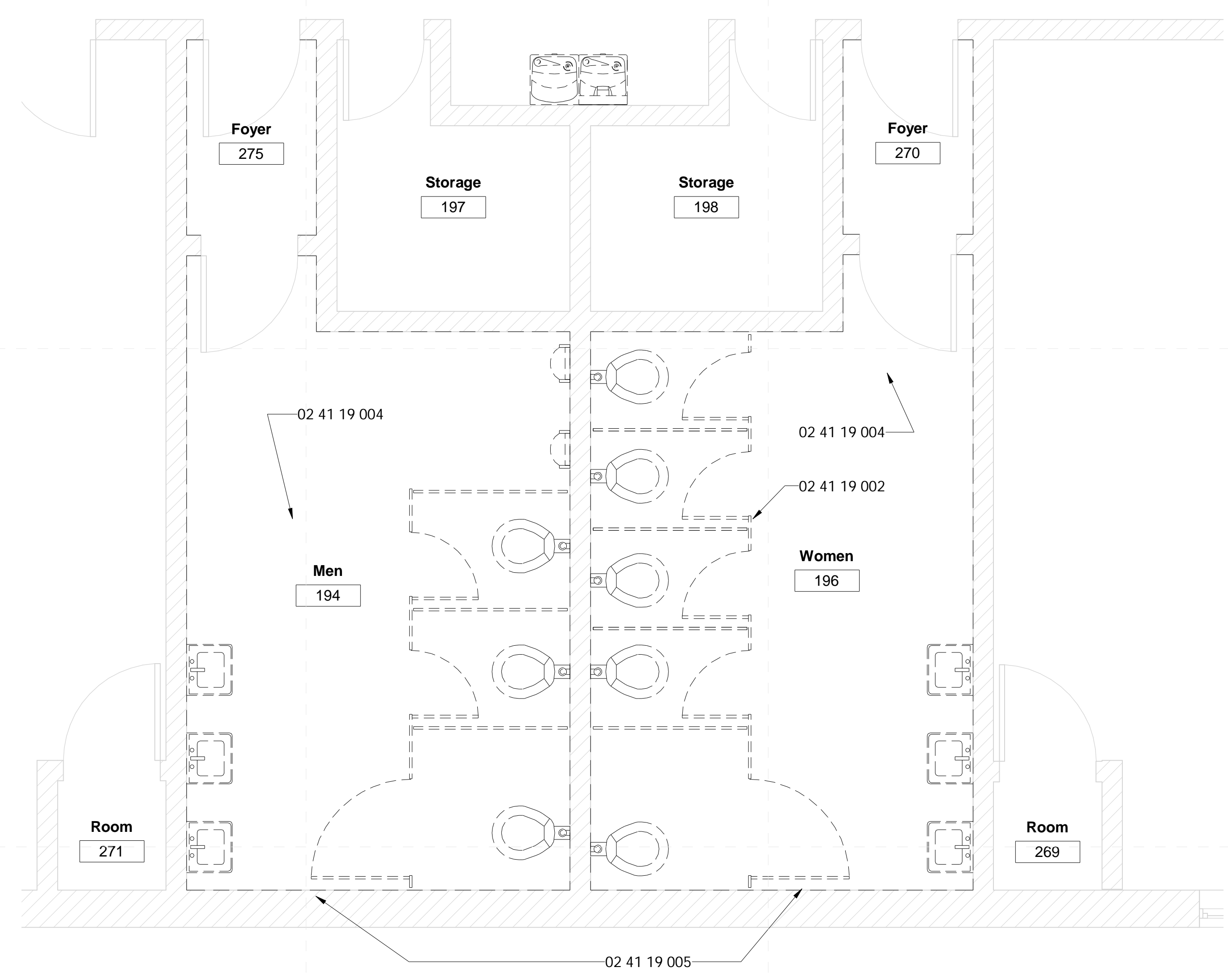


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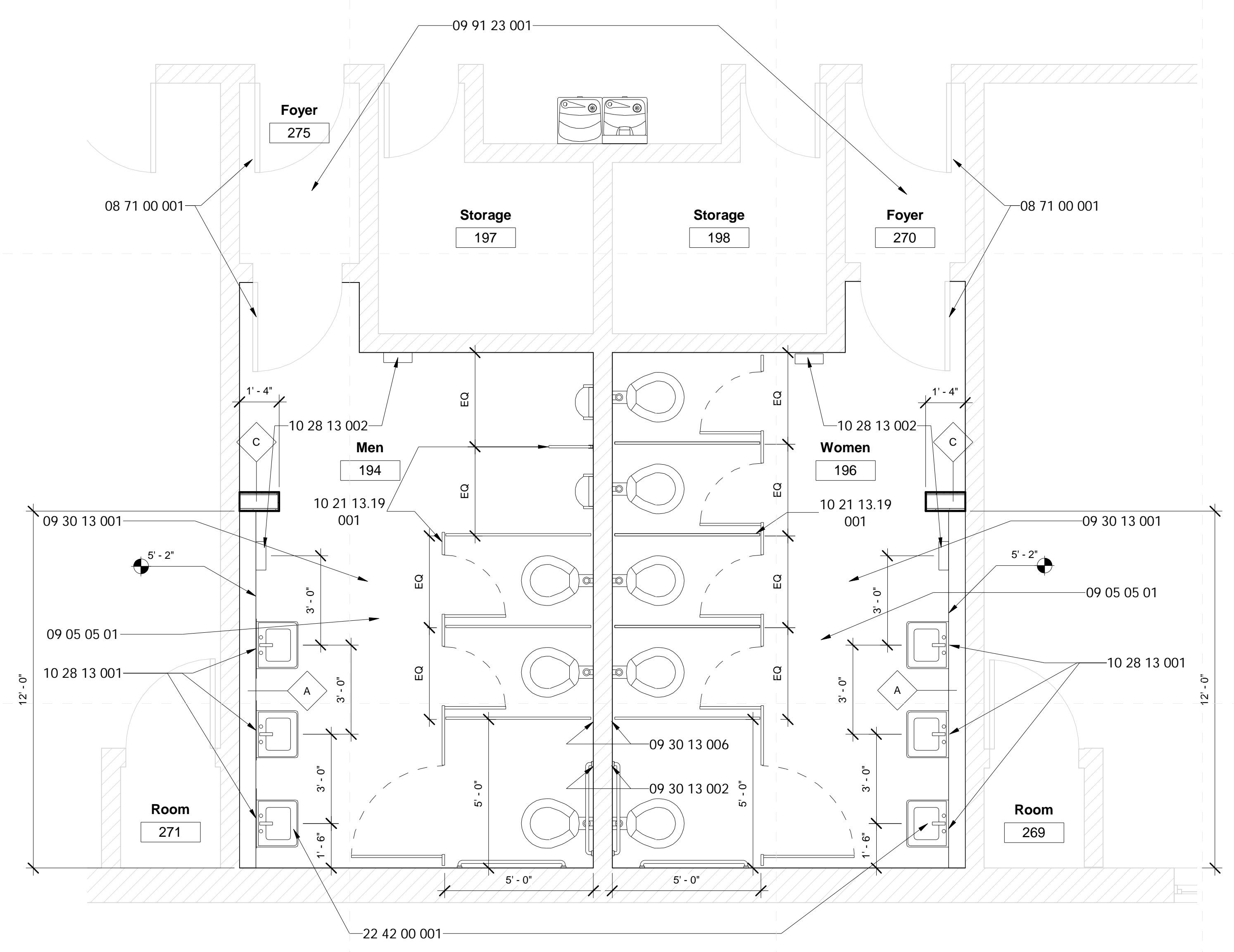
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1 Main Floor - Demolition - E S Toilets  
3/8" = 1'-0"



2 Main Floor - New Construction - E S Toilets  
3/8" = 1'-0"

General Demolition Notes

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Specific Notes

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General Finish Plan Notes

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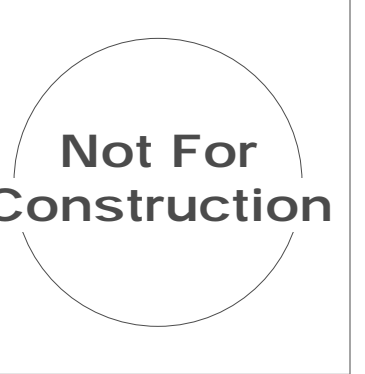
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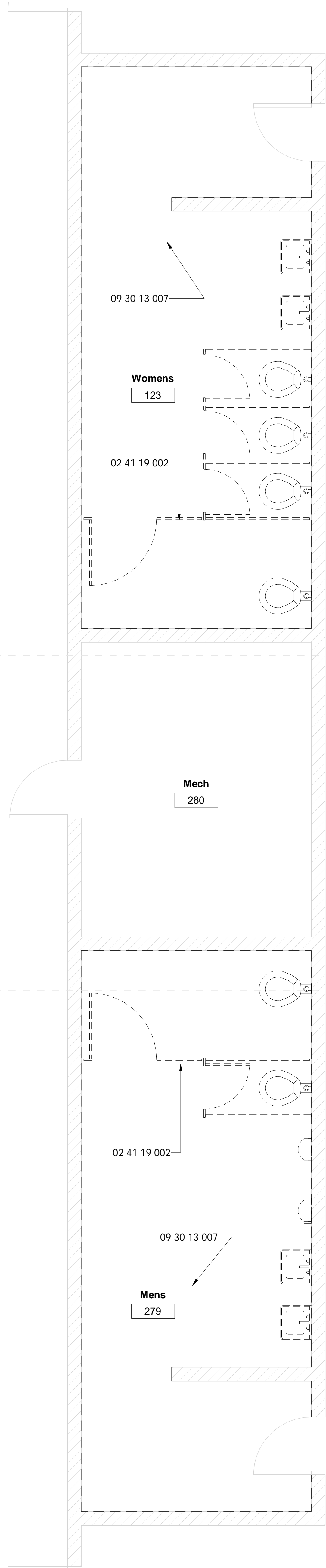
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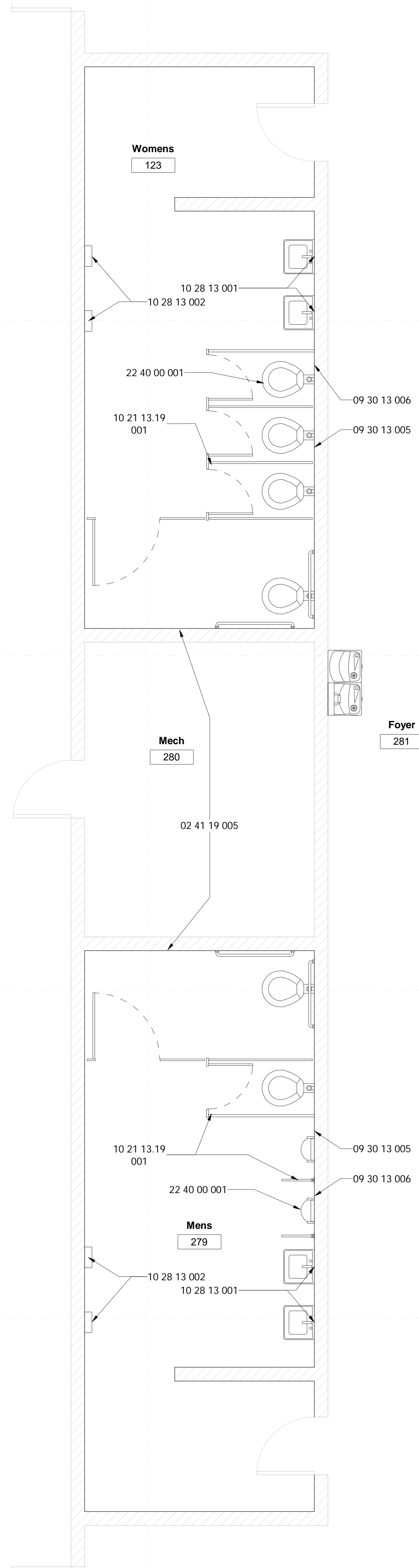
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2 Main Floor - Demolition - Gym Toilets  
3/8" = 1'-0"



1 Main Floor - New Construction - Gym Toilets  
3/8" = 1'-0"

General Demolition Notes

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Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 005	Demo tile wainscot, patch & repair substrate as need for new tile install
09 30 13 005	Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
09 30 13 006	Install accent tile at this wall
09 30 13 007	Tile floor to remain; patch and repair any damages as well as any alterations due to construction for finished look
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 40 00 001	New fixtures throughout (typical)- see plumbing

General Finish Plan Notes

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All School's Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 004	Remove floor tile and substrate
02 41 19 008	Remove window sill tile and substrate
07 62 00 001	Cap wall end with prefinished flashing trim prior to finish tile install; overlay trim with tile
08 01 10 001	Remove Door Leaves; patch hinges recessions with plate covers & paint to match jamb
09 29 00 002	Overlay existing with 1/2" MR drywall, glued and screwed, finished to level 4, primed, & painted (typical above partial height wall at toilet room interior)
09 30 13 001	Install new floor tile: slope to floor drain is drain provided
09 30 13 002	Install new wall tile flush and straight, floor to ceiling
09 30 13 004	Prep surface for new tile install: contractor shall be responsible for issues concerning lack of adhesion between mortar and substrates as well as levelness of finished tile
09 30 13 006	Install accent tile at this wall
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here: center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here: coordinate with electrical & mechanical
10 28 13 003	Install new ADA/AMD Grab bars here
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new
22 47 13 001	Install double drinking fountain here: coordinate with mechanical & electrical drawings
22 47 13 002	Install single drinking fountain here: coordinate with mechanical & electrical drawings



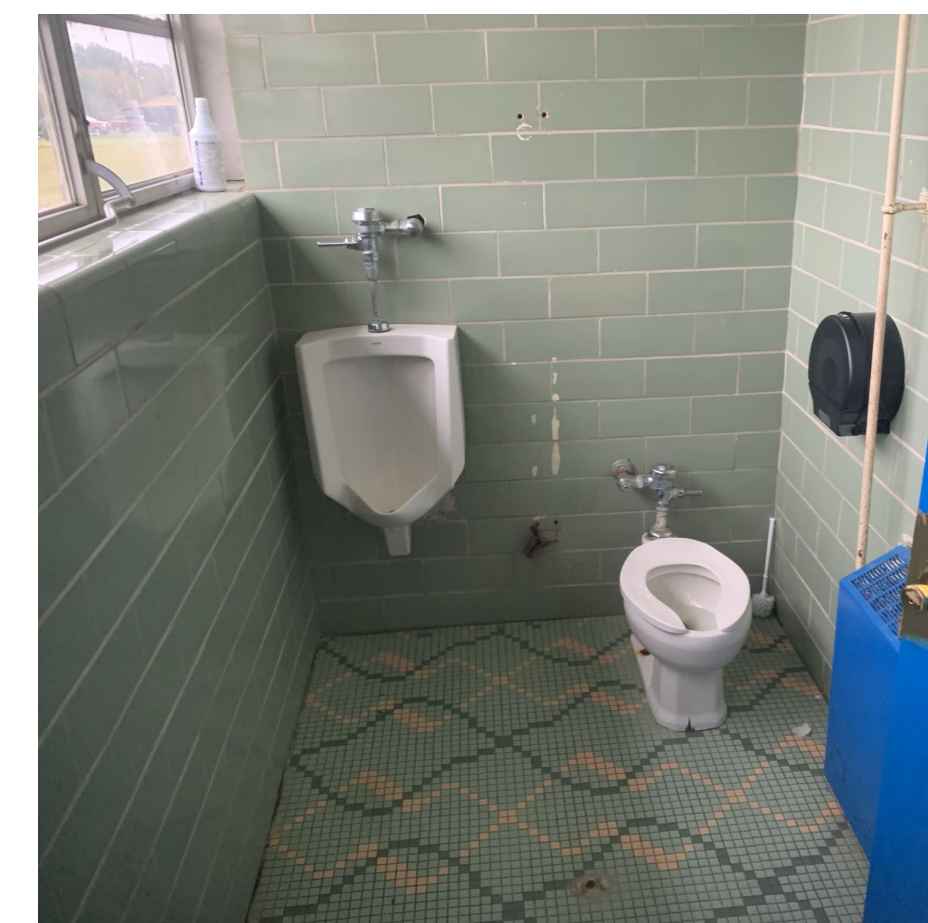
Front of School



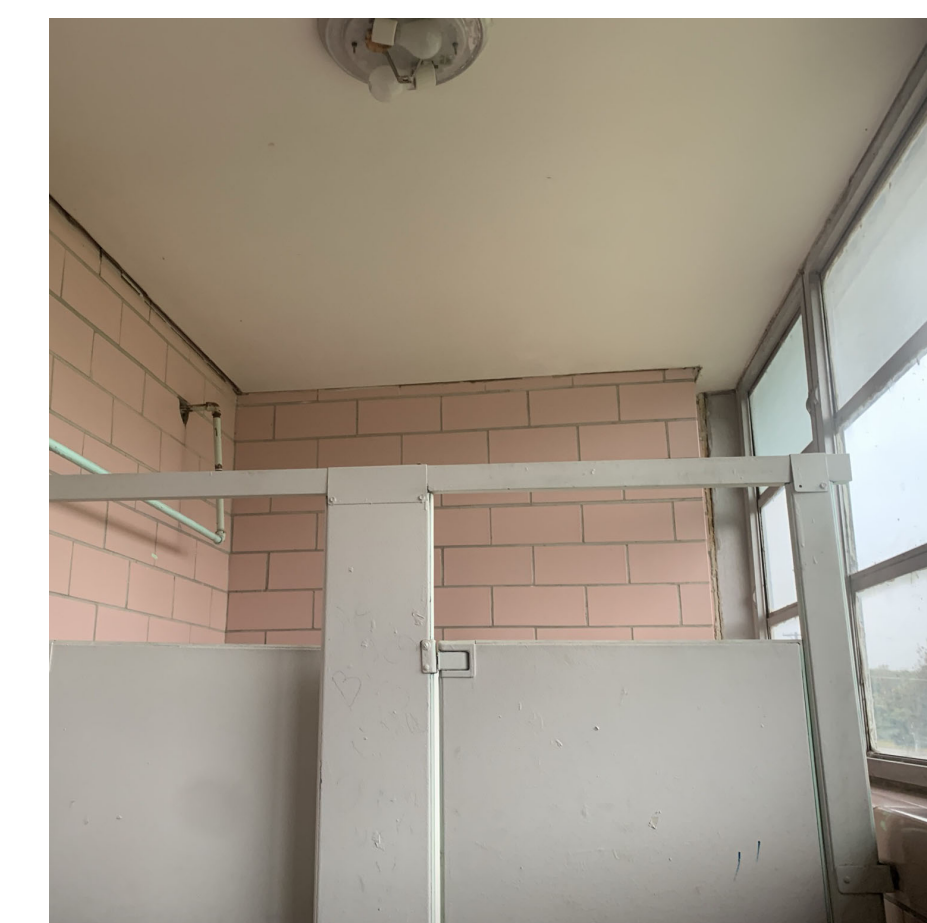
Womens 65



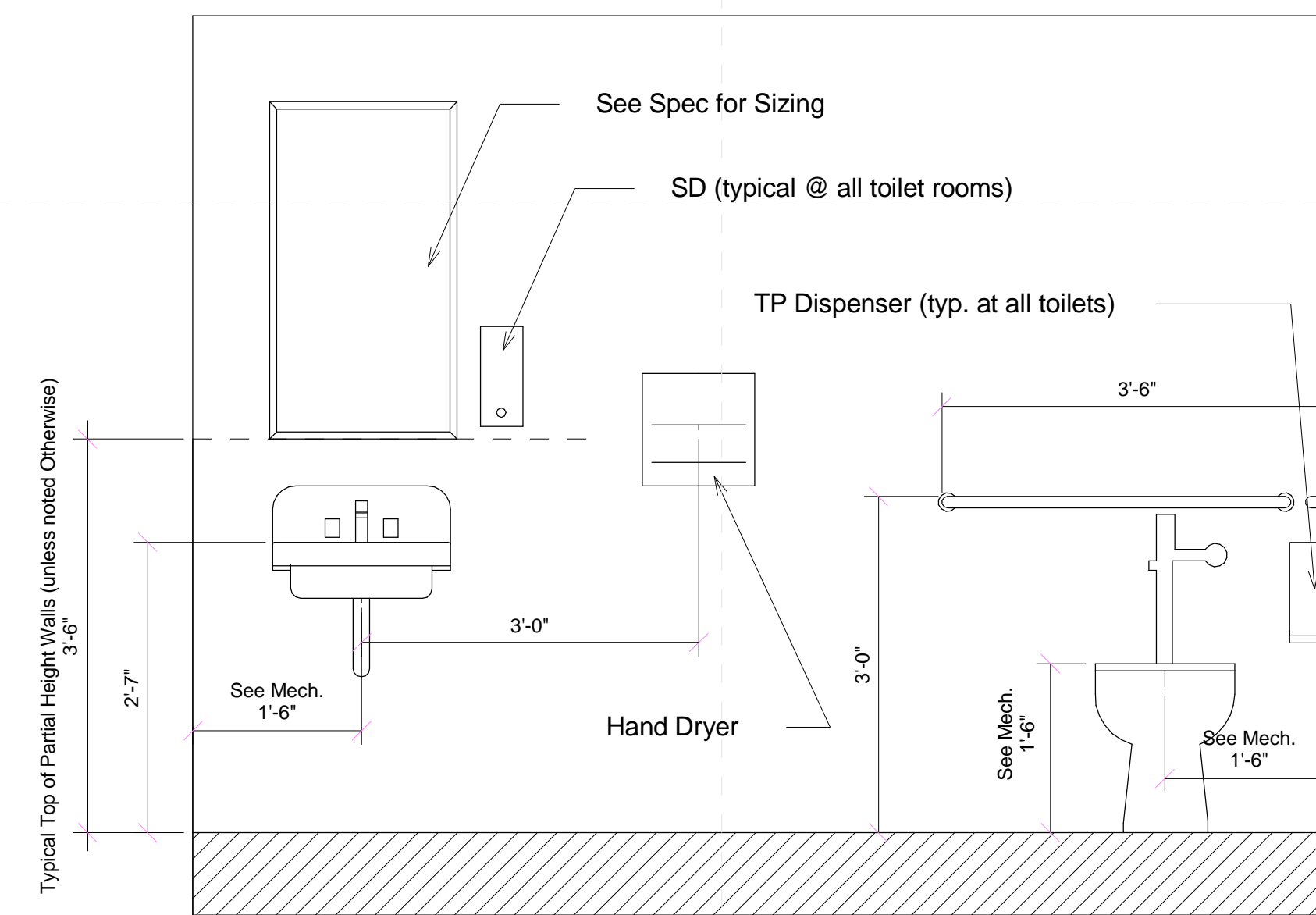
Mens 61



Womens 119

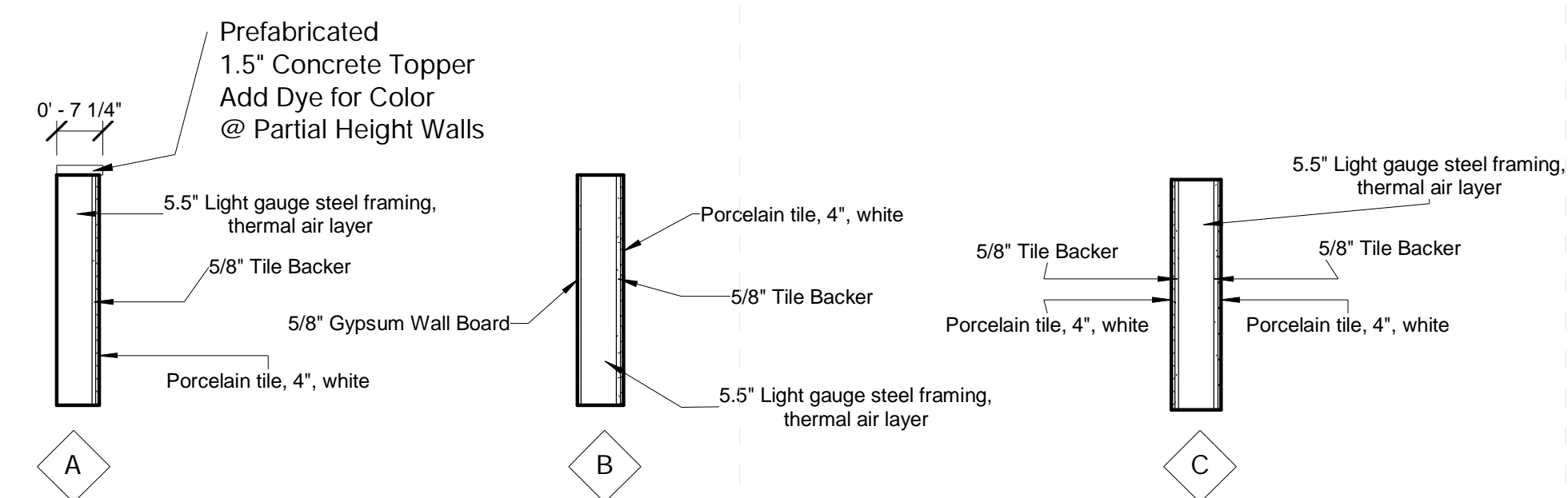


Mens 118



Typical Toilet Room Wall

3/4" = 1'-0"



Wall Types

1/2" = 1'-0"

Architects

One Jackson Place 250  
188 East Capitol Street  
Jackson, MS 39201  
p 601.352.5411

201 Park Court Suite B  
Ridgeland, MS 39157  
p 601.790.9432

161 Lameuse St. Suite 201  
Biloxi, MS 39530  
p 228.374.1409

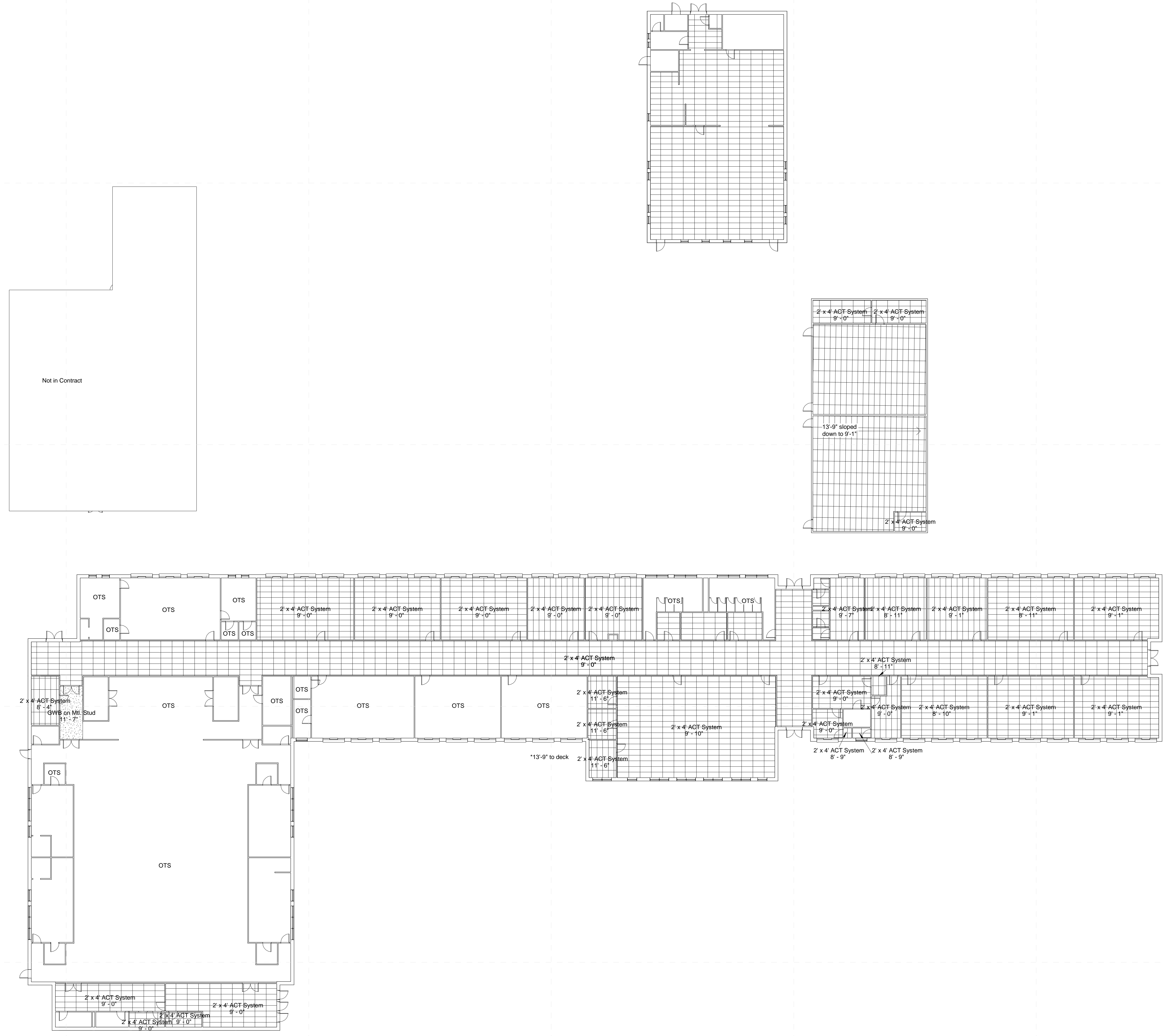
dalebaileyplans.com

Not For  
Construction

Sunflower Consolidated School District  
Drew Hunter Middle School: 10 Swoope Rd, Drew, MS 38737

Design  
Development

Project No	005
Date	June 2021
Revisions	Rev Date
1	10/5/2021
2	11/26/2021

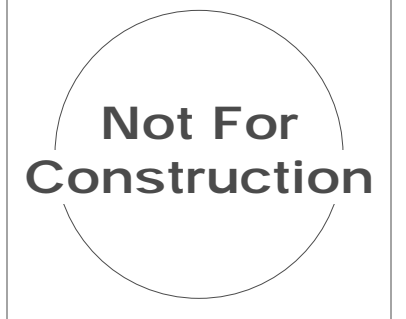


### General RCP Demolition Notes

1. Where ceiling transitions from new ceiling to existing ceiling, coordinate with Architect detail.
2. Remove all existing ceiling grid & tile unless noted otherwise, as well as any wall fasteners and/or mastics attached therein where shown to be replaced by new materials.
3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
5. Burying or Burning of materials will not be permitted on site.
6. Repair any damage caused to building construction identified to remain.
7. Refer to other discipline drawings for additional demolition information as noted.
8. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
9. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
10. No work in rooms with ceiling open to the structure above, unless noted otherwise.

### Ceiling Legend

- Moisture Resistant Acoustical Lay In Ceiling
- Colored Acoustical Lay In Ceiling
- Vinyl Faced Acoustical Lay In Ceiling
- Gypsum Board Ceiling
- 2x2 Acoustical Lay In Ceiling
- Plaster/Stucco
- Concealed Fastender Painted Metal Soffit
- 2x2 Fluorescent Fixture
- Surface-Mounted Fluorescent Light Fixture
- Recessed Can Light Fixture
- HVAC Supply Grille
- HVAC Return Grille
- Exterior Wall Light
- Interior Wall Light
- Open to Structure (OTS)



Design Development

Project No	005
Date	June 2021
Revisions	Rev Date
1	10/5/2021
2	11/26/2021

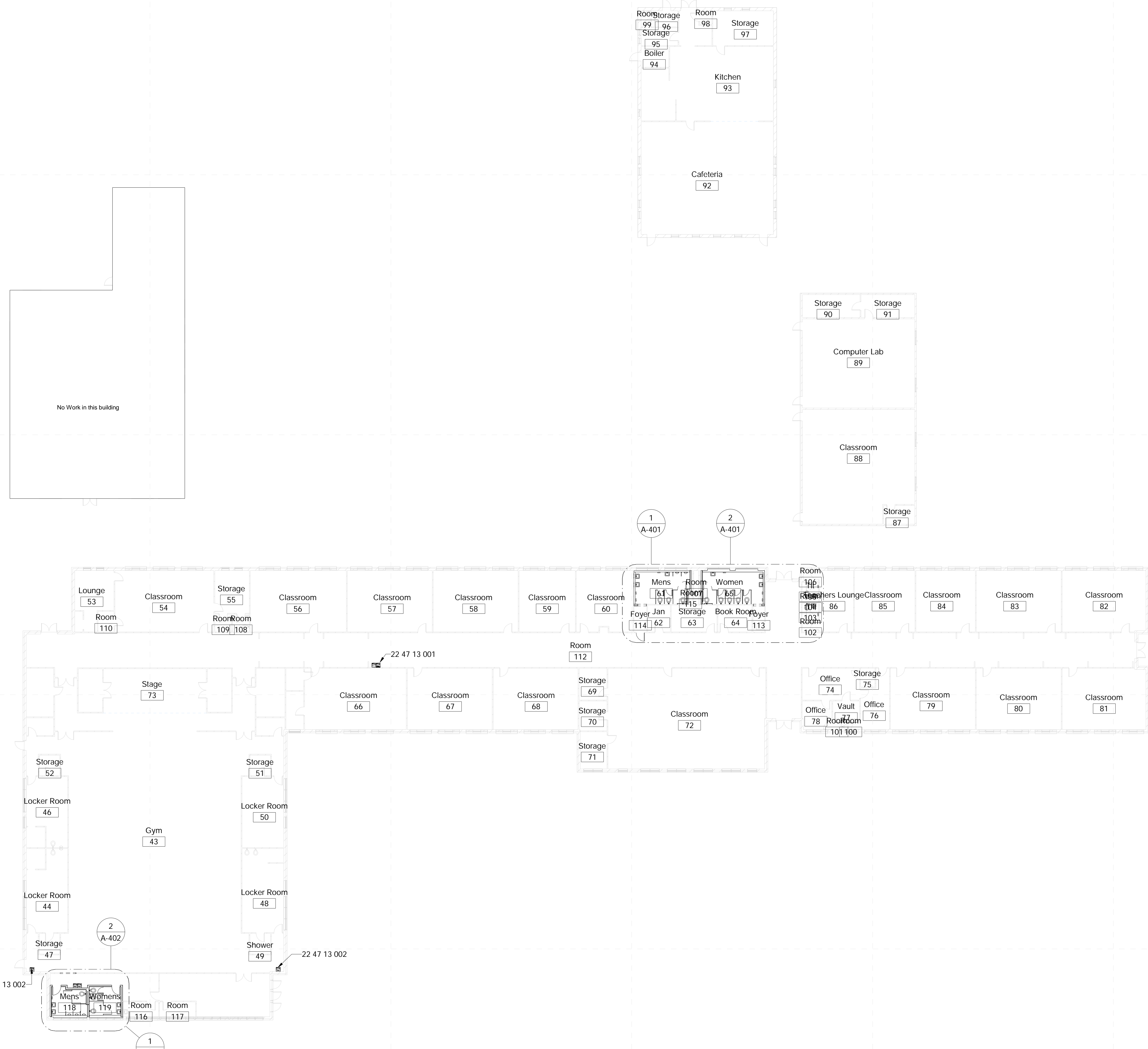
**1** RCP - Existing  
1/16" = 1'-0"

**Not For  
Construction**

**Sunflower Consolidated School District**  
Drew Hunter Middle School: 10 Swoope Rd, Drew, MS 38737

Design Development

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**1 Main Floor - New Construction**  
1/16" = 1'-0"

**Specific Notes**

22 47 13 001 Install double drinking fountain here: coordinate with mechanical & electrical drawings

22 47 13 002 Install single drinking fountain here: coordinate with mechanical & electrical drawings

Not For  
Construction

Sunflower Consolidated School District  
Drew Hunter Middle School: 10 Swoope Rd, Drew, MS 38737

Design  
Development

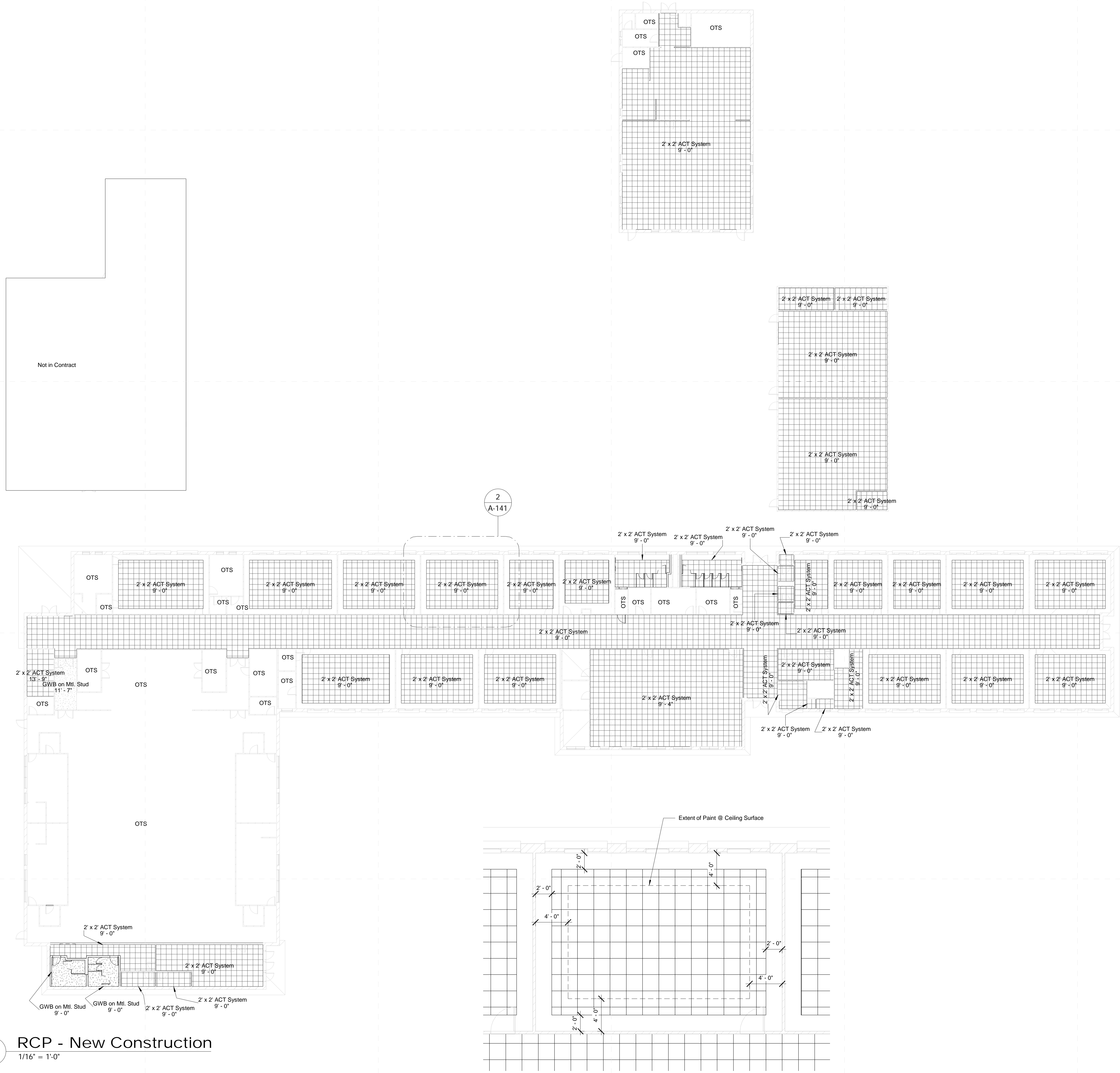
Project No	005
Date	June 2021
Revisions	Rev Date
1	10/5/2021
2	11/26/2021

**General RCP Notes**

- All ceiling heights shall be same as existing or lower, unless noted otherwise.
- Contractor shall paint all surfaces above 8'-8" at wall, roof, and ceiling, as well as anything attached therein at all exposed sections of ceilings where not covered by new 2x2 ACT, unless noted otherwise.
- Repair/replace any and all ceiling damaged due to construction activities.
- Bent ceiling grid damaged due to construction activities shall be replaced or bent to appear as new in shape.

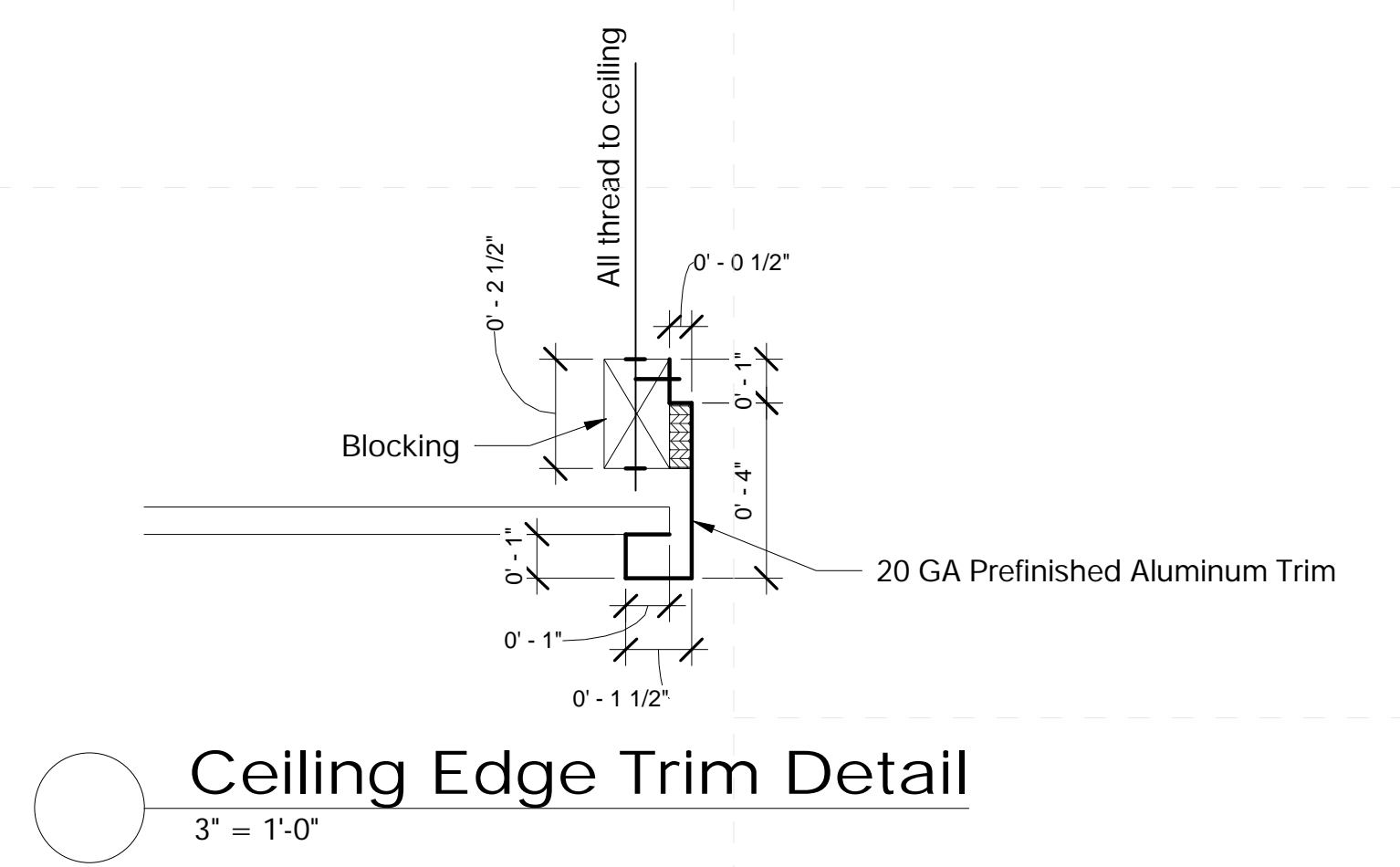
**Ceiling Legend**

- Moisture Resistant Acoustical Lay In Ceiling
- Colored Acoustical Lay In Ceiling
- Vinyl Faced Acoustical Lay In Ceiling
- Gypsum Board Ceiling
- 2x2 Acoustical Lay In Ceiling
- Plaster/Stucco
- Concealed Fastener Painted Metal Soffit
- 2x2 Fluorescent Fixture
- Surface-Mounted Fluorescent Light Fixture
- Recessed Can Light Fixture
- HVAC Supply Grille
- HVAC Return Grille
- Exterior Wall Light
- Interior Wall Light
- Open to Structure (OTS)

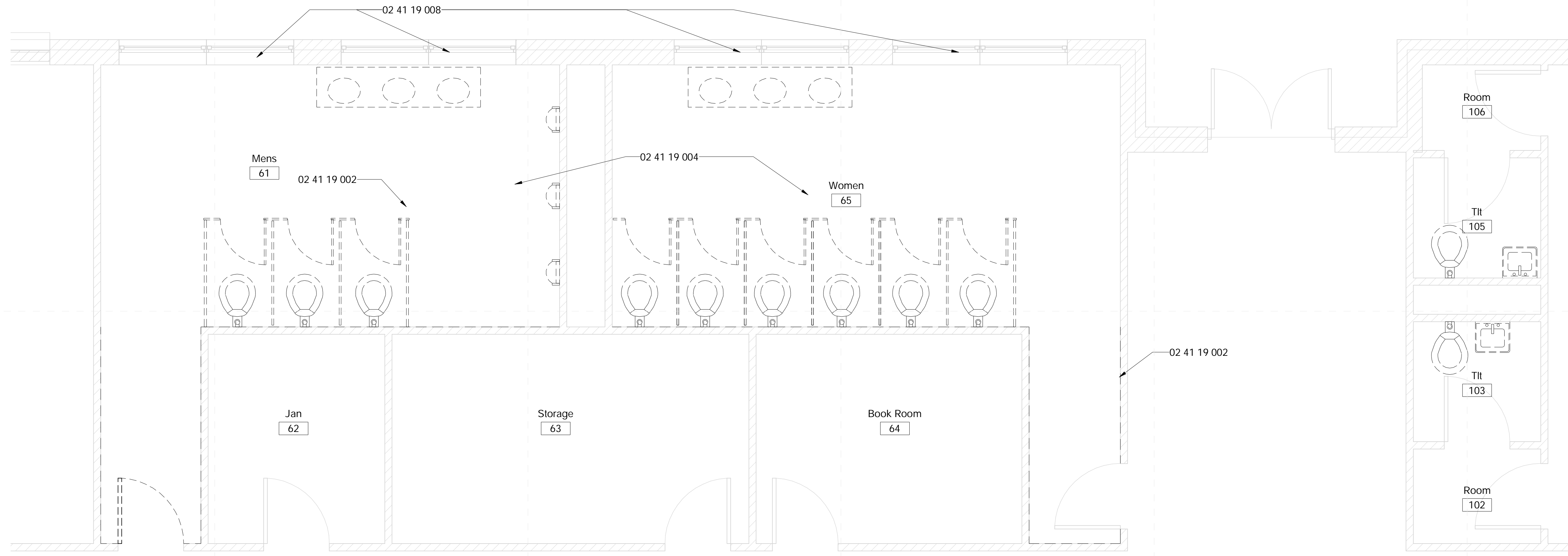


**1** RCP - New Construction  
1/16" = 1'-0"

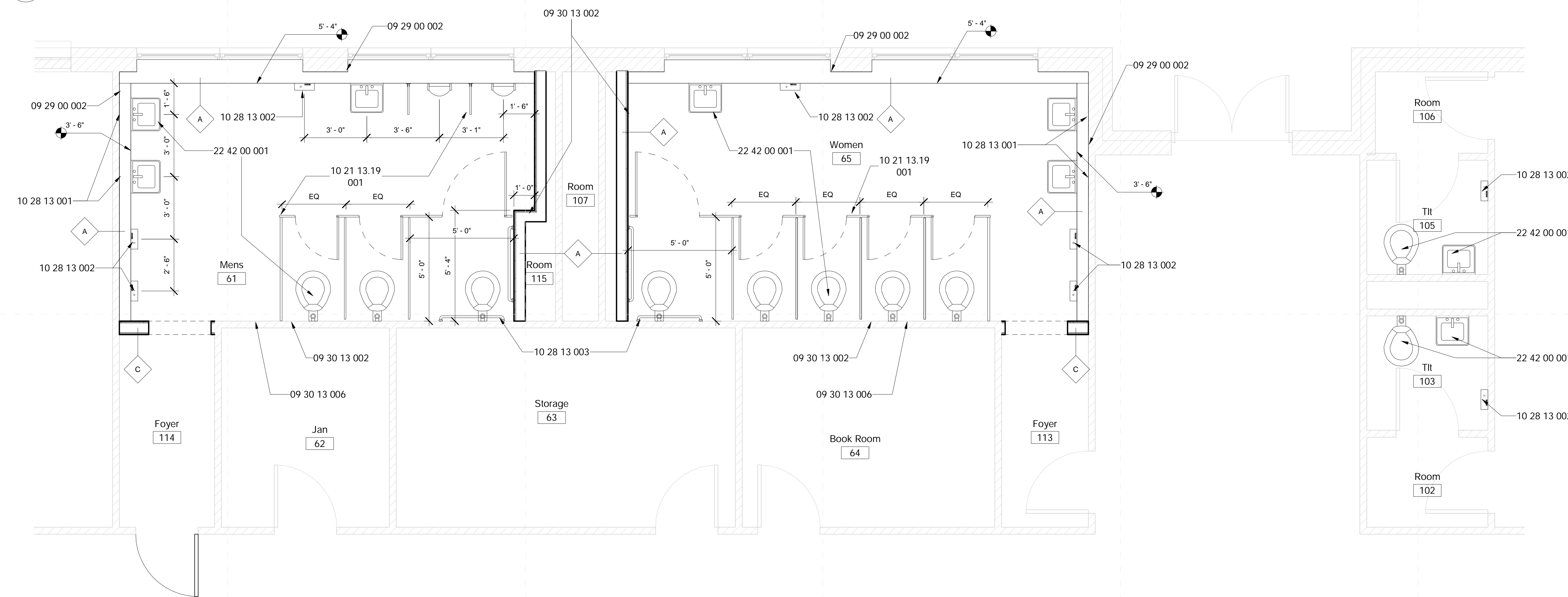
**2** Typical Ceiling  
3/16" = 1'-0"



**Ceiling Edge Trim Detail**  
3" = 1'-0"



**2 Central Toilets - Demolition**  
3/8" = 1'-0"



**1 Central Toilets - New Construction**  
3/8" = 1'-0"

**General Demolition Notes**

- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc., where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- Burying or Burning of materials will not be permitted on site.
- Repair any damage caused to building construction identified to remain.
- Refer to other discipline drawings for additional demolition information as noted
- Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

**Specific Notes**

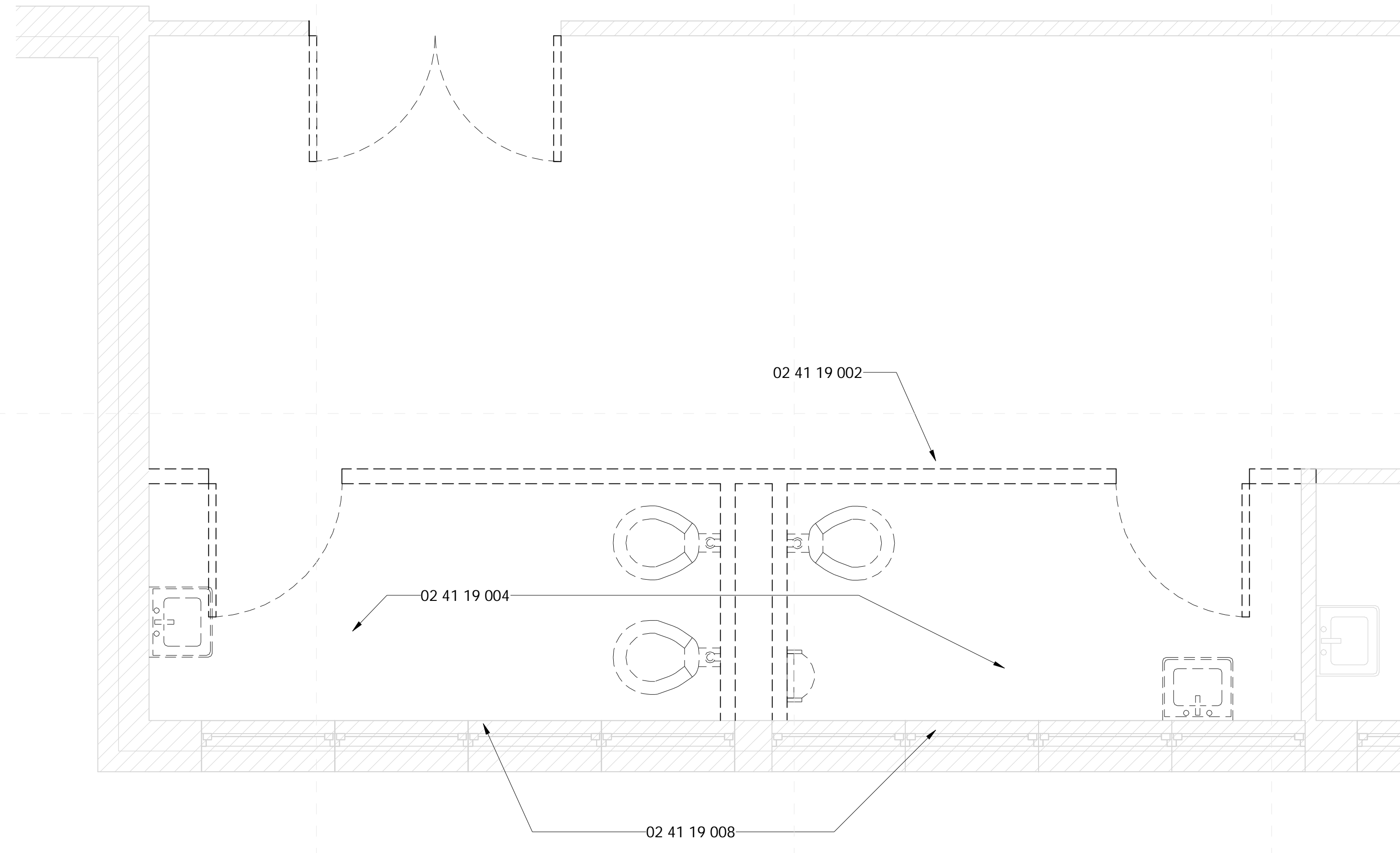
02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 004	Remove floor tile and substrate
02 41 19 008	Remove window sill tile and substrate
09 29 00 002	Overlay existing with 1/2" MR drywall, glued and screwed, finished to level 4, primed, & painted (typical above partial height wall at toilet room interior)
09 30 13 002	Install new wall tile flush and straight, floor to ceiling
09 30 13 006	Install accent tile at this wall
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
10 28 13 003	Install new ADA/AMD Grab bars here
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

**General Finish Plan Notes**

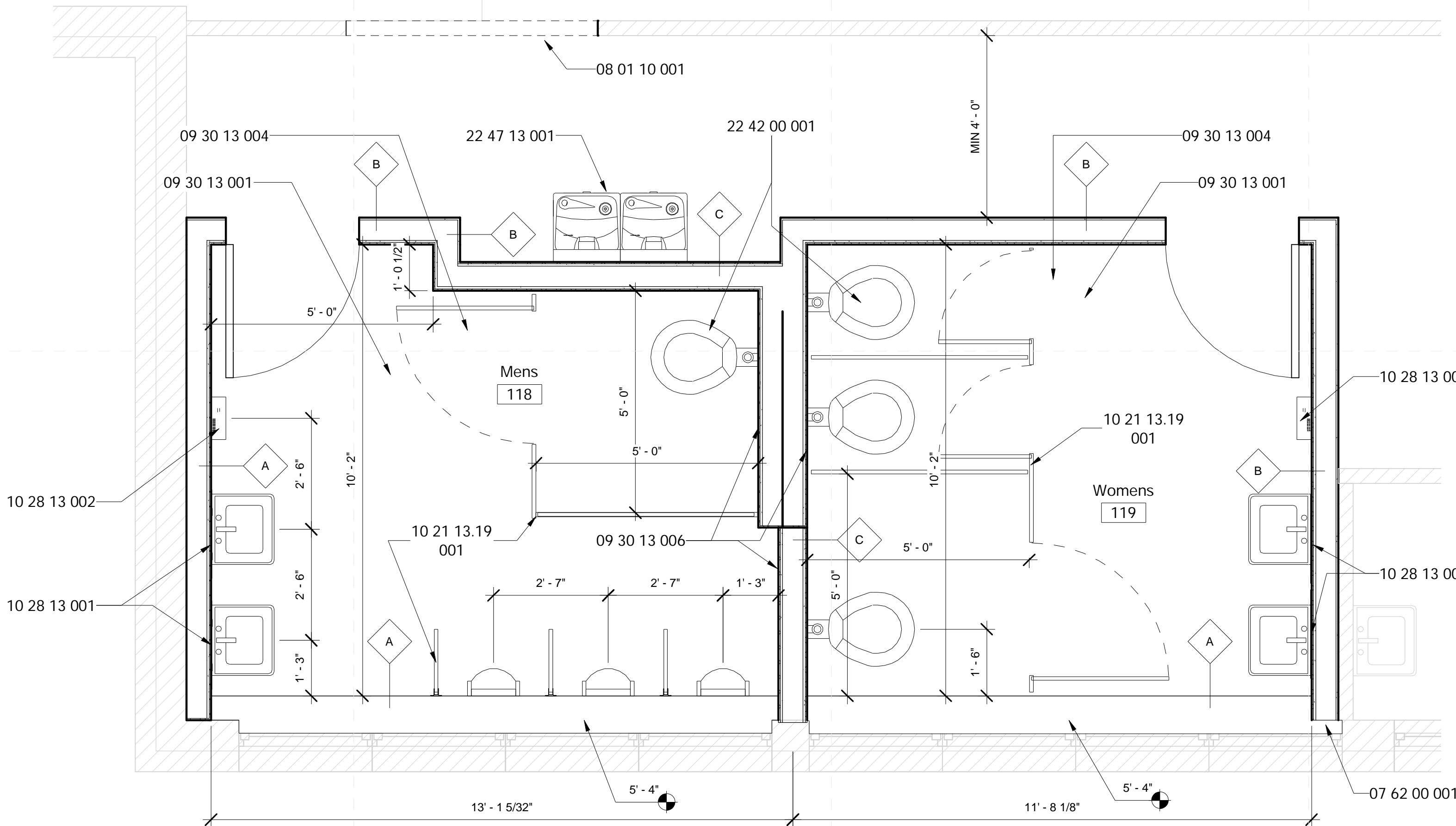
- All flooring transitions are to occur at center line of door panel.
- Install new tile at floors.
- New Fixture locations shall be coordinated with mechanical sheets.
- Install new wall tile flush and straight floor to ceiling; typical at bathroom interior unless noted otherwise
- Install new tile base at all walls in bathrooms
- Install new grab bars at all ADA & AMB toilets
- Install moisture resistant back board at all new tile.
- Repair damaged glass at toilet room renovations with like material



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**1 Gym Toilets - Demolition**  
1/2" = 1'-0"



**2 Gym Toilets - New Construction**  
1/2" = 1'-0"

**General Demolition Notes**

- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc., where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- Burying or Burning of materials will not be permitted on site.
- Repair any damage caused to building construction identified to remain.
- Refer to other discipline drawings for additional demolition information as noted
- Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
- Existing loose school property to be the responsibility of the school district. removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

**Specific Notes**

02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 004	Remove floor tile and substrate
02 41 19 008	Remove window sill tile and substrate
07 62 00 001	Cap wall end with prefinished flashing trim prior to finish tile install; overlay trim with tile
08 01 10 001	Remove Door Leaves; patch hinges recessions with plate covers & paint to match jamb
09 30 13 001	Install new floor tile; slope to floor drain is drain provided
09 30 13 004	Prep surface for new tile install; contractor shall be responsible for issues concerning lack of adhesion between mortar and substrates as well as levelness of finished tile
09 30 13 006	Install accent tile at this wall
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new
22 47 13 001	Install double drinking fountain here; coordinate with mechanical & electrical drawings

**General Finish Plan Notes**

- All flooring transitions are to occur at center line of door panel.
- Install new tile at floors.
- New Fixture locations shall be coordinated with mechanical sheets.
- Install new wall tile flush and straight floor to ceiling; typical at bathroom interior unless noted otherwise
- Install new grab bars at all ADA & AMB toilets
- Install moisture resistant back board at all new tile.
- Repair damaged glass at toilet room renovations with like material

Architects  
One Jackson Place- 250  
188 East Capitol Street  
Jackson, MS 39201  
p 601.352.5411  
  
201 Park Court Suite B  
Ridgeland, MS 39157  
p 601.790.9432  
  
161 Lameuse St. Suite 201  
Biloxi, MS 39530  
p 228.374.1409  
  
dalebaileyplans.com

**Not For Construction**

**Sunflower Consolidated School District**  
Drew Hunter Middle School: 10 Swoope Rd, Drew, MS 38737

Design Development

Project No	005
Date	June 2021
Revisions	Rev Date
1	10/5/2021
2	11/26/2021



### All School's Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 005	Demo tile wainscot; patch & repair substrate as need for new tile install
09 05 05 01	Install leveling compound as needed for smooth appearance of new tile & a flush threshold to adjacent floors, typical on new floor tile
09 30 13 001	Install new floor tile; slope to floor drain is drain provided
09 30 13 003	Install new wall tile flush and straight with accent top piece, floor to highest partial wall or window sill height; typical at bathroom interior unless noted otherwise
09 30 13 005	Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
09 30 13 006	Install accent tile at this wall
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new



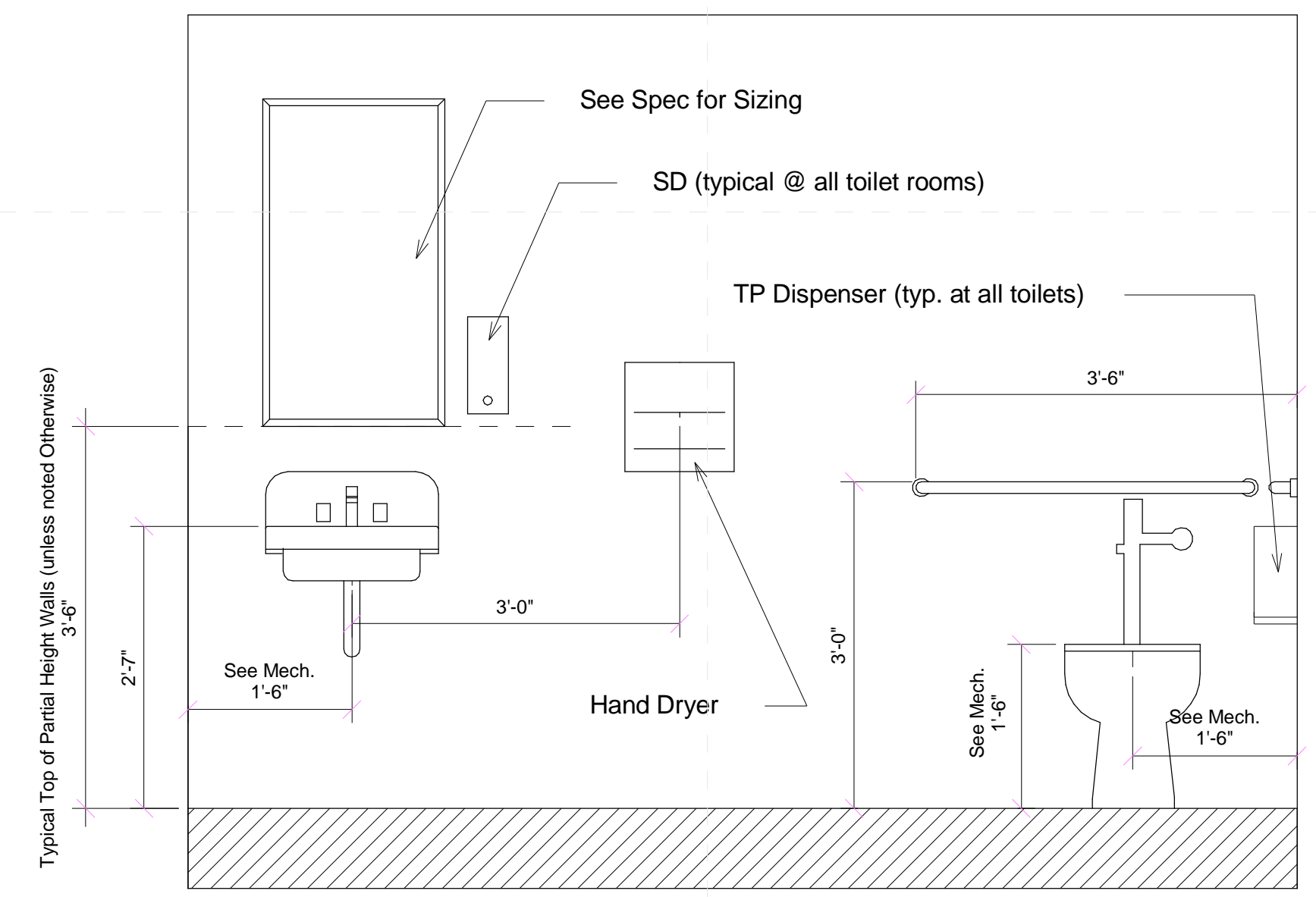
Front of School



Toilets South



Toilets South



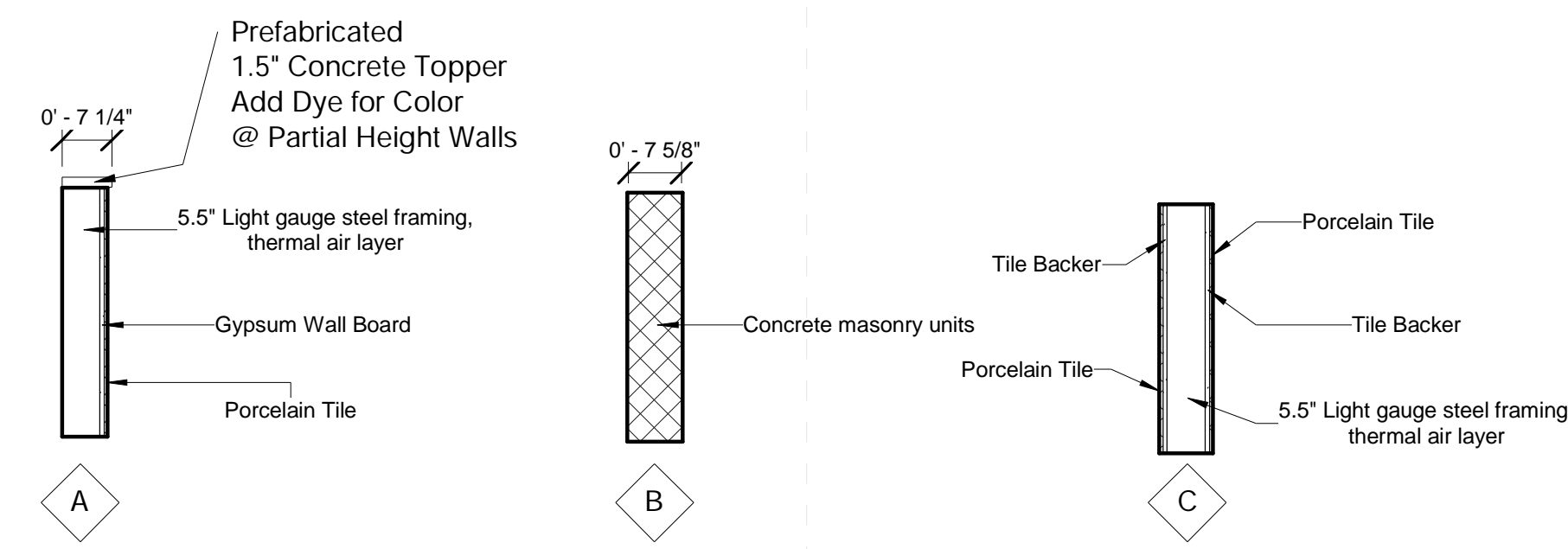
Typical Toilet Room Wall  
3/4" = 1'-0"



Toilets Central



Toilets Central



Wall Types  
1/2" = 1'-0"

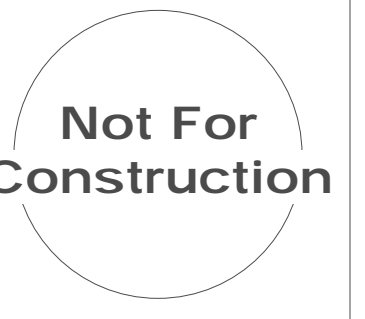


Toilets North



Toilets North

Architects  
One Jackson Place- 250  
188 East Capitol Street  
Jackson, MS 39201  
p 601.352.5411  
201 Park Court Suite B  
Ridgeland, MS 39157  
p 601.790.9432  
161 Lameuse St. Suite 201  
Biloxi, MS 39530  
p 228.374.1409  
dalebaileyplans.com



Sunflower Consolidated School District  
Lockard Elementary School: 302 College Ave., Indianola, MS 38751

Design Development

Project No	00000
Date	Issue Date
Revisions	Rev Date
1	10/5/2021
2	11/26/2021



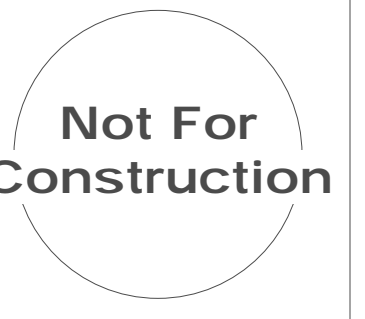
**1** RCP - Demolition  
1/16" = 1'-0"

**General RCP Demolition Notes**

- Where ceiling transitions from new ceiling to existing ceiling, coordinate with Architect detail.
- Remove all existing ceiling grid & tile unless noted otherwise, as well as any wall fasteners and/or mastics attached therein where shown to be replaced by new materials.
- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- Burying or Burning of materials will not be permitted on site.
- Repair any damage caused to building construction identified to remain.
- Refer to other discipline drawings for additional demolition information as noted.
- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- No work in rooms with ceiling open to the structure above, unless noted otherwise.

**Ceiling Legend**

- Moisture Resistant Acoustical Lay In Ceiling
- Colored Acoustical Lay In Ceiling
- Vinyl Faced Acoustical Lay In Ceiling
- Gypsum Board Ceiling
- 2x2 Acoustical Lay In Ceiling
- Plaster/Stucco
- Concealed Fastener Painted Metal Soffit
- 2x2 Fluorescent Fixture
- Surface-Mounted Fluorescent Light Fixture
- Recessed Can Light Fixture
- HVAC Supply Grille
- HVAC Return Grille
- Exterior Wall Light
- Interior Wall Light
- Open to Structure (OTS)



Design Development

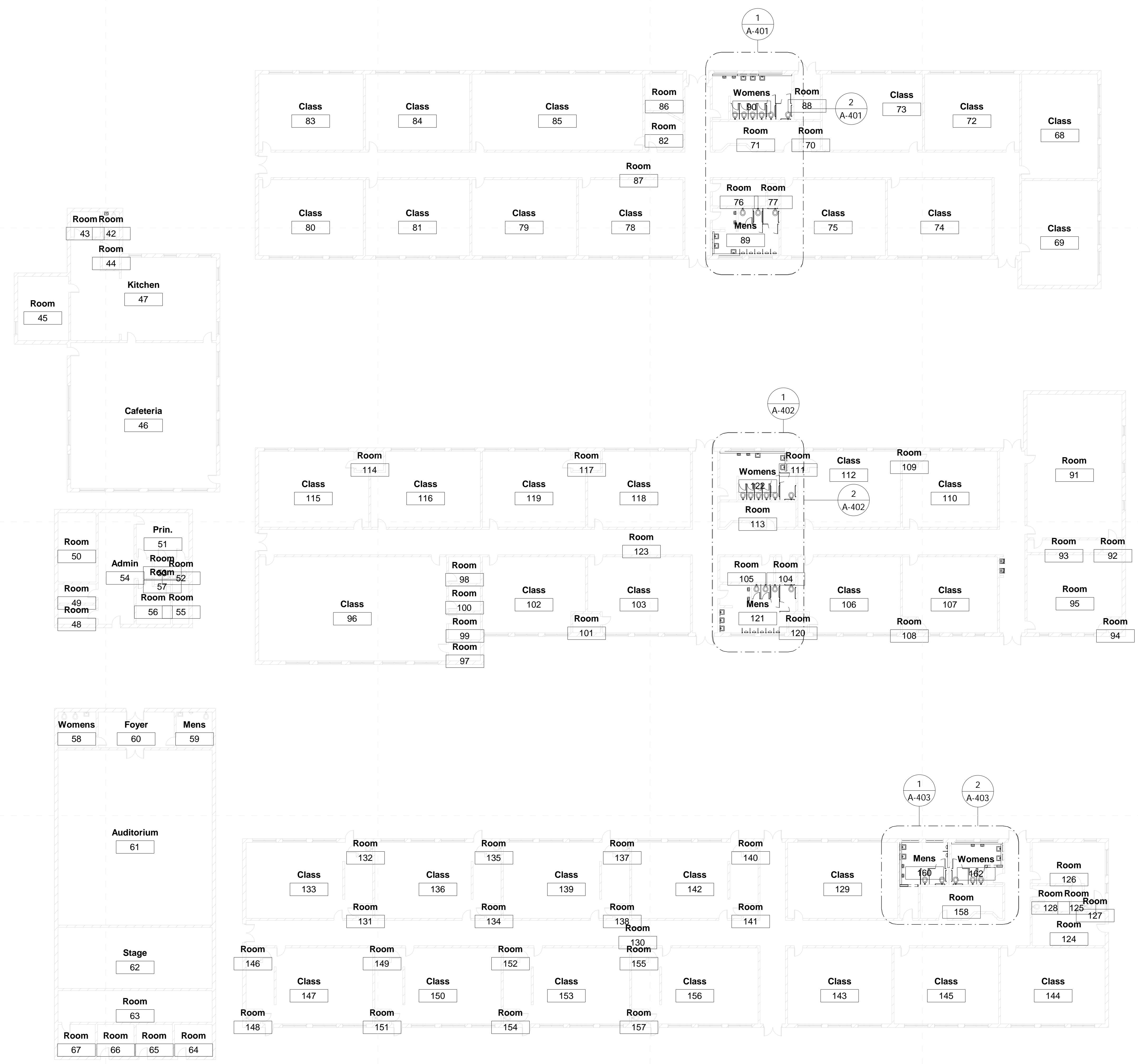
Project No	00000
Date	Issue Date
Revisions	Rev Date
1	10/5/2021
2	11/26/2021

Not For  
Construction

**Sunflower Consolidated School District**  
Lockard Elementary School: 302 College Ave., Indianola, MS 38751

Design  
Development

Project No	00000
Date	Issue Date
Revisions	Rev Date
1	10/5/2021
2	11/26/2021



1 Main Floor - New Construction  
1/16" = 1'-0"

Not For Construction

**Sunflower Consolidated School District**  
Lockard Elementary School: 302 College Ave., Indianola, MS 38751

Design Development

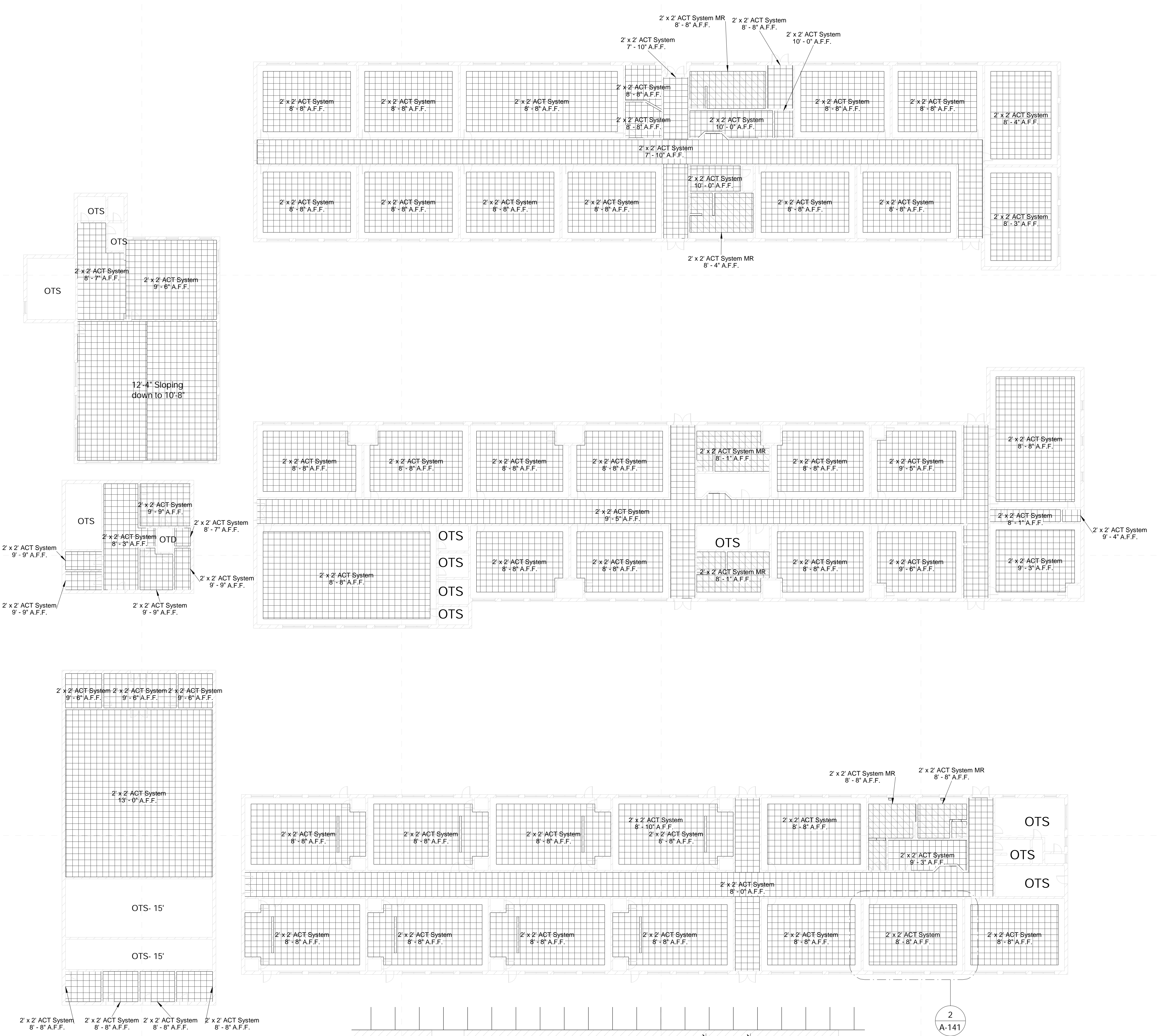
Project No	00000
Date	Issue Date
Revisions	Rev Date
1	10/5/2021
2	11/26/2021

**General RCP Notes**

- All ceiling heights shall be same as existing or lower, unless noted otherwise.
- Contractor shall paint all surfaces above 8'-8" at wall, roof, and ceiling, as well as anything attached therein at all exposed sections of ceilings where not covered by new 2x2 ACT, unless noted otherwise.
- Repair/replace any and all ceiling damaged due to construction activities.
- Bent ceiling grid damaged due to construction activities shall be replaced or bent to appear as new in shape.

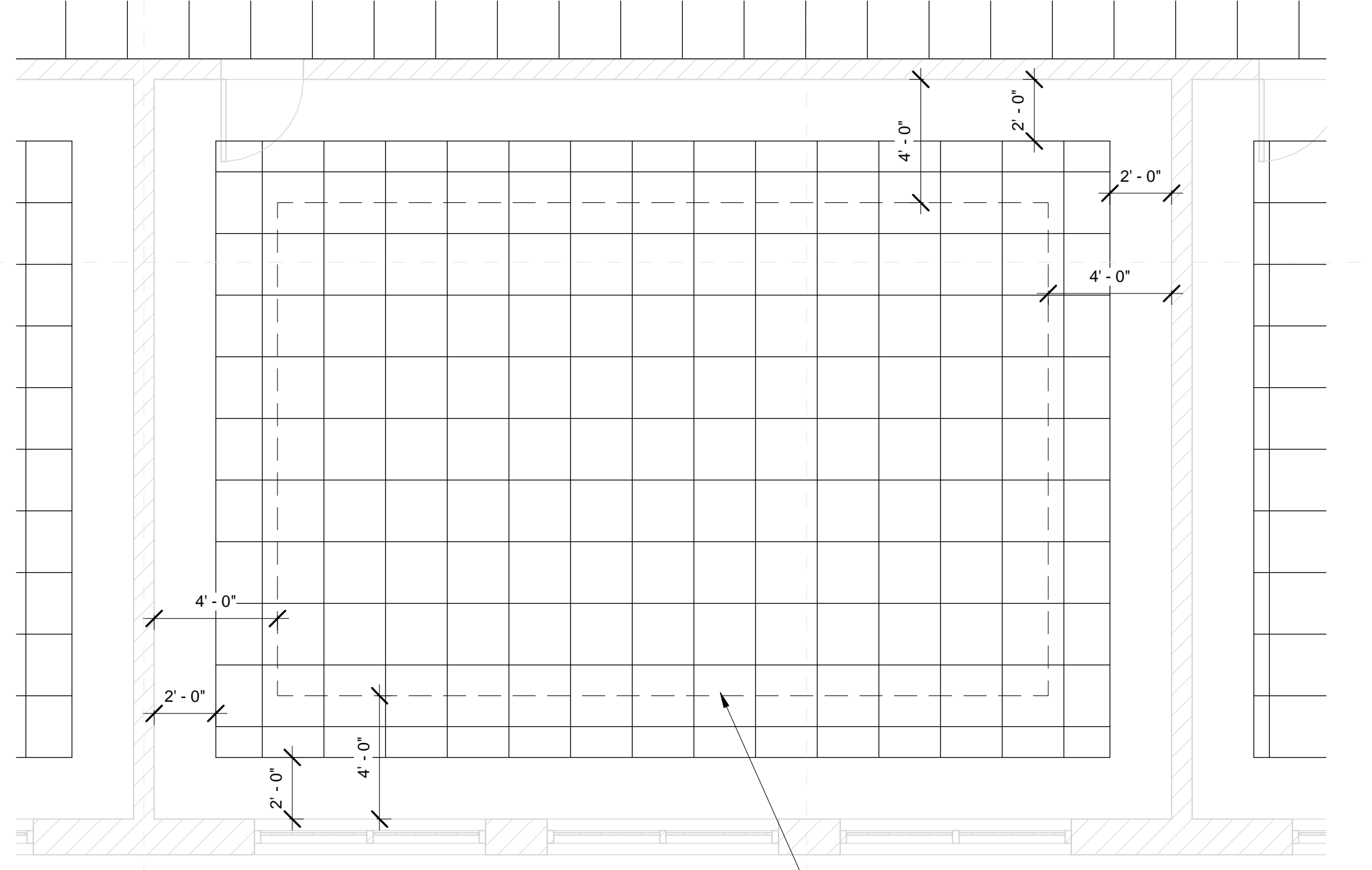
**Ceiling Legend**

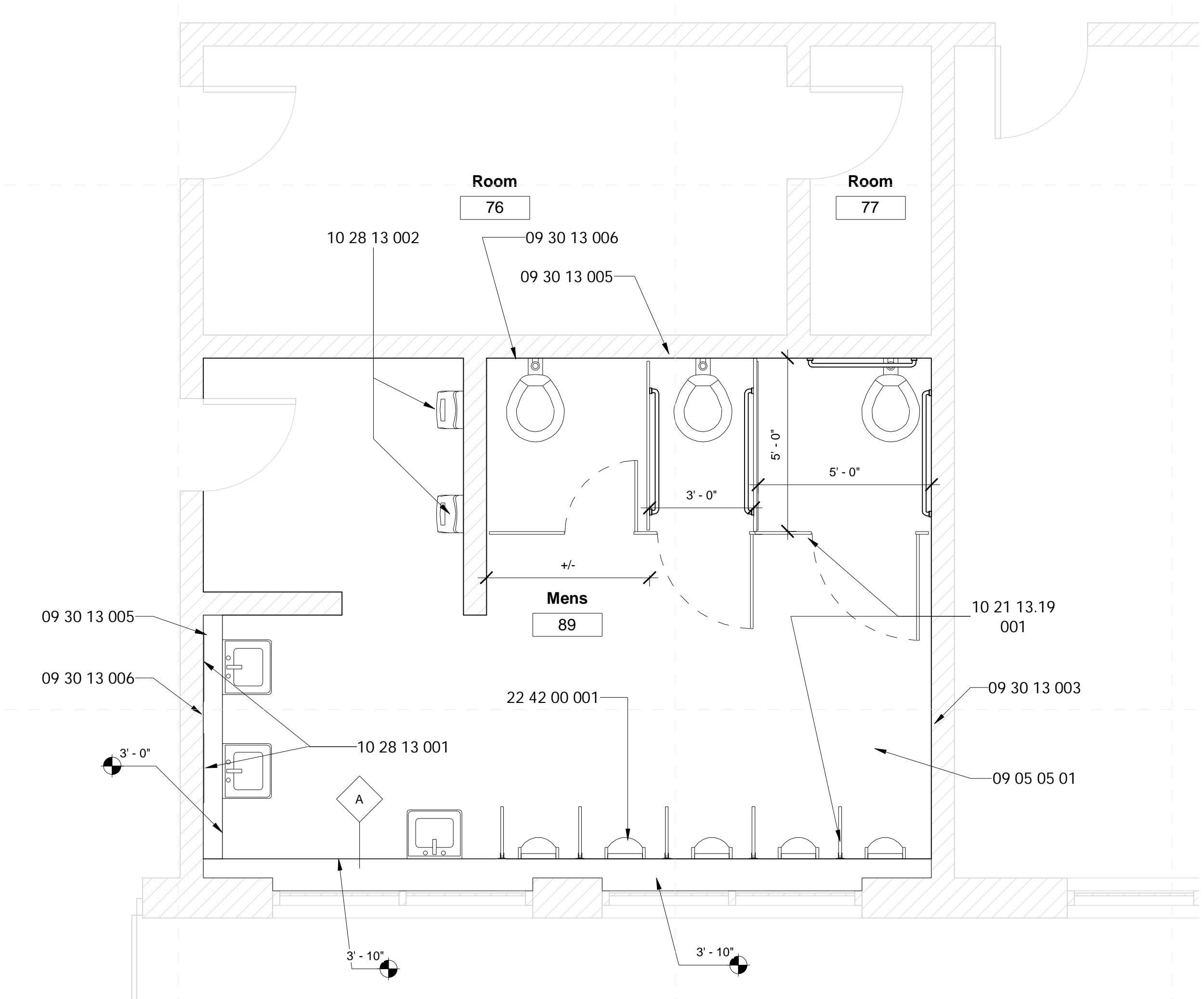
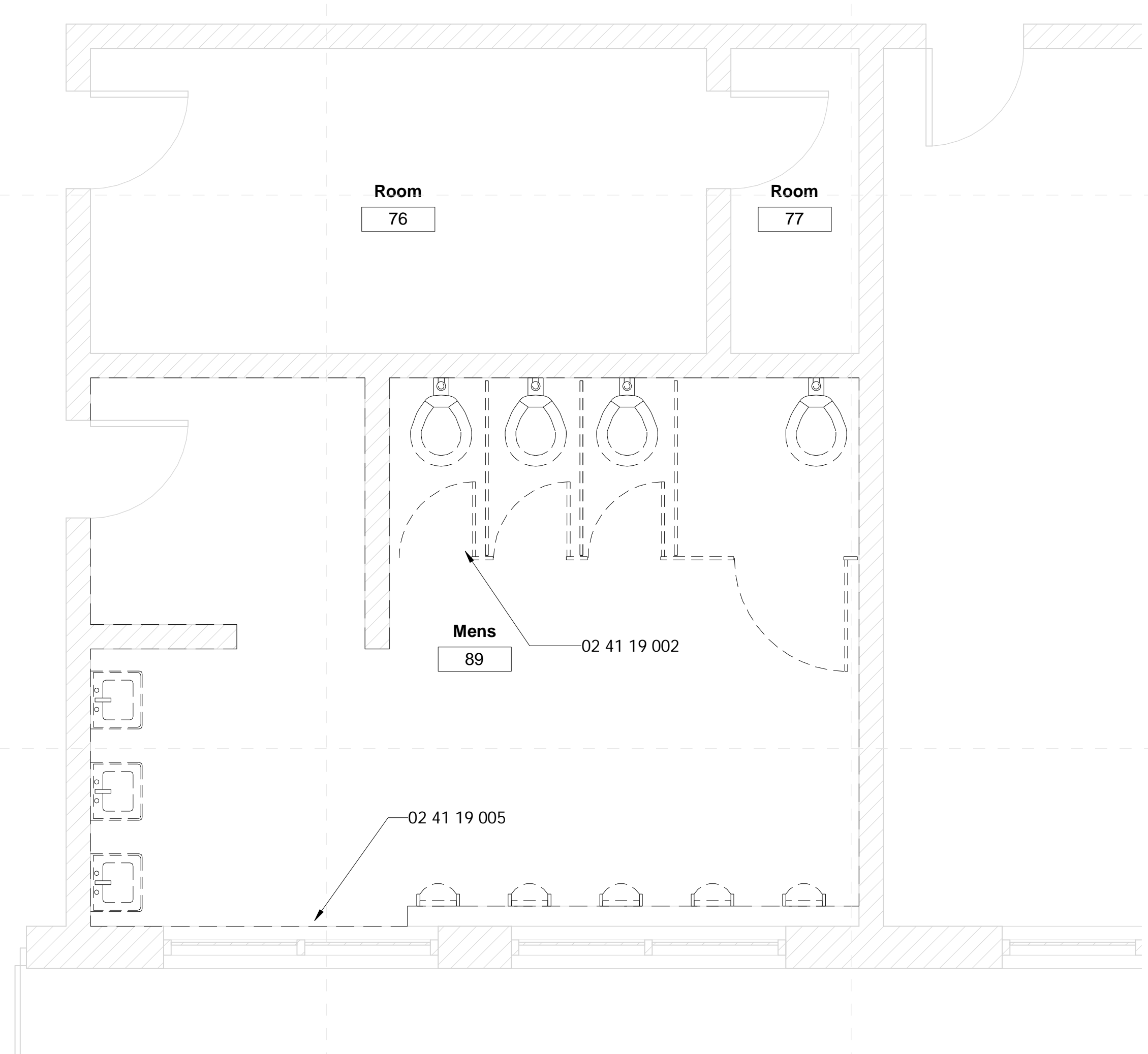
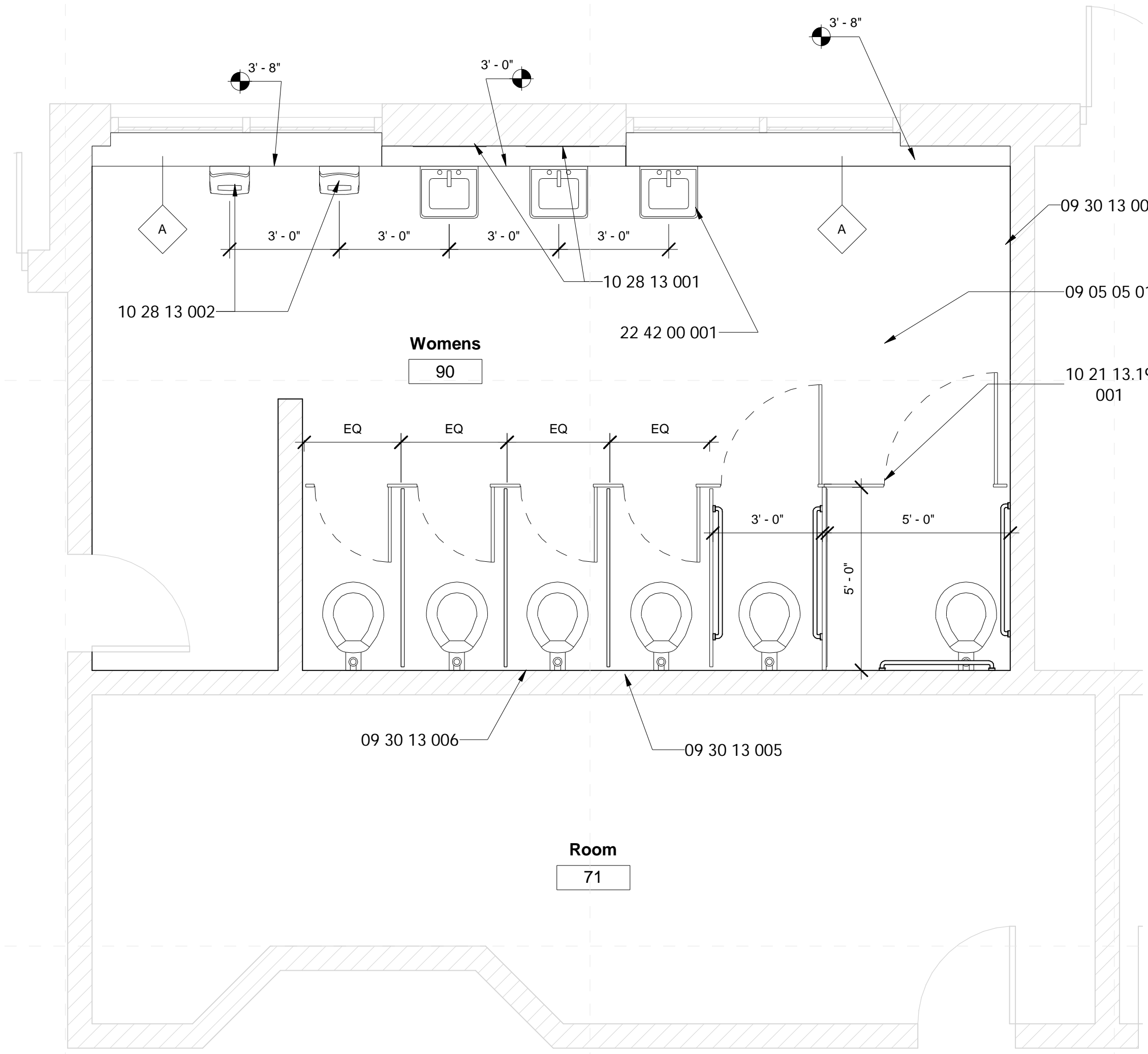
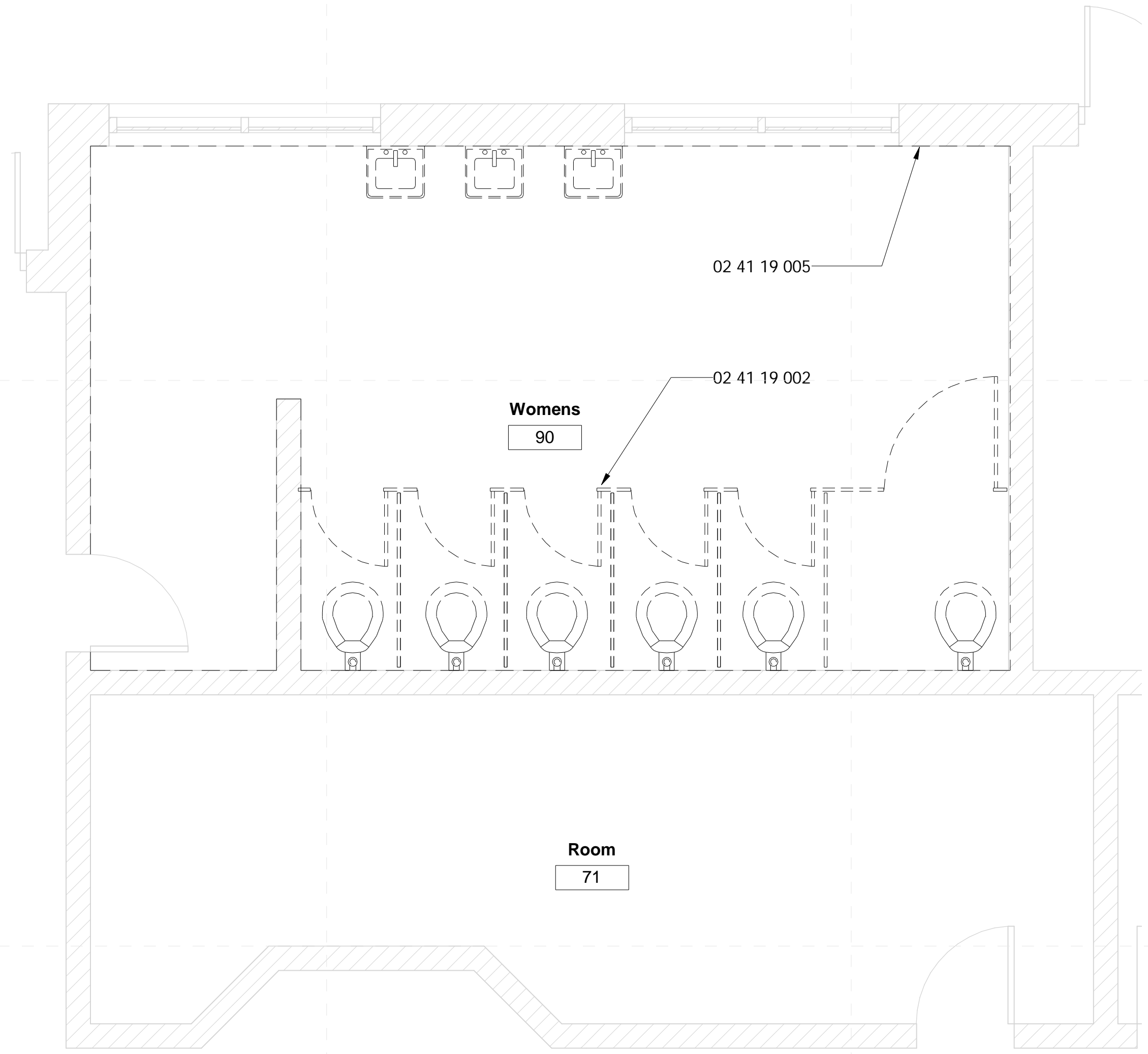
- Moisture Resistant Acoustical Lay In Ceiling
- Colored Acoustical Lay In Ceiling
- Vinyl Faced Acoustical Lay In Ceiling
- Gypsum Board Ceiling
- 2x2 Acoustical Lay In Ceiling
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- Concealed Fastender Painted Metal Soffit
- 2x2 Fluorescent Fixture
- Surface-Mounted Fluorescent Light Fixture
- Recessed Can Light Fixture
- HVAC Supply Grille
- HVAC Return Grille
- Exterior Wall Light
- Interior Wall Light
- Open to Structure (OTS)



**1 RCP - New Construction**  
1/16" = 1'-0"

**2 Typical Ceiling Layout**  
1/4" = 1'-0"





1 Toilets (North) - Existing  
3/8" = 1'-0"

2 Toilets (North) - New Construction  
3/8" = 1'-0"

General Demolition Notes

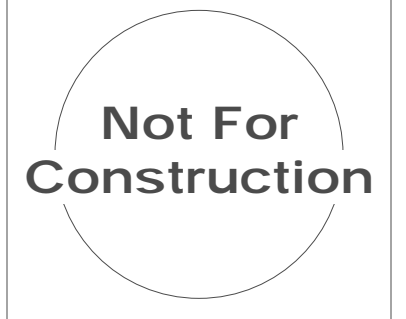
- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc., where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- Burying or Burning of materials will not be permitted on site.
- Repair any damage caused to building construction information as noted.
- Refer to other discipline drawings for additional demolition information as noted.
- Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

Specific Notes

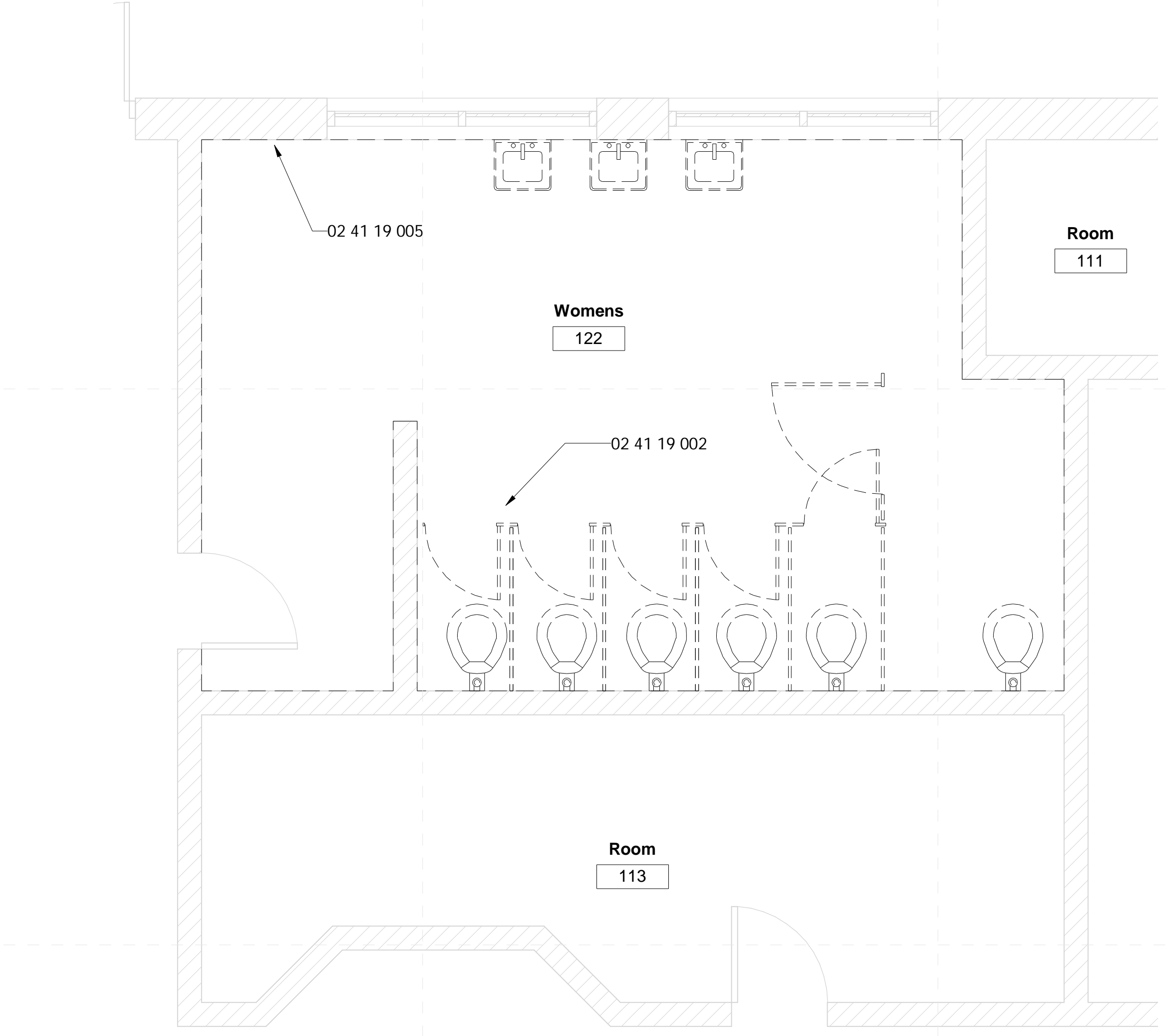
02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 005	Demo tile wainscot; patch & repair substrate as need for new tile install
09 05 05 01	Install leveling compound as needed for smooth appearance of new tile & a flush threshold to adjacent floors, typical on new floor tile
09 30 13 003	Install new wall tile flush and straight with accent top piece, floor to highest partial wall or window sill height; typical at bathroom interior unless noted otherwise
09 30 13 005	Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
09 30 13 006	Install accent tile at this wall
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

General Finish Plan Notes

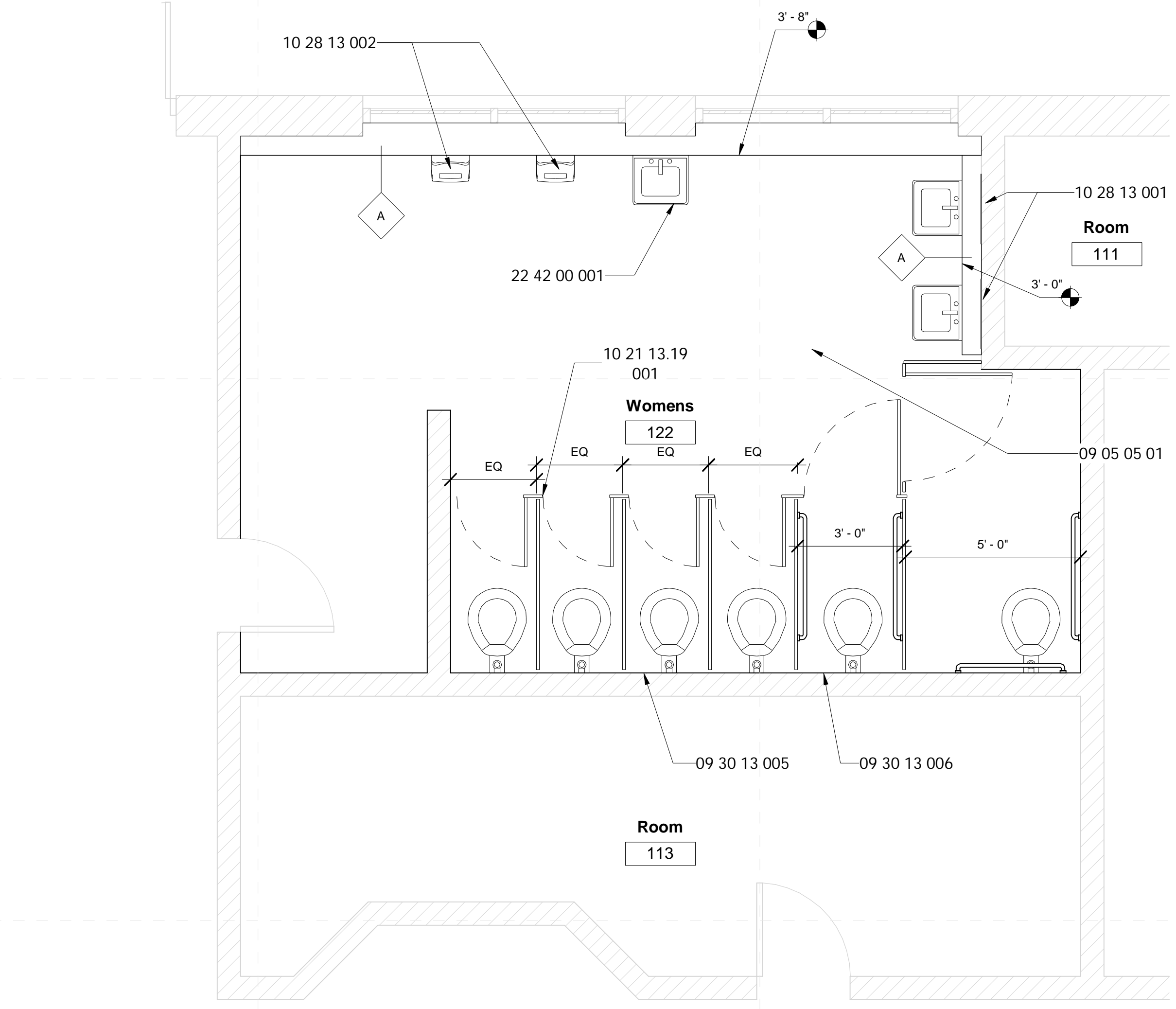
- All flooring transitions are to occur at center line of door panel.
- Install new tile at floors.
- New Fixture locations shall be coordinated with mechanical sheets.
- Install new wall tile flush and straight with accent top piece, floor to 3'-10" AFF; typical at bathroom interior unless noted otherwise
- Install new tile base at all walls in bathrooms
- Install new grab bars at all ADA & AMB toilets
- Install moisture resistant back board at all new tile.
- Paint all exposed CMU at renovated toilets.



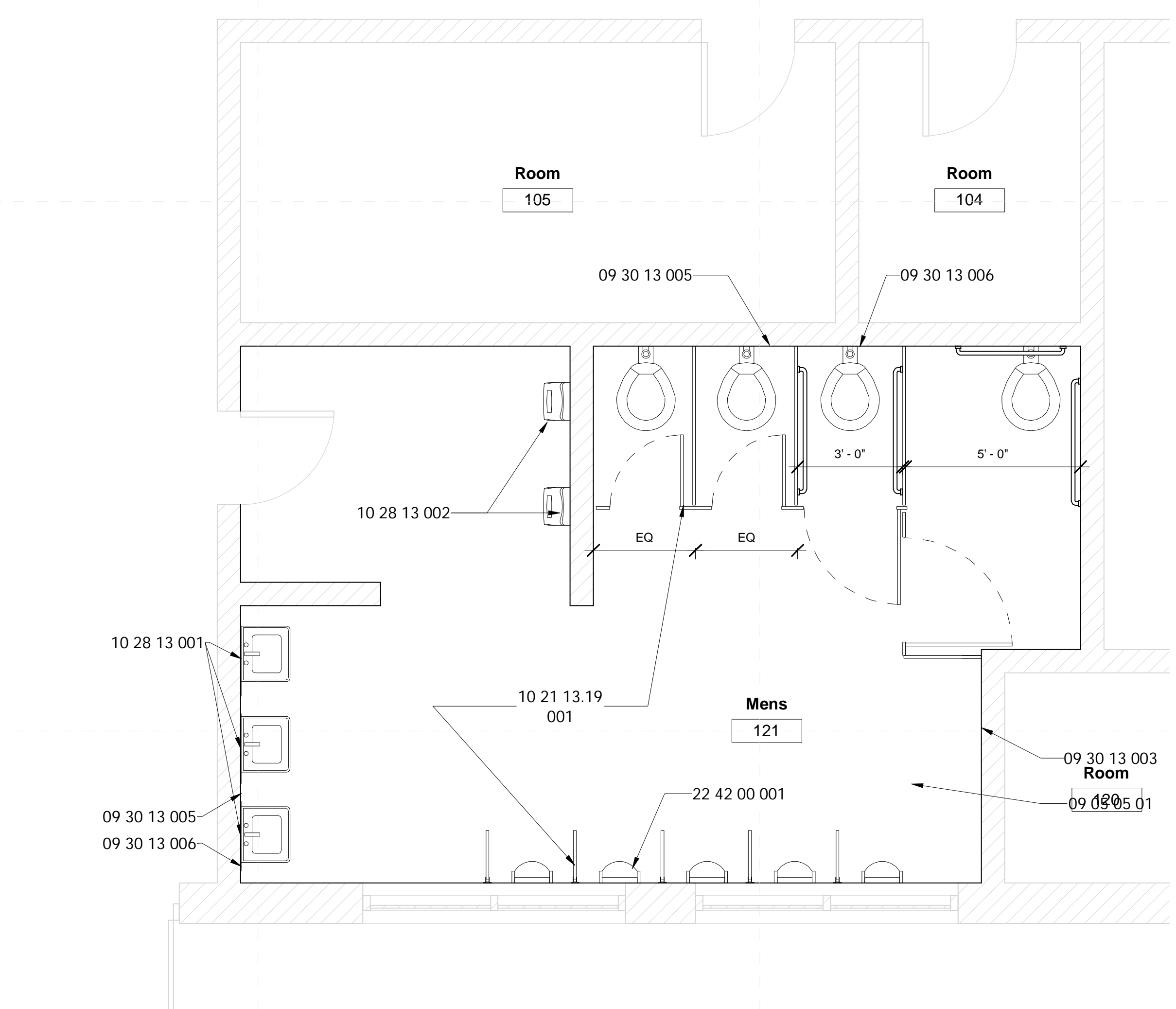
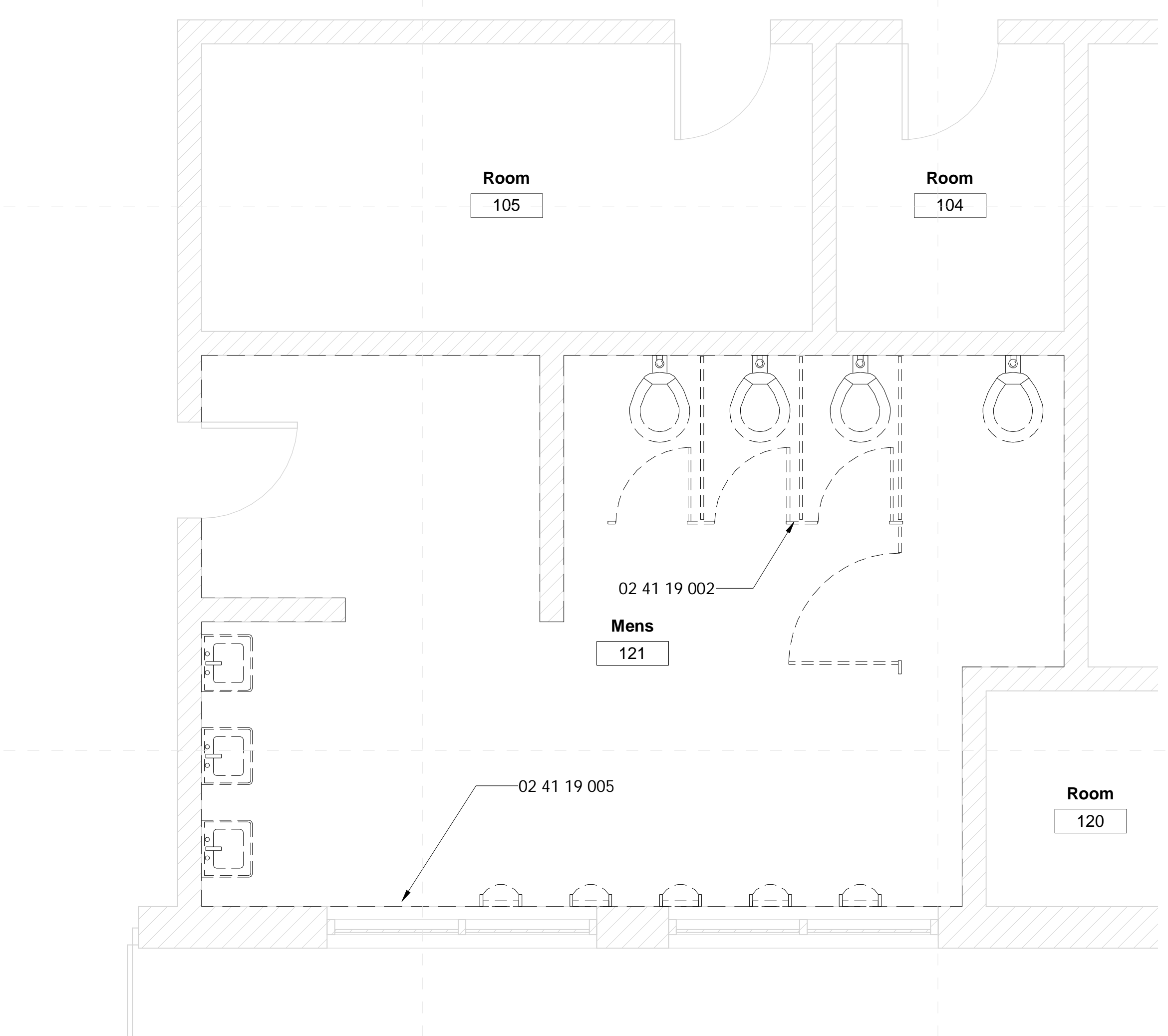
Project No	00000
Date	Issue Date
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1	10/5/2021
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1 Toilets (Central) - Existing  
3/8" = 1'-0"



2 Toilets (Central) - New Construction  
3/8" = 1'-0"



General Demolition Notes

- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc., where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- Burying or Burning of materials will not be permitted on site.
- Repair any damage caused to building construction information as noted.
- Refer to other discipline drawings for additional demolition information as noted.
- Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 005	Demo tile wainscot, patch & repair substrate as need for new tile install
09 05 05 01	Install leveling compound as needed for smooth appearance of new tile & a flush threshold to adjacent floors, typical on new floor tile
09 30 13 003	Install new wall tile flush and straight with accent top piece, floor to highest partial wall or window sill height; typical at bathroom interior unless noted otherwise
09 30 13 005	Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
09 30 13 006	Install accent tile at this wall
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

General Finish Plan Notes

- All flooring transitions are to occur at center line of door panel.
- Install new tile at floors.
- New Fixture locations shall be coordinated with mechanical sheets.
- Install new wall tile flush and straight with accent top piece, floor to 3'-10" AFF; typical at bathroom interior unless noted otherwise
- Install new tile base at all walls in bathrooms
- Install new grab bars at all ADA & AMB toilets
- Install moisture resistant back board at all new tile.
- Paint all exposed CMU at renovated toilets.

**DALE BAILEY**  
AN ASSOCIATION

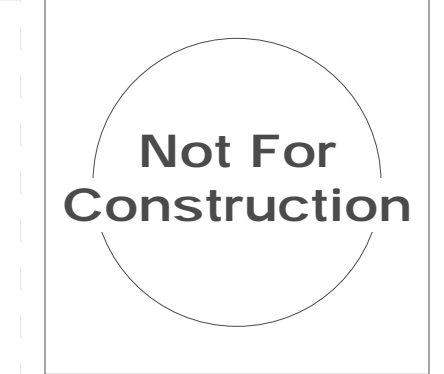
Architects

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p 601.352.5411

201 Park Court Suite B  
Ridgeland, MS 39157  
p 601.790.9432

161 Lameuse St. Suite 201  
Biloxi, MS 39530  
p 228.374.1409

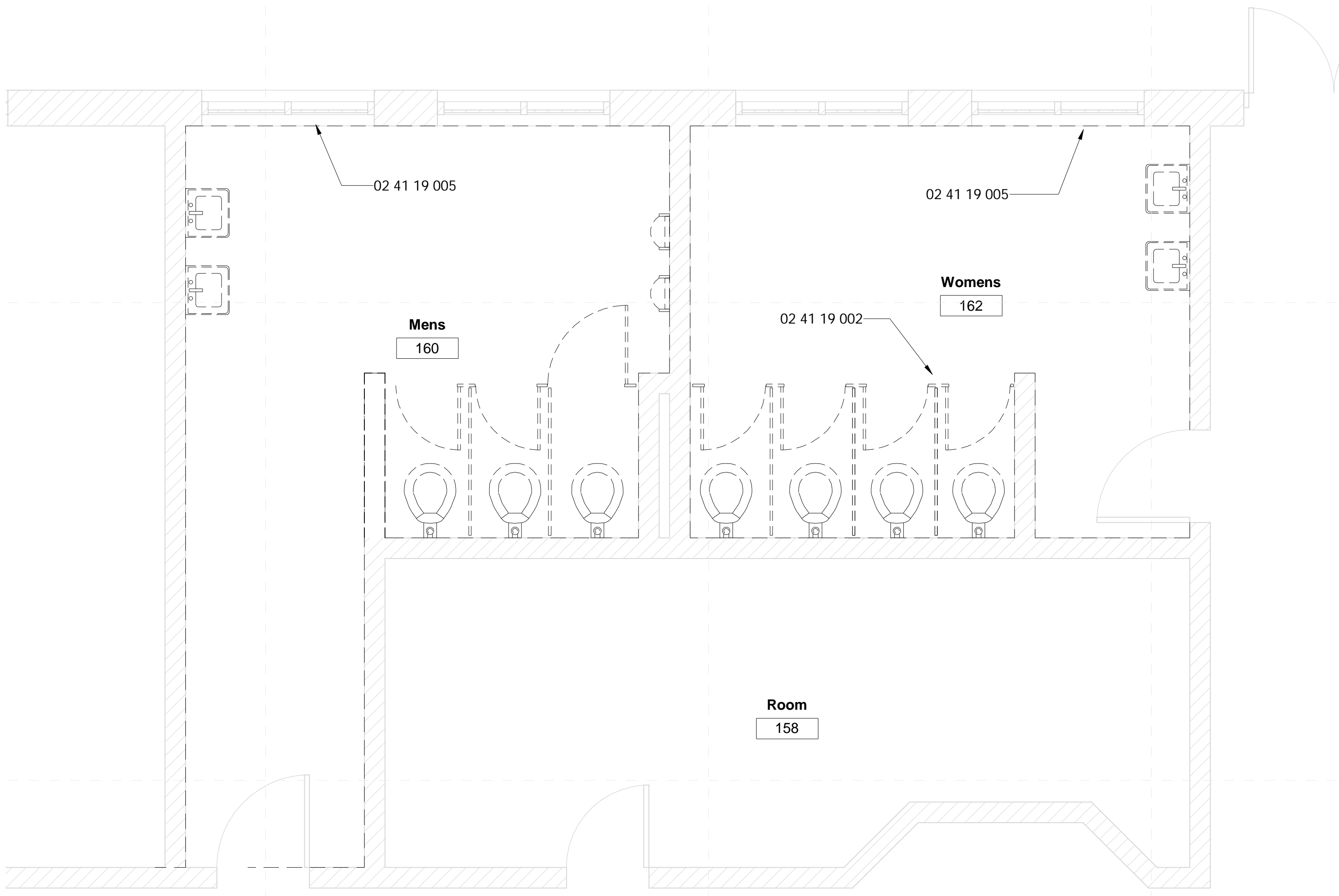
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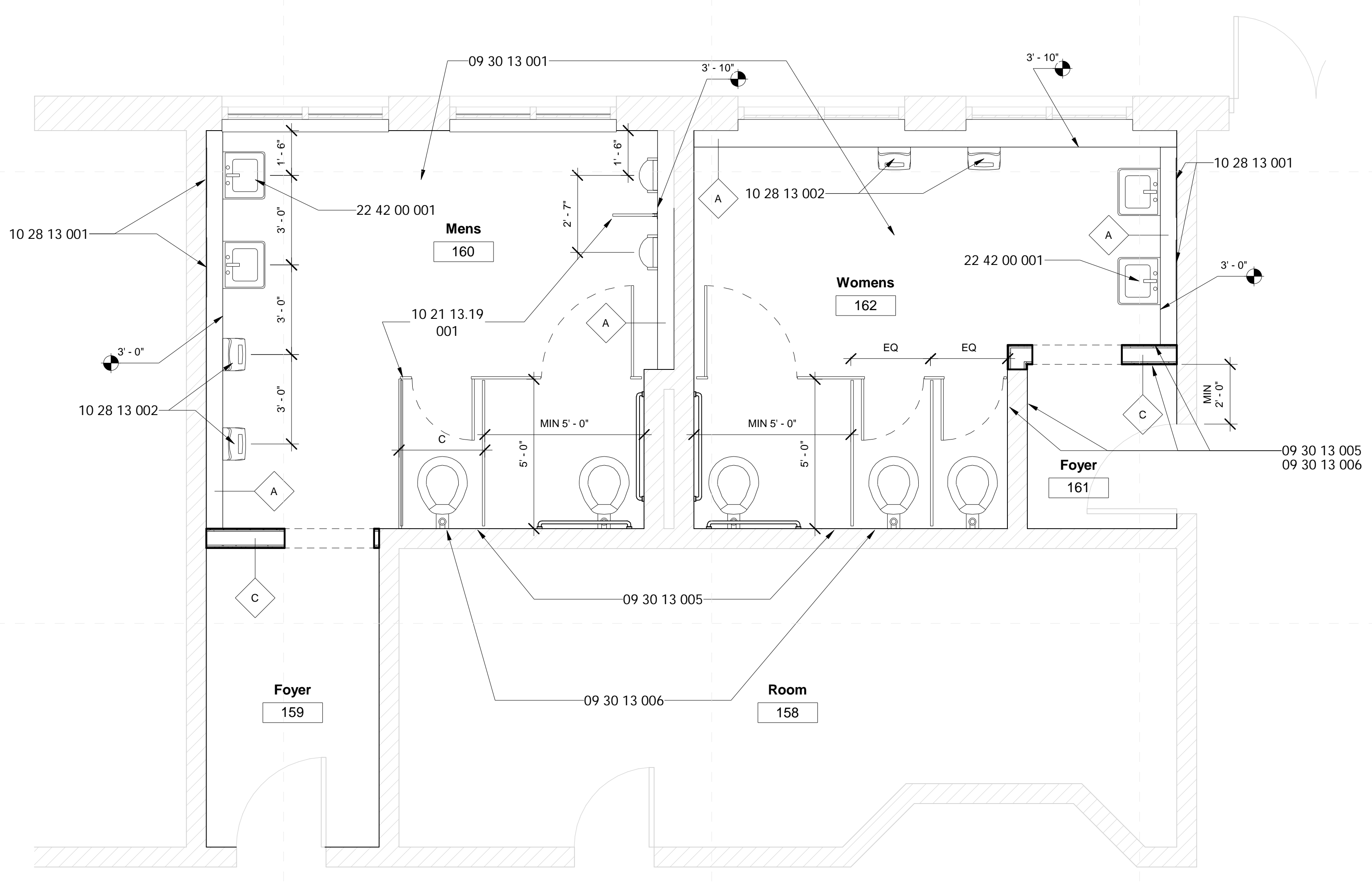
Sunflower Consolidated School District  
Lockard Elementary School: 302 College Ave., Indianola, MS 38751

Design Development

Project No	00000
Date	Issue Date
Revisions	Rev Date
1	10/5/2021
2	11/26/2021



**1 Toilets (South) - Existing**  
3/8" = 1'-0"



**2 Toilets (South) - New Construction**  
3/8" = 1'-0"

**General Demolition Notes**

- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc., where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- Burying or Burning of materials will not be permitted on site.
- Repair any damage caused to building construction identified to remain.
- Refer to other discipline drawings for additional demolition information as noted
- Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

**Specific Notes**

02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 005	Demo tile wainscot; patch & repair substrate as need for new tile install
09 30 13 001	Install new floor tile; slope to floor drain is drain provided
09 30 13 005	Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
09 30 13 006	Install accent tile at this wall
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

**General Finish Plan Notes**

- All flooring transitions are to occur at center line of door panel.
- Install new tile at floors.
- New Fixture locations shall be coordinated with mechanical sheets.
- Install new wall tile flush and straight with accent top piece, floor to 3'-10" AFF; typical at bathroom interior unless noted otherwise.
- Install new tile base at all walls in bathrooms
- Install new grab bars at all ADA & AMB toilets
- Install moisture resistant back board at all new tile.
- Paint all exposed CMU at renovated toilets.

**DALE BAILEY**  
AN ASSOCIATION

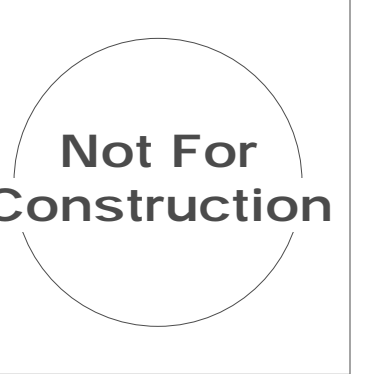
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**Sunflower Consolidated School District**  
Lockard Elementary School: 302 College Ave., Indianola, MS 38751

Design Development

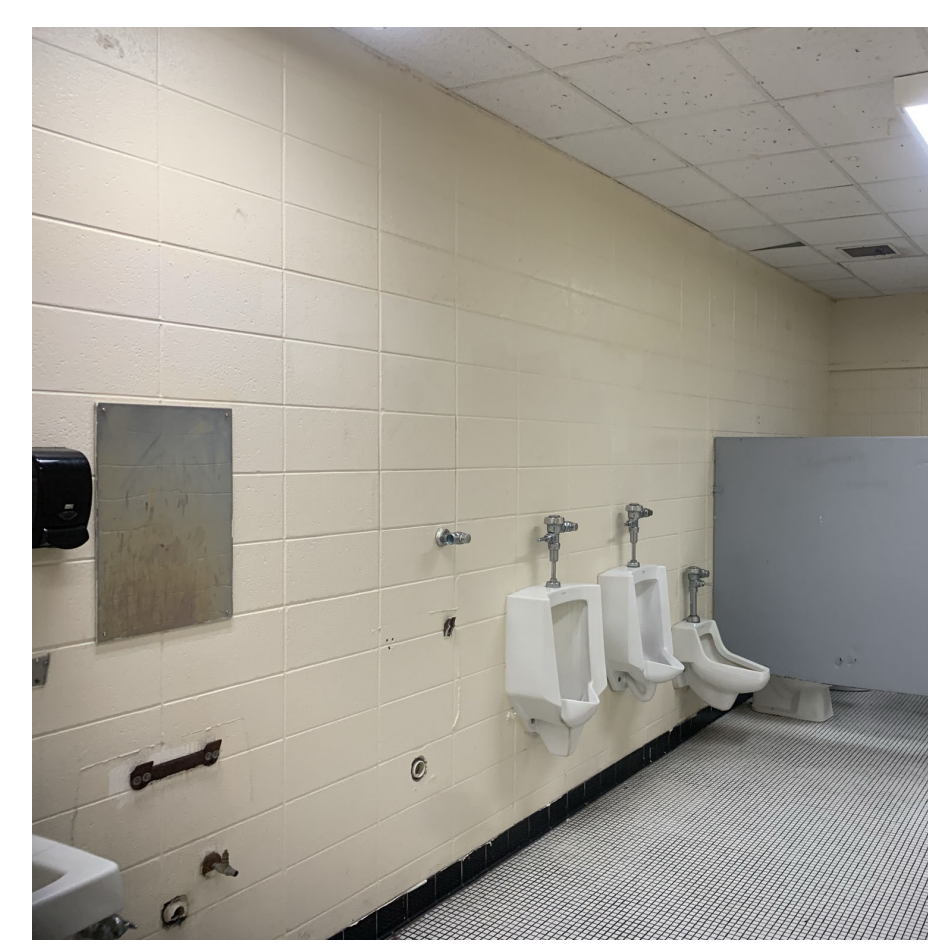
Project No	00000
Date	Issue Date
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1	10/5/2021
2	11/26/2021

### All School's Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
08 71 00 001	Replace all door hardware with new at existing leaf
09 30 13 002	Install new wall tile flush and straight, floor to ceiling
09 30 13 005	Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 05 05 02	New rough plumbing; see plumbing
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new



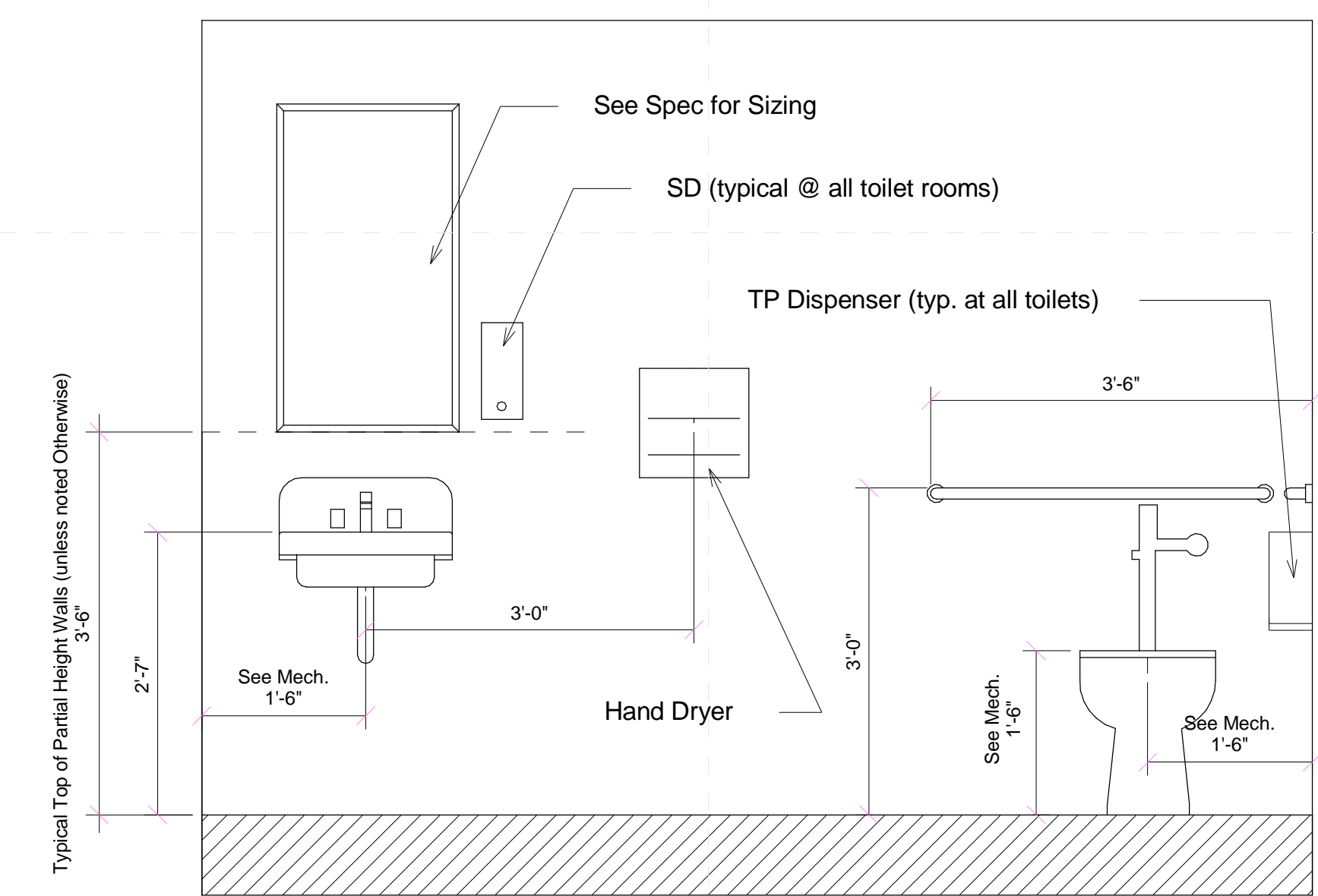
Front of School



Typical Toilet Room



Typical Toilet Room



○ Typical Toilet Room Wall  
3/4" = 1'-0"

Architects  
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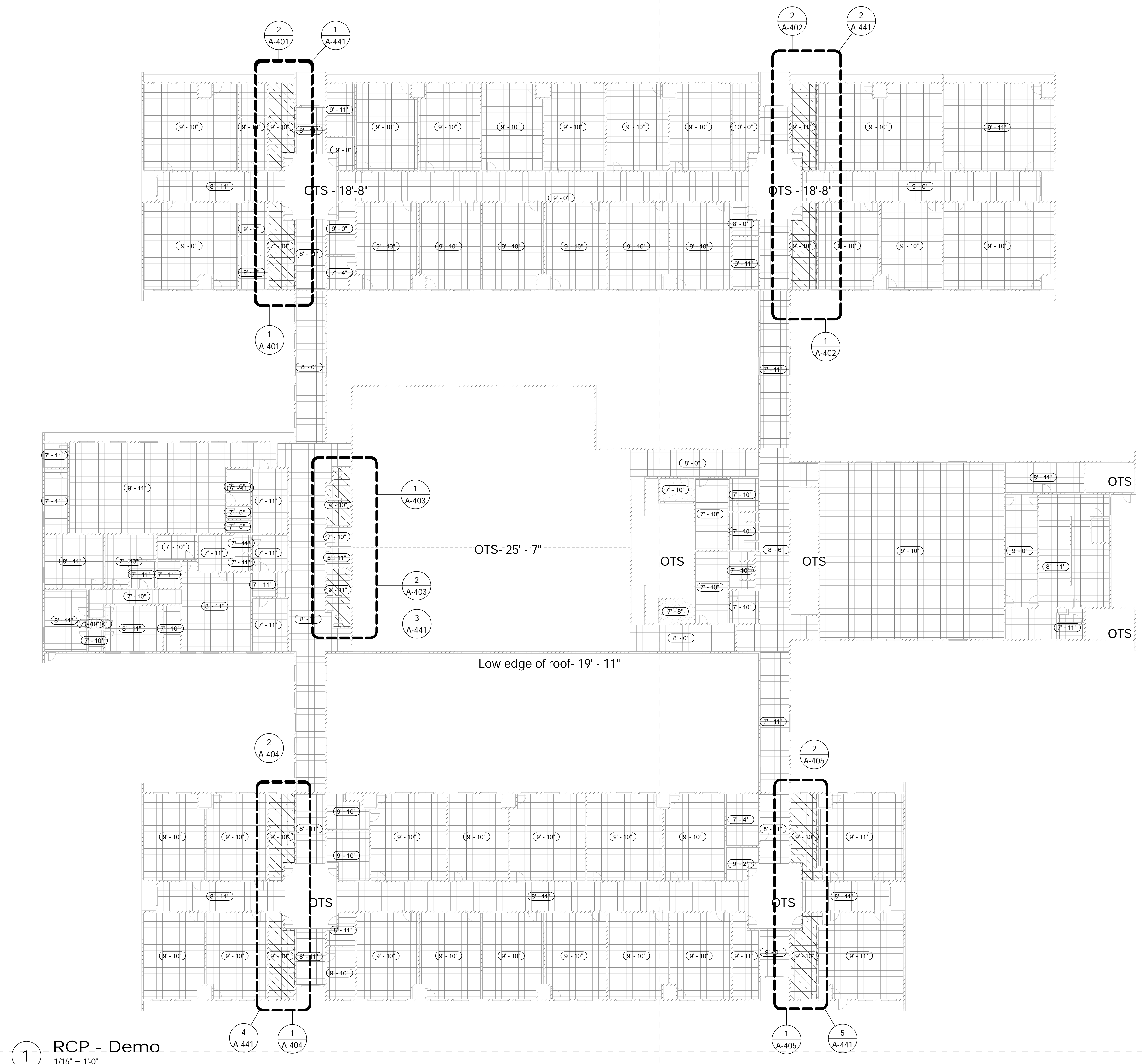
**Not For Construction**

**Sunflower Consolidated School District**  
Merritt Middle School: 705 Kinlock Rd, Indianola, MS 38751

Design Development

Project No	21027
Date	3 January 2018
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1	10/5/2021
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1 RCP - Demo  
1/16" = 1'-0"

General RCP Demolition Notes

1. Where ceiling transitions from new ceiling to existing ceiling, coordinate with Architect detail.
2. Remove existing ceiling grid & tile at all bathrooms to be renovated, as well as any wall fasteners and/or mastics attached therein.
3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
5. Burying or Burning of materials will not be permitted on site.
6. Repair any damage caused to building construction identified to remain.
7. Refer to other discipline drawings for additional demolition information as noted.
8. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
9. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

Ceiling Legend

- Moisture Resistant Acoustical Lay In Ceiling
- Colored Acoustical Lay In Ceiling
- Vinyl Faced Acoustical Lay In Ceiling
- Gypsum Board Ceiling
- 2x2 Acoustical Lay In Ceiling
- Plaster/Stucco
- Concealed Fastener Painted Metal Soffit
- 2x2 Fluorescent Fixture
- Surface-Mounted Fluorescent Light Fixture
- Recessed Can Light Fixture
- HVAC Supply Grille
- HVAC Return Grille
- Exterior Wall Light
- Interior Wall Light
- Open to Structure (OTS)

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Not For Construction

Sunflower Consolidated School District  
Merritt Middle School: 705 Kinlock Rd, Indianola, MS 38751

Design Development

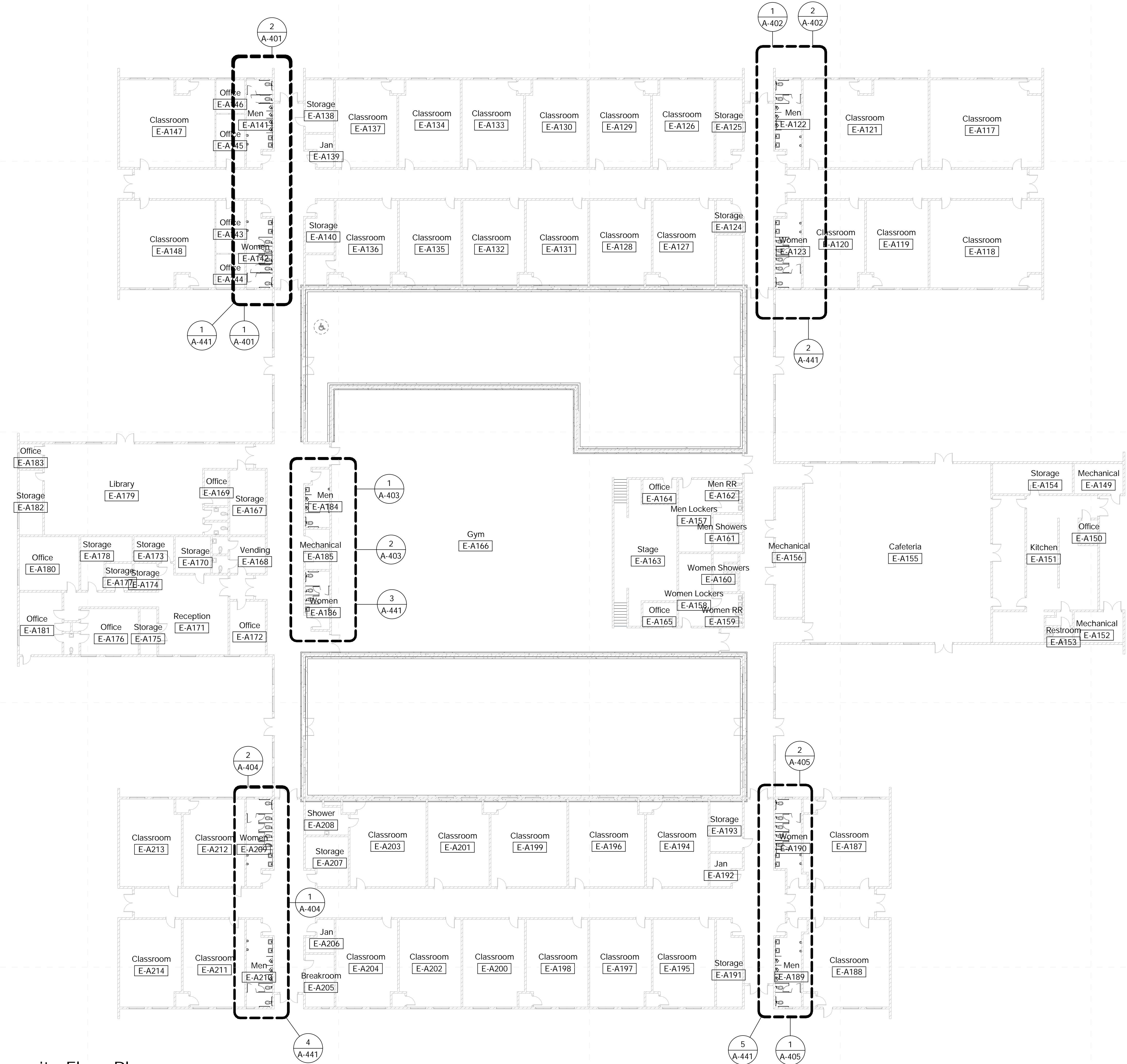
Project No	21027
Date	3 January 2018
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1	10/5/2021
2	11/26/2021

Not For  
Construction

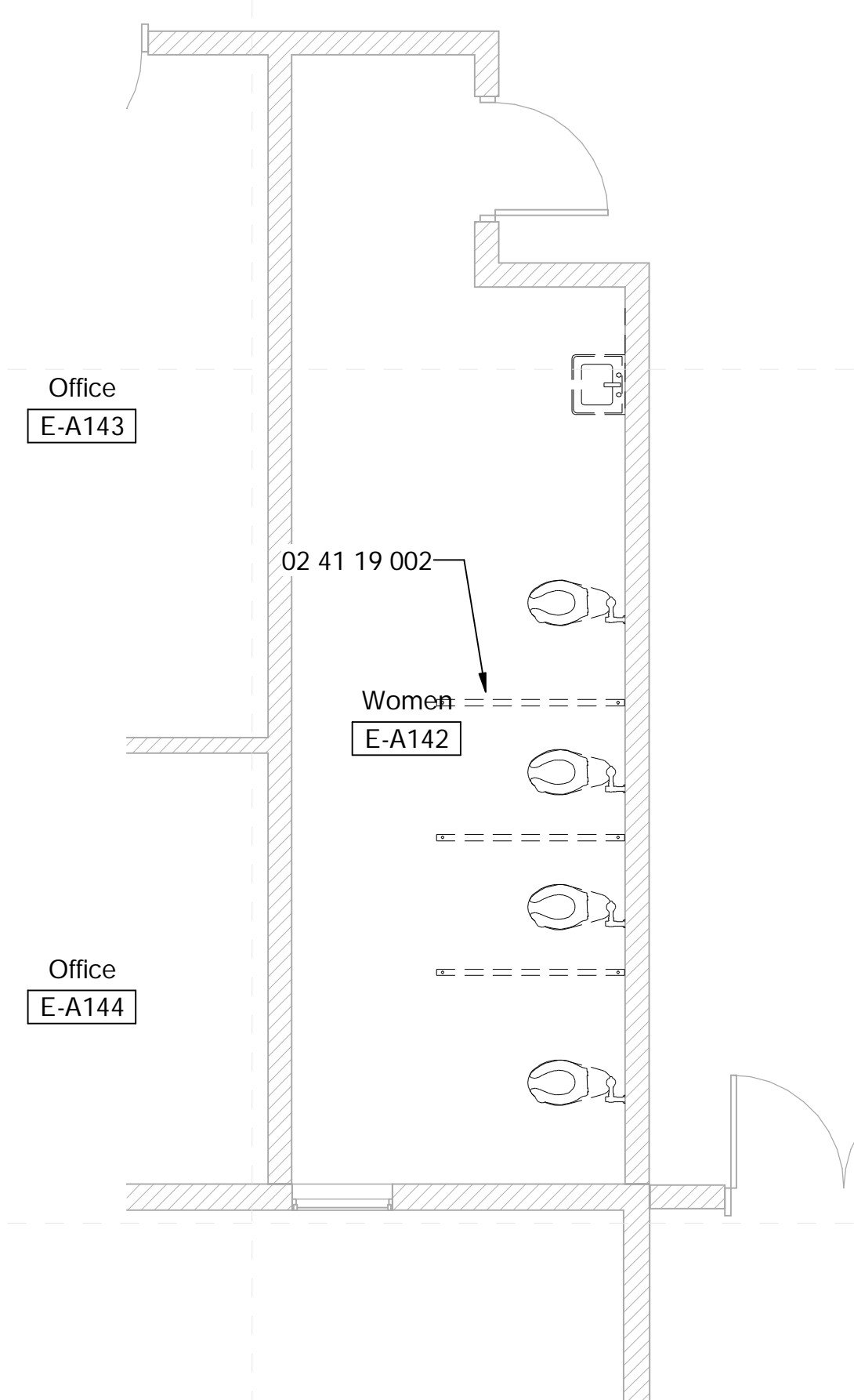
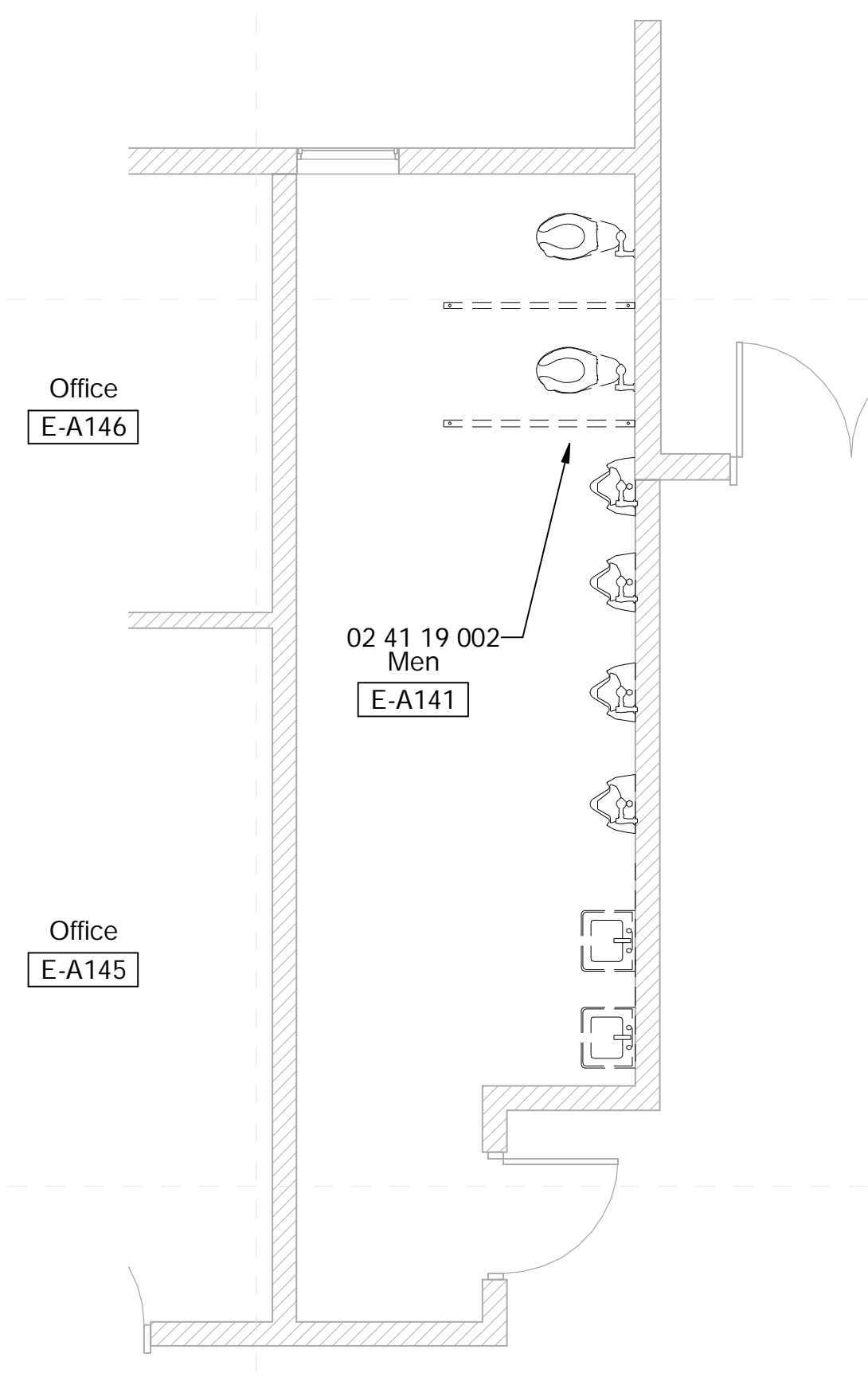
**Sunflower Consolidated School District**  
Merritt Middle School: 705 Kinlock Rd, Indianola, MS 38751

Design  
Development

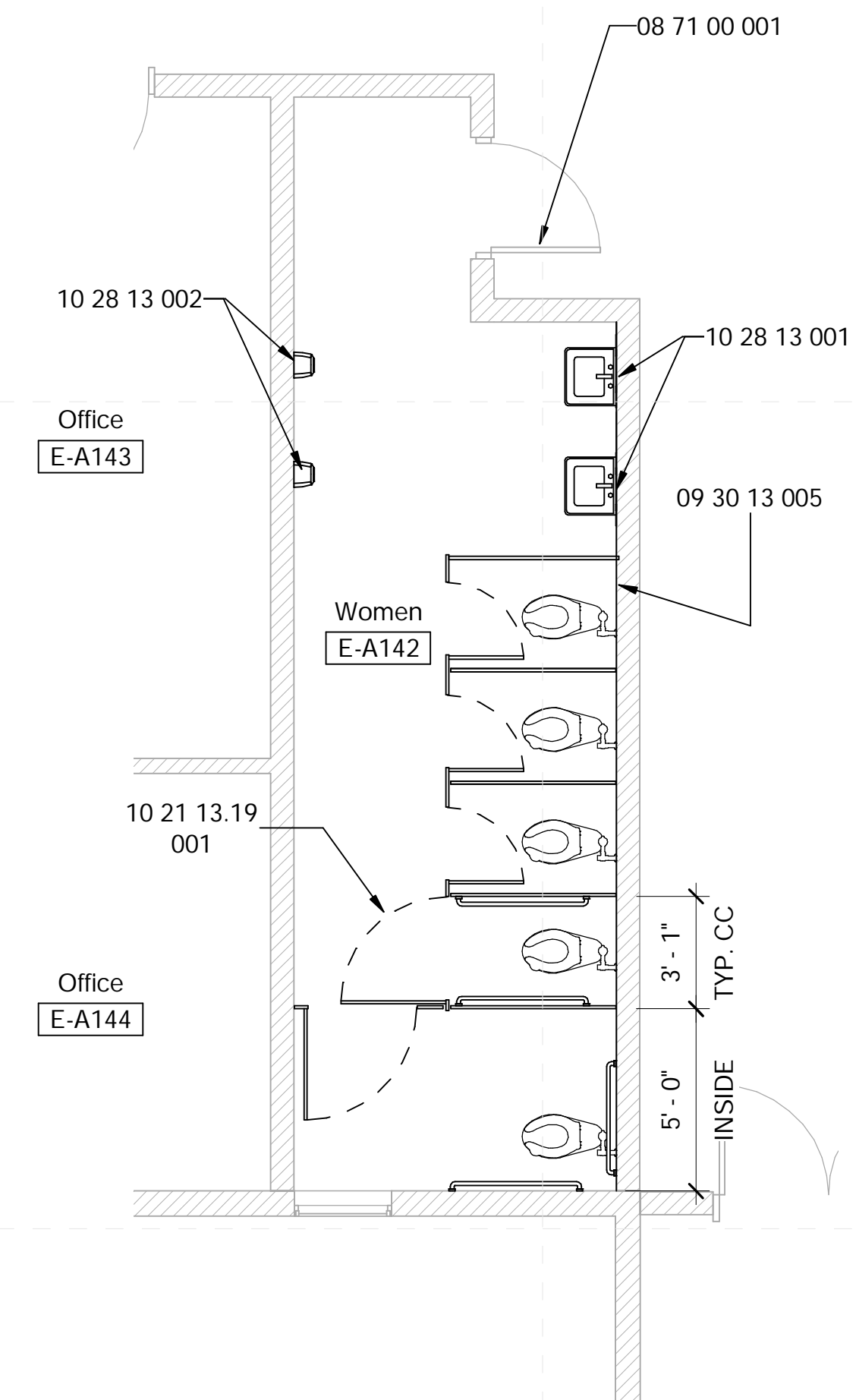
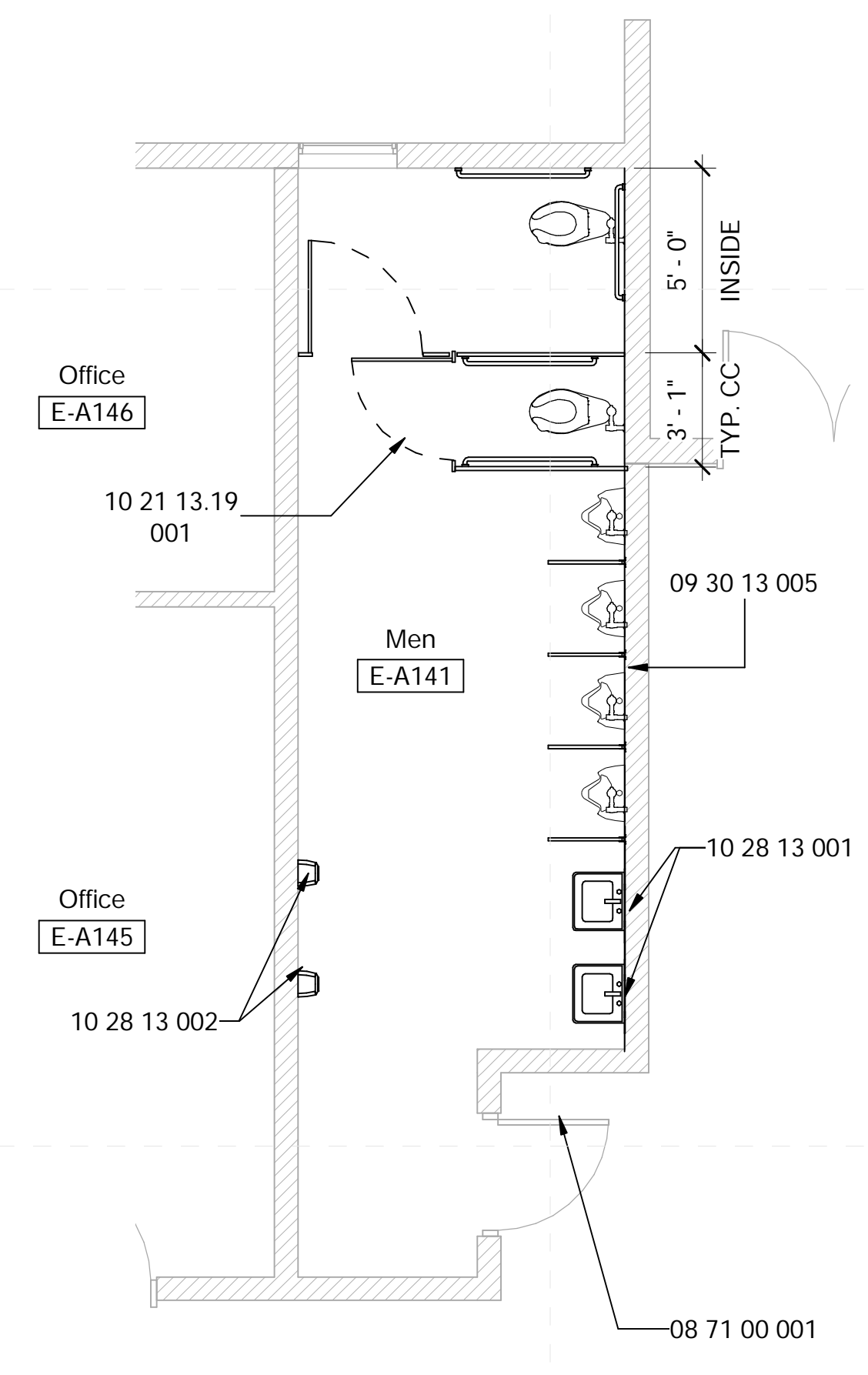
Project No	21027
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**1 Composite Floor Plan**  
1/16" = 1'-0"



1 Main Floor - NW Toilets - Existing  
1/4" = 1'-0"



2 Main Floor - NW Toilets - New Construction  
1/4" = 1'-0"

General Demolition Notes

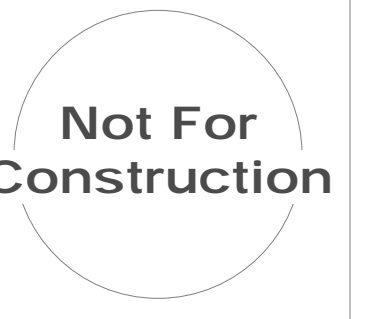
- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc., where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- Burying or Burning of materials will not be permitted on site.
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- Refer to other discipline drawings for additional demolition information as noted
- Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- Remove all tile within bathrooms (floor & wall).
- Remove partitions and existing fixtures.

Specific Notes

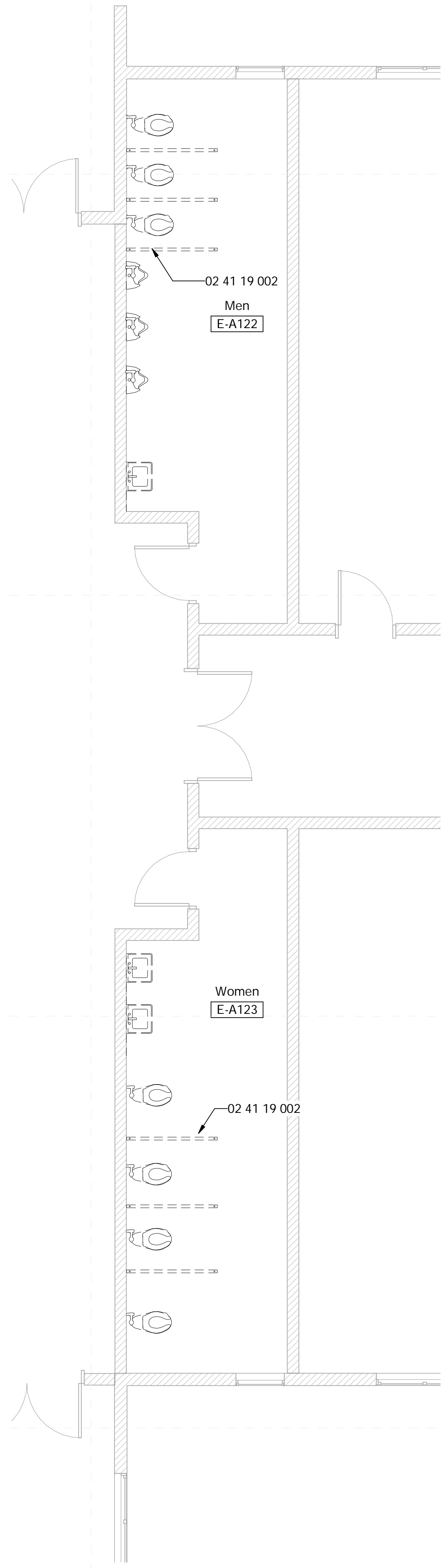
02 41 19 002	Dashed lines indicated extent of demoed work
08 71 00 001	Replace all door hardware with new at existing leaf
09 30 13 005	Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
10 21 13 19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here: center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here: coordinate with electrical & mechanical

General Finish Plan Notes

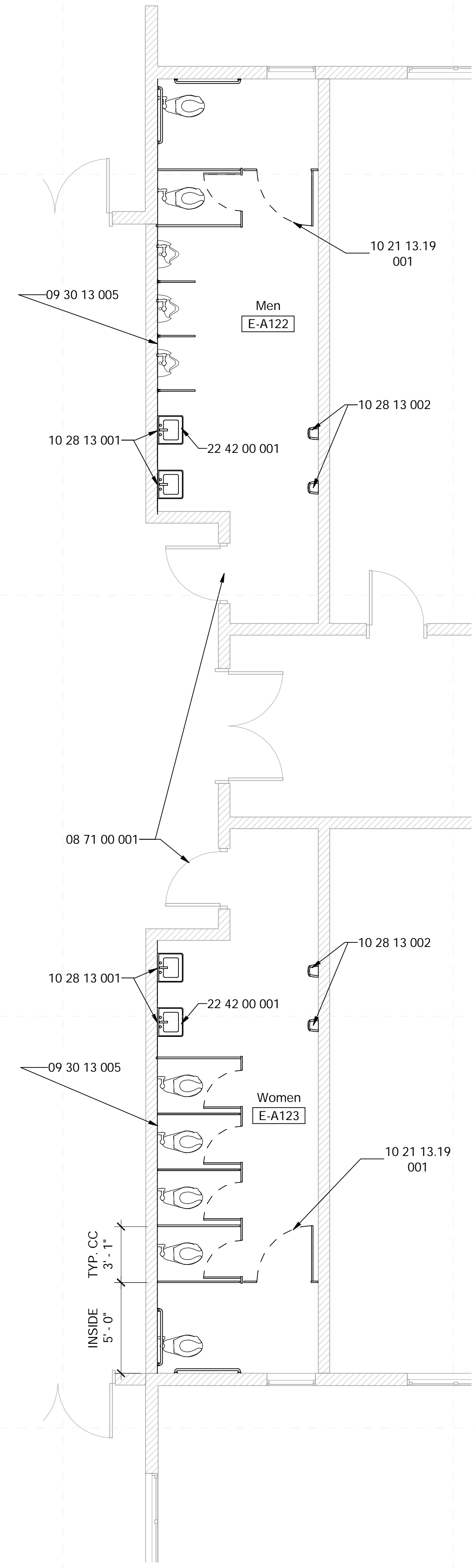
- All flooring transitions are to occur at center line of door panel.
- Protect existing floor tile during construction: Clean floor tile and reseal.
- New Fixture locations shall be coordinated with mechanical sheets.
- Install new tile base at all walls in bathrooms
- Install new grab bars at all ADA & AMB toilets
- Paint all Exposed CMU at bathroom interiors with epoxy paint.
- Install moisture resistant back board at all new tile.



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1 Main Floor - NE Toilets - Existing  
1/4" = 1'-0"



2 Main Floor - NE Toilets - New Construction  
1/4" = 1'-0"

General Demolition Notes

- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc., where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
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- Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- Remove all tile within bathrooms (floor & wall).
- Remove partitions and existing fixtures.

Specific Notes

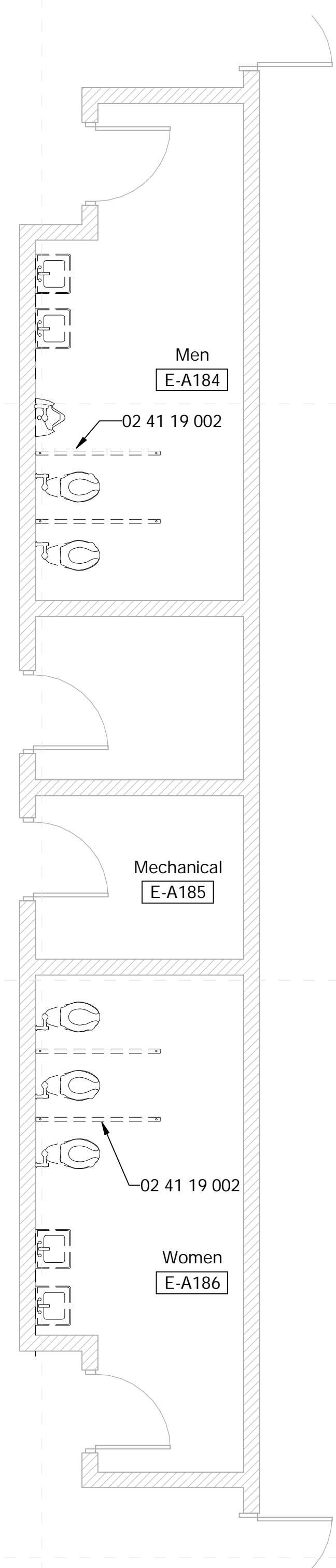
02 41 19 002	Dashed lines indicated extent of demolded work
08 71 00 001	Replace all door hardware with new at existing leaf
09 30 13 005	Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

General Finish Plan Notes

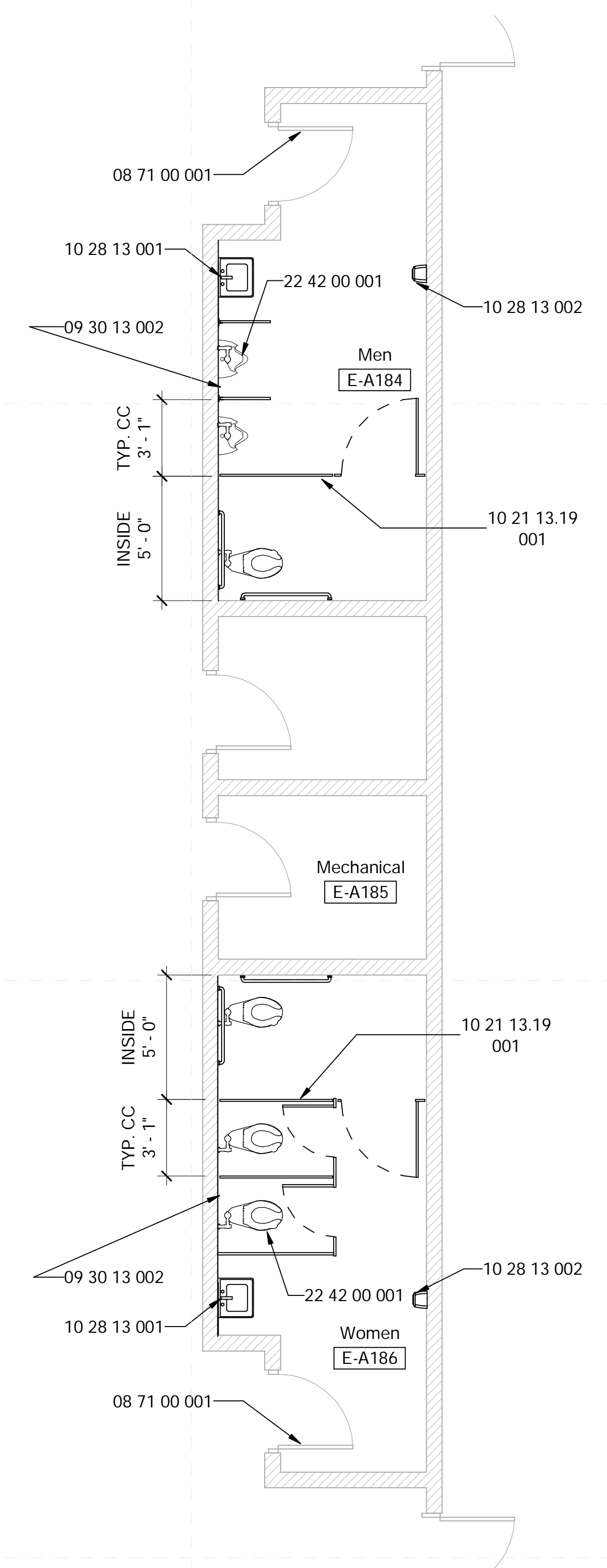
- All flooring transitions are to occur at center line of door panel.
- Protect existing floor tile during construction. Clean floor tile and reseal.
- New Fixture locations shall be coordinated with mechanical sheets.
- Install new tile base at all walls in bathrooms
- Install new grab bars at all ADA & AMB toilets
- Paint all Exposed CMU at bathroom interiors with epoxy paint.
- Install moisture resistant back board at all new tile.



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**1** Main Floor - W Toilets - Existing  
1/4" = 1'-0"



**2** Main Floor - W Toilets - New Construction  
1/4" = 1'-0"

**General Demolition Notes**

- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc., where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
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- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- Remove all tile within bathrooms (floor & wall).
- Remove partitions and existing fixtures.

**Specific Notes**

02 41 19 002	Dashed lines indicated extent of demoed work
08 71 00 001	Replace all door hardware with new at existing leaf
09 30 13 002	Install new wall tile flush and straight, floor to ceiling
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

**General Finish Plan Notes**

- All flooring transitions are to occur at center line of door panel.
- Protect existing floor tile during construction; Clean floor tile and reseal.
- New Fixture locations shall be coordinated with mechanical sheets.
- Install new tile base at all walls in bathrooms
- Install new grab bars at all ADA & AMB toilets
- Paint all Exposed CMU at bathroom interiors with epoxy paint.
- Install moisture resistant back board at all new tile.

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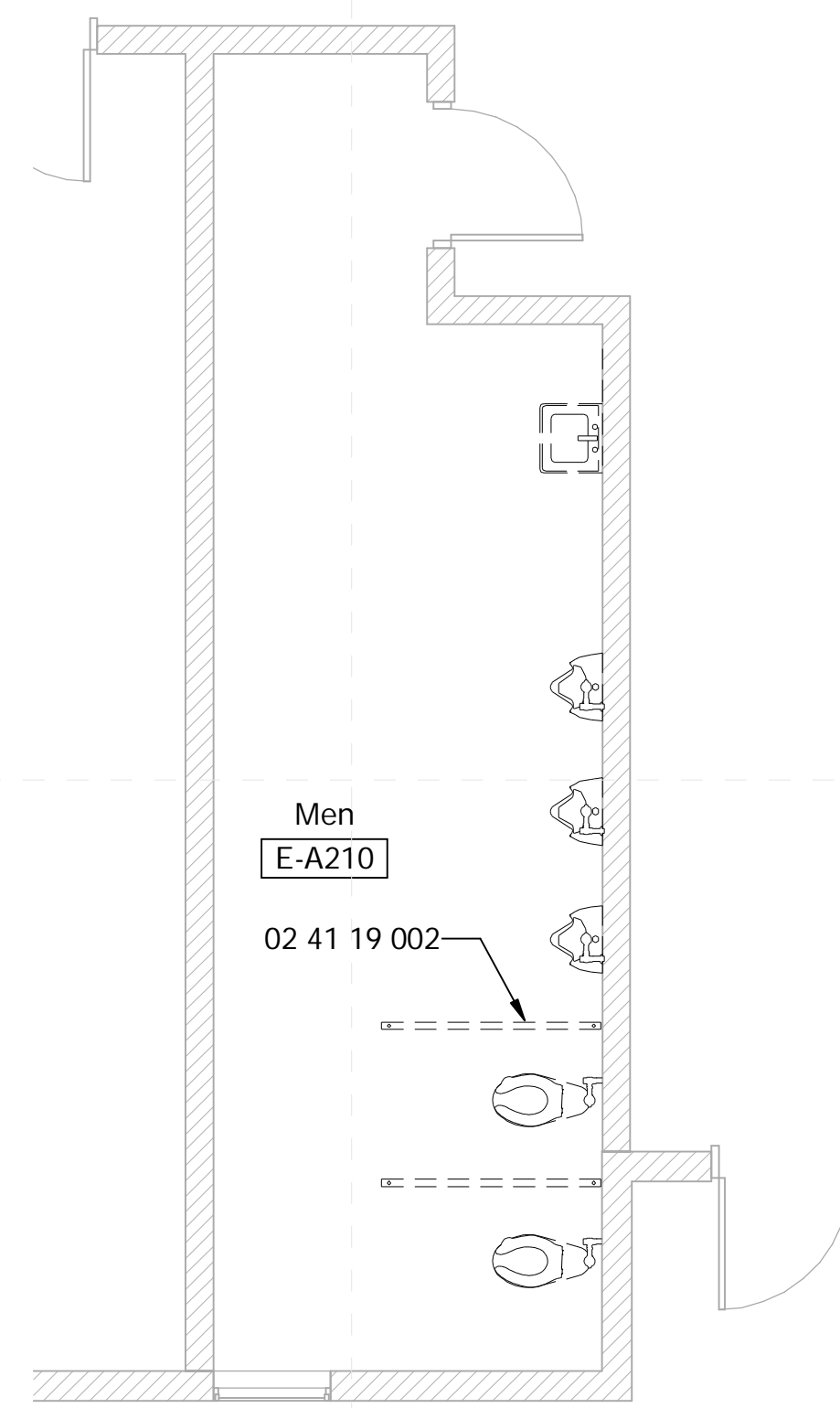
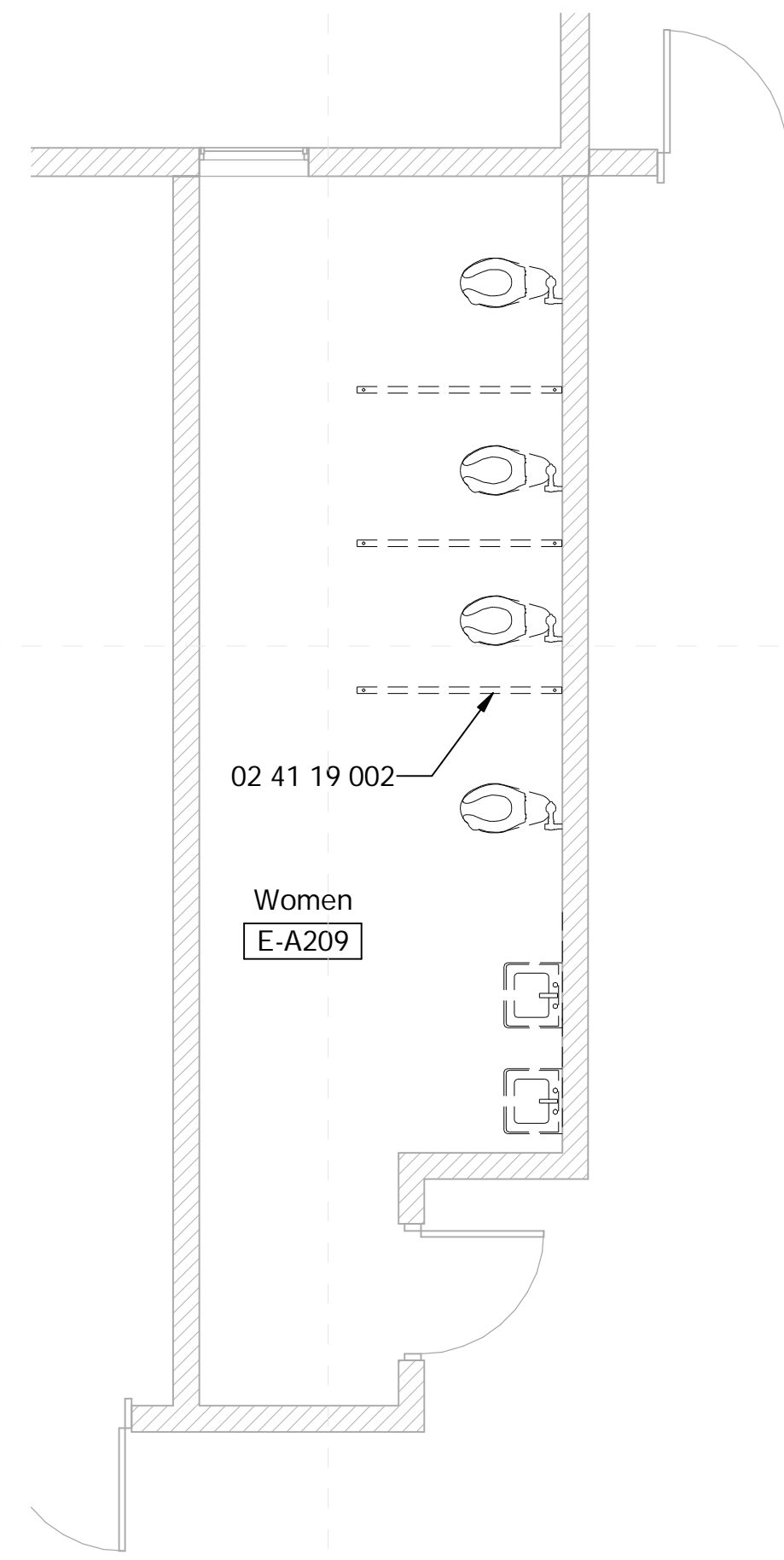
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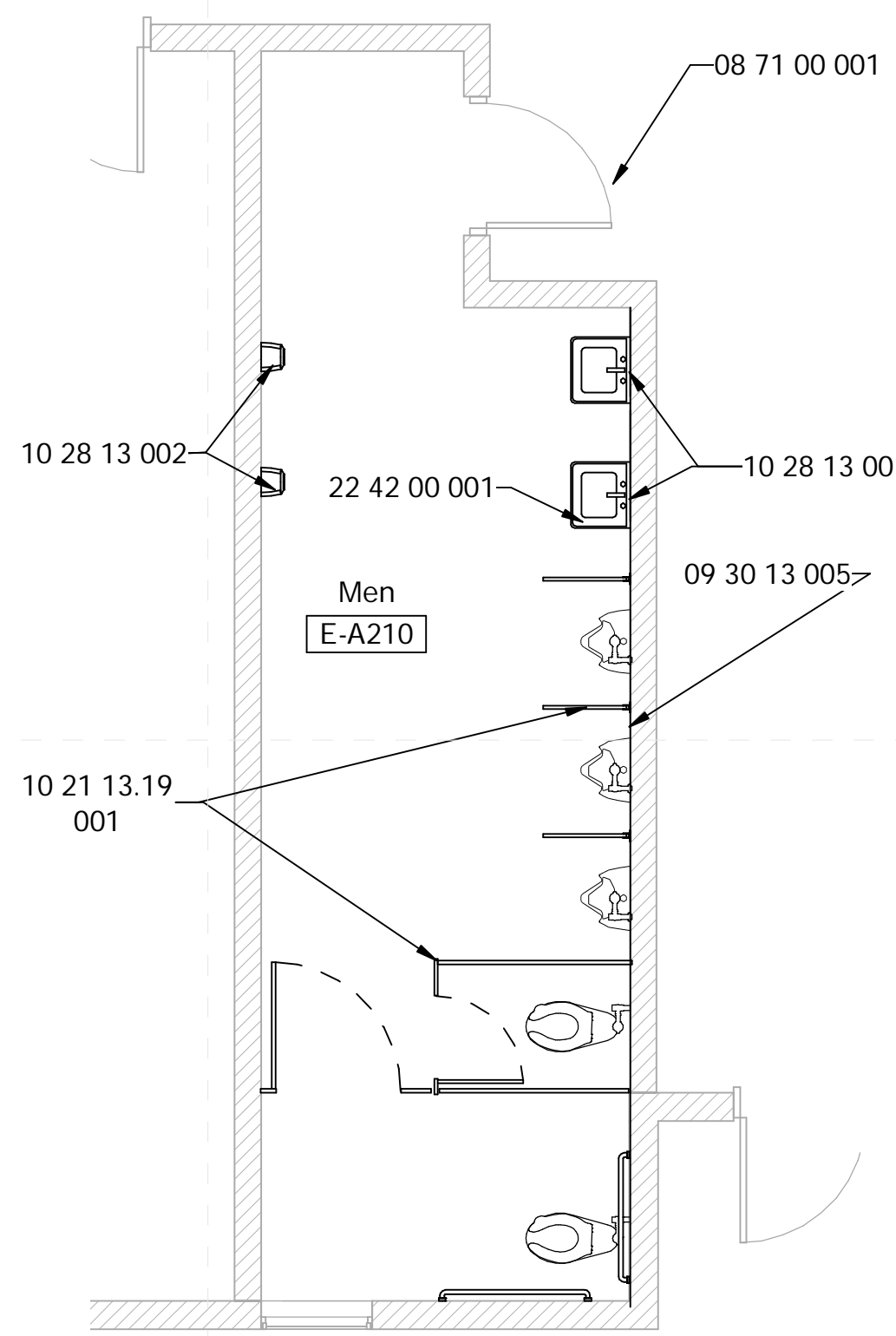
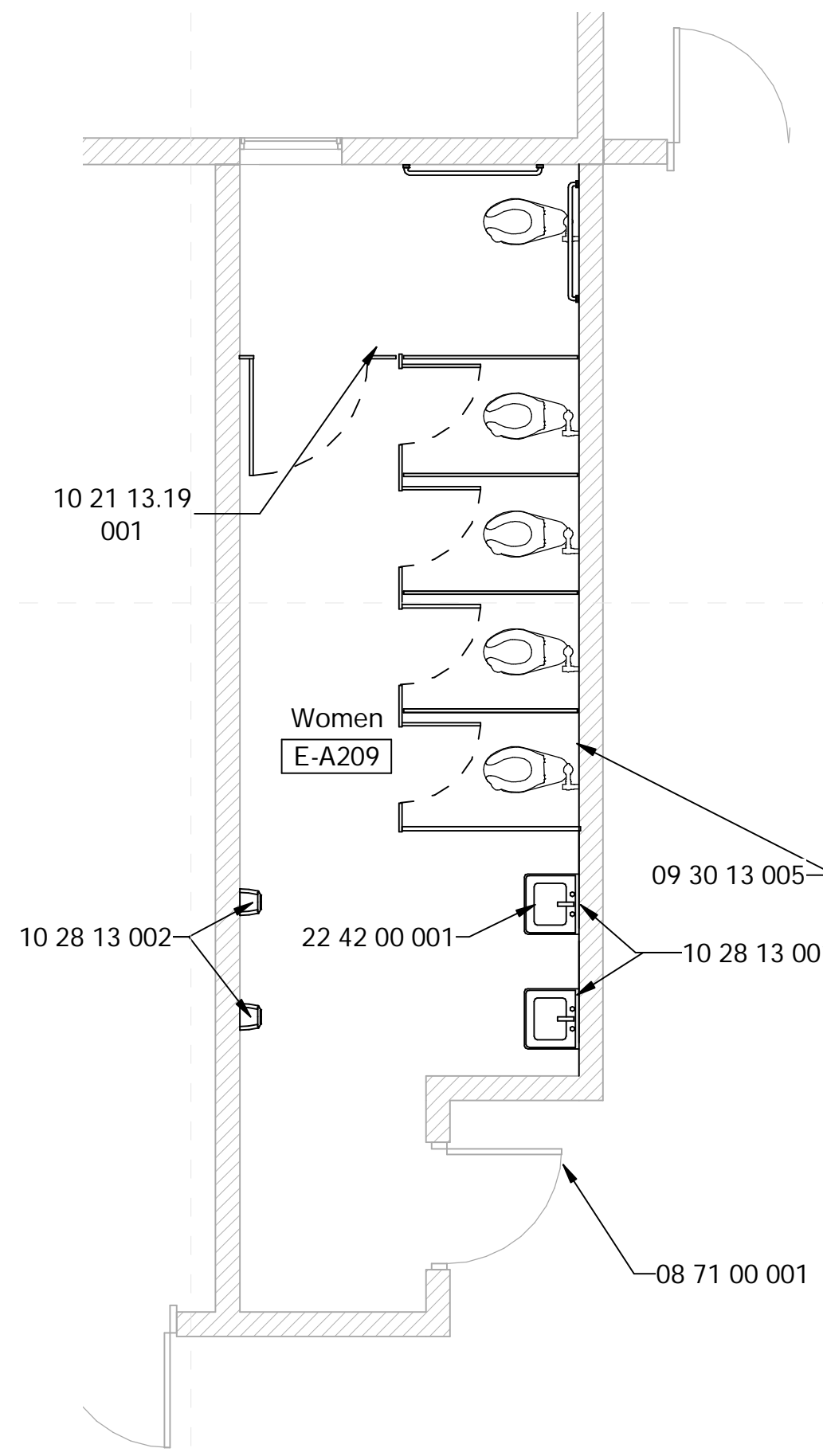
**Sunflower Consolidated School District**  
Merritt Middle School: 705 Kinlock Rd, Indianola, MS 38751

Design Development

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1	10/5/2021
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1 Main Floor - SW Toilets - Existing  
1/4" = 1'-0"



2 Main Floor - SW Toilets - New Construction  
1/4" = 1'-0"

General Demolition Notes

- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc., where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
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- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- Remove all life within bathrooms (floor & wall).
- Remove partitions and existing fixtures.

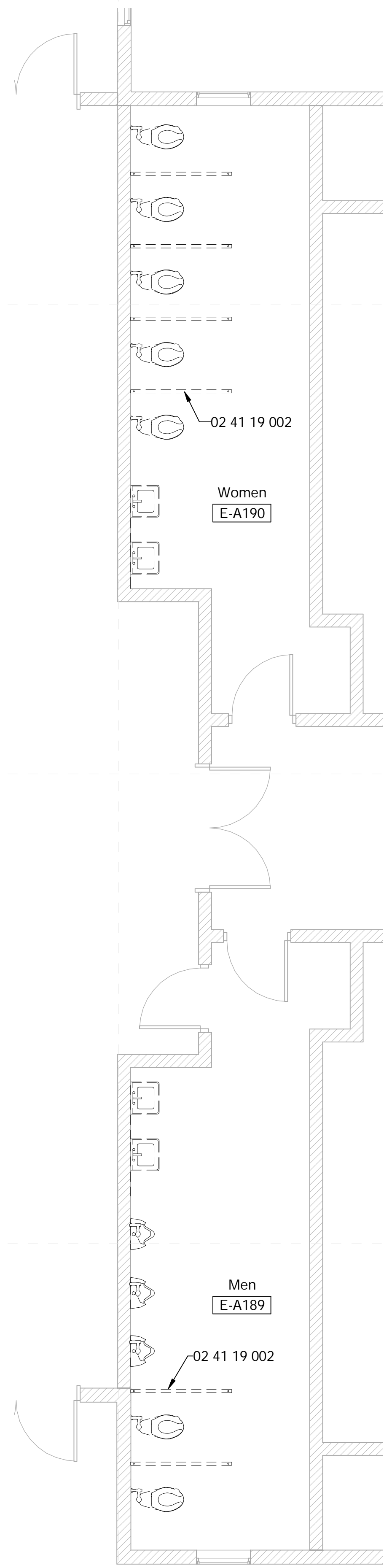
Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
08 71 00 001	Replace all door hardware with new at existing leaf
09 30 13 005	Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here: center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here: coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

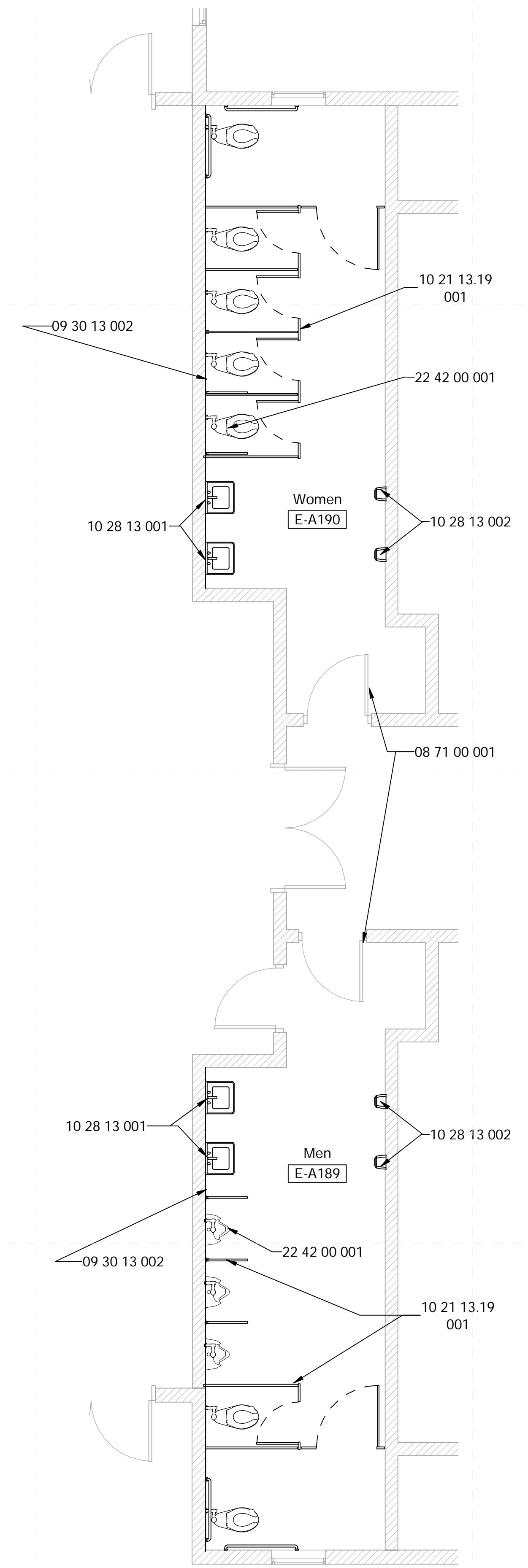
General Finish Plan Notes

- All flooring transitions are to occur at center line of door panel.
- Protect existing floor tile during construction; Clean floor tile and reseal.
- New Fixture locations shall be coordinated with mechanical sheets.
- Install new tile base at all walls in bathrooms
- Install new grab bars at all ADA & AMB toilets
- Paint all Exposed CMU at bathroom interiors with epoxy paint.
- Install moisture resistant back board at all new tile.





**1** Main Floor - SE Toilets - Existing  
1/4" = 1'-0"



**2** Main Floor - SE Toilets - New Construction  
1/4" = 1'-0"

**General Demolition Notes**

1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
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9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
11. Remove all tile within bathrooms (floor & wall).
12. Remove partitions and existing fixtures.

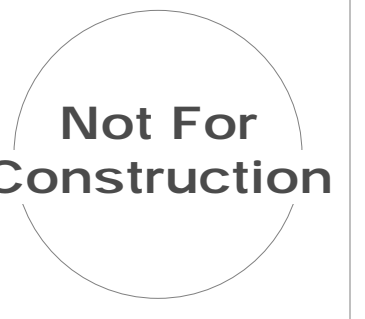
**Specific Notes**

02 41 19 002	Dashed lines indicated extent of demoed work
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10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

**General Finish Plan Notes**

1. All flooring transitions are to occur at center line of door panel.
2. Protect existing floor tile during construction; Clean floor tile and reseal.
3. New Fixture locations shall be coordinated with mechanical sheets.
4. Install new tile base at all walls in bathrooms
5. Install new grab bars at all ADA & AMB toilets
6. Paint all Exposed CMU at bathroom interiors with epoxy paint.
7. Install moisture resistant back board at all new tile.

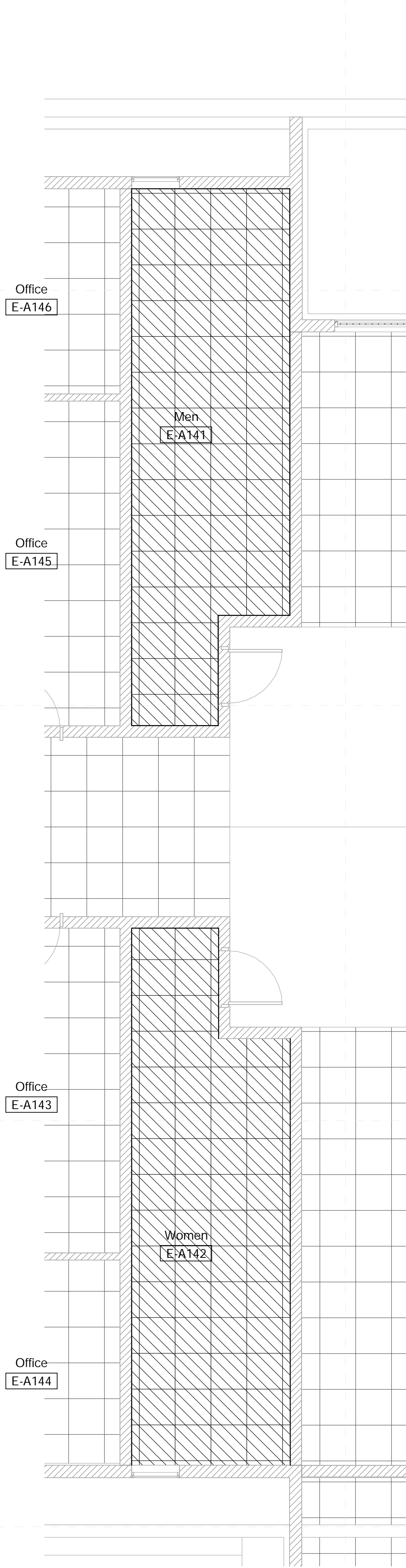
Architects  
One Jackson Place 250  
188 East Capitol Street  
Jackson, MS 39201  
p 601.352.5411  
201 Park Court Suite B  
Ridgeland, MS 39157  
p 601.790.9432  
161 Lameuse St. Suite 201  
Biloxi, MS 39530  
p 228.374.1409  
dalebaileyplans.com



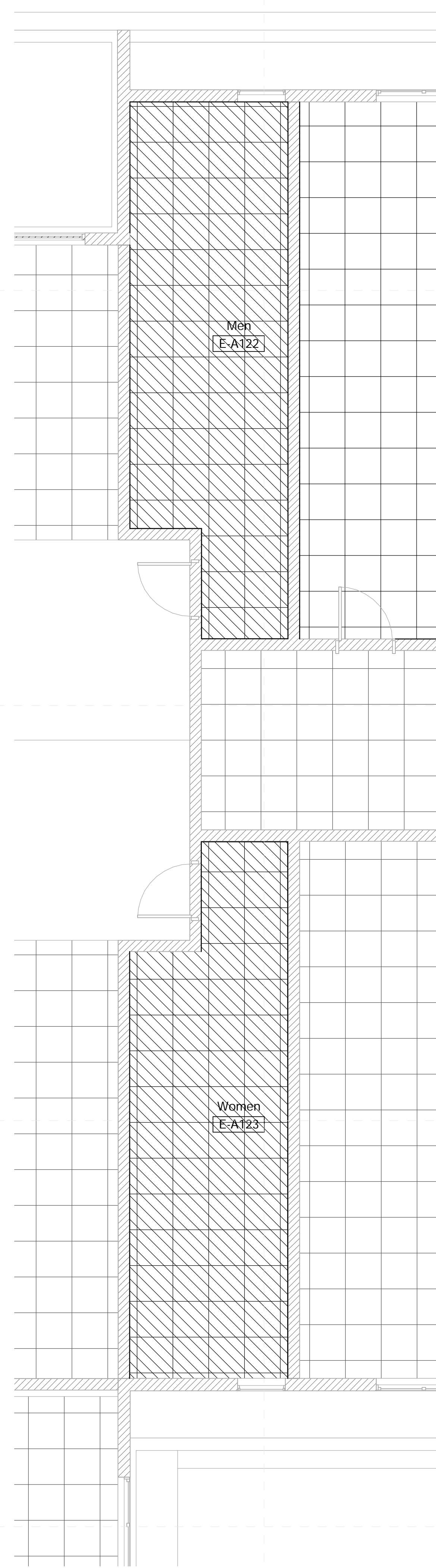
**Sunflower Consolidated School District**  
Merritt Middle School: 705 Kinlock Rd, Indianola, MS 38751

Design  
Development

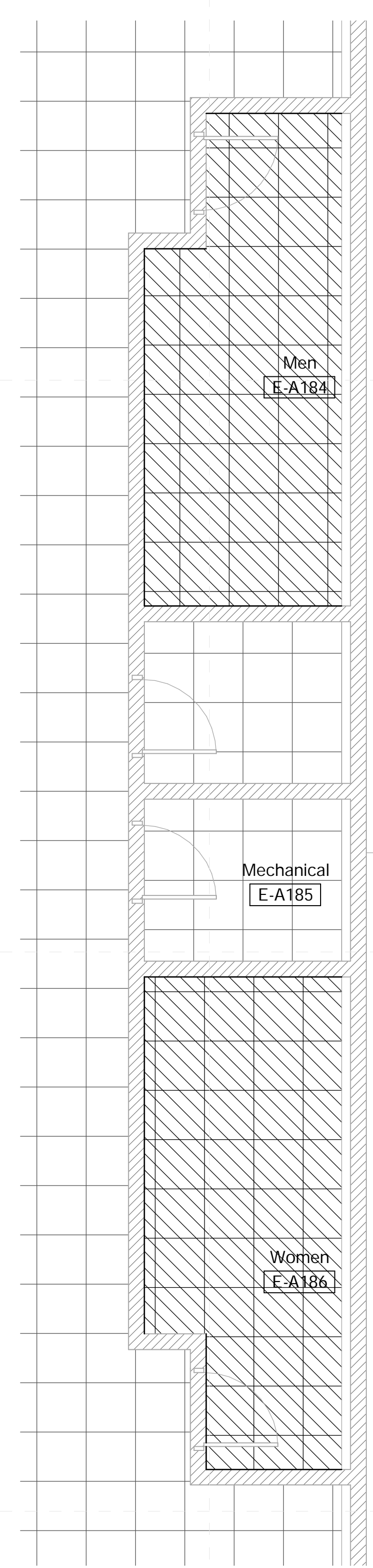
Project No	21027
Date	3 January 2018
Revisions	Rev Date
1	10/5/2021
2	11/26/2021



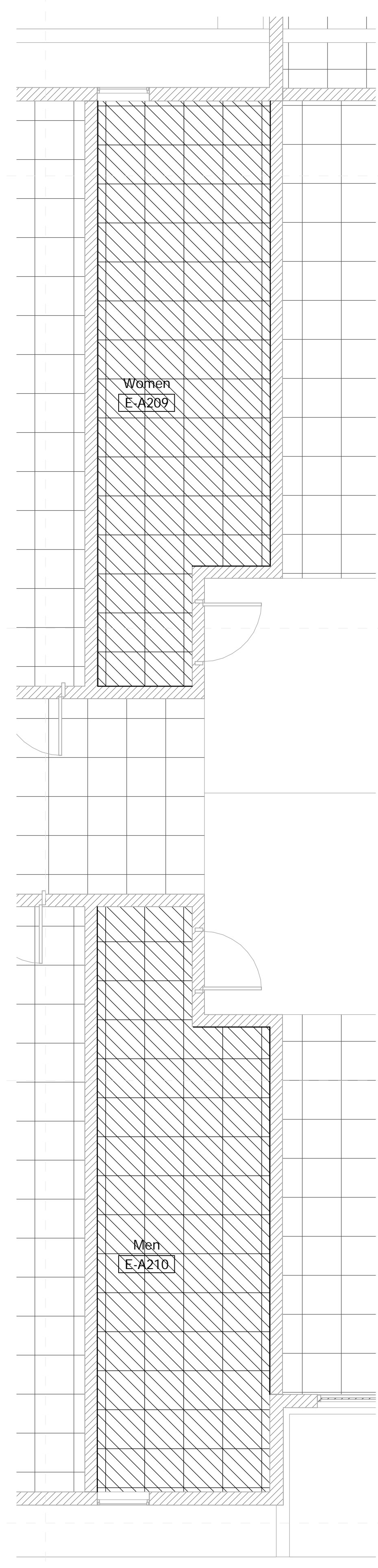
1 RCP - NW Toilets - NC  
1/4" = 1'-0"



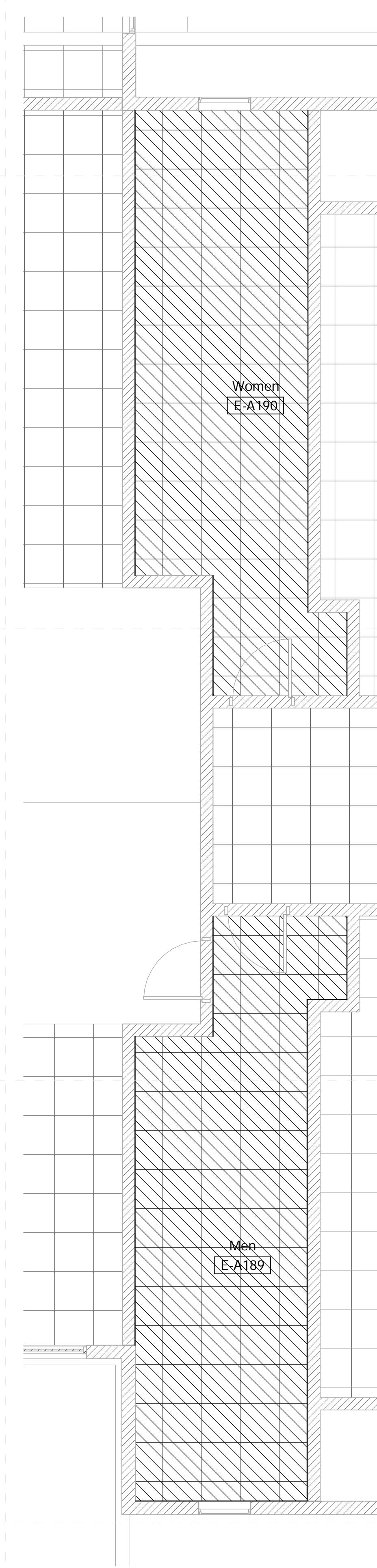
2 RCP - NE Toilets - NC  
1/4" = 1'-0"



3 RCP - W Toilets - NC  
1/4" = 1'-0"



4 RCP - SW Toilets - NC  
1/4" = 1'-0"



5 RCP - SE Toilets - NC  
1/4" = 1'-0"

General RCP Notes

- All ceiling heights shall be same as existing or lower, unless noted otherwise.
- Repair/replace any and all ceiling damaged due to construction activities.
- Bent ceiling grid damaged due to construction activities shall be replaced or bent to appear as new in shape.

Ceiling Legend

- Moisture Resistant Acoustical Lay In Ceiling
- Colored Acoustical Lay In Ceiling
- Vinyl Faced Acoustical Lay In Ceiling
- Gypsum Board Ceiling
- 2x2 Acoustical Lay In Ceiling
- Plaster/Stucco
- Concealed Fastener Painted Metal Soffit
- 2x2 Fluorescent Fixture
- Surface-Mounted Fluorescent Light Fixture
- Recessed Can Light Fixture
- HVAC Supply Grille
- HVAC Return Grille
- Exterior Wall Light
- Interior Wall Light
- Open to Structure (OTS)

Architects  
 One Jackson Place 250  
 188 East Capitol Street  
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 p 601.352.5411  
 201 Park Court Suite B  
 Ridgeland, MS 39157  
 p 601.790.9432  
 161 Lameuse St. Suite 201  
 Biloxi, MS 39530  
 p 228.374.1409  
 dalebaileyplans.com

Not For Construction

**Sunflower Consolidated School District**  
 Merritt Middle School: 705 Kinlock Rd, Indianola, MS 38751

Design Development

Project No	21027
Date	3 January 2018
Revisions	Rev Date
1	10/5/2021
2	11/26/2021



All School's Specific Notes

02 00 00 001	Floor tile to remain; patch and repair as needed
02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 003	Demo FRP & Base at walls; typical at all bathroom interiors unless otherwise noted
08 11 13 001	Install metal door and frame to match existing for corrected swing
08 71 00 001	Replace all door hardware with new at existing leaf
09 30 13 001	Install new floor tile; slope to floor drain is drain provided
09 30 13 003	Install new wall tile flush and straight with accent top piece, floor to highest partial wall or window sill height; typical at bathroom interior unless noted otherwise
09 30 13 004	Prep surface for new tile install; contractor shall be responsible for issues concerning lack of adhesion between mortar and substrates as well as levelness of finished tile
09 30 13 005	Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
09 30 13 006	Install accent tile at this wall
10 21 13.19.001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new
22 47 13 001	Install double drinking fountain here; coordinate with mechanical & electrical drawings
22 47 13 002	Install single drinking fountain here; coordinate with mechanical & electrical drawings



Front of School



Boys 49



Girls 50



Boys 57



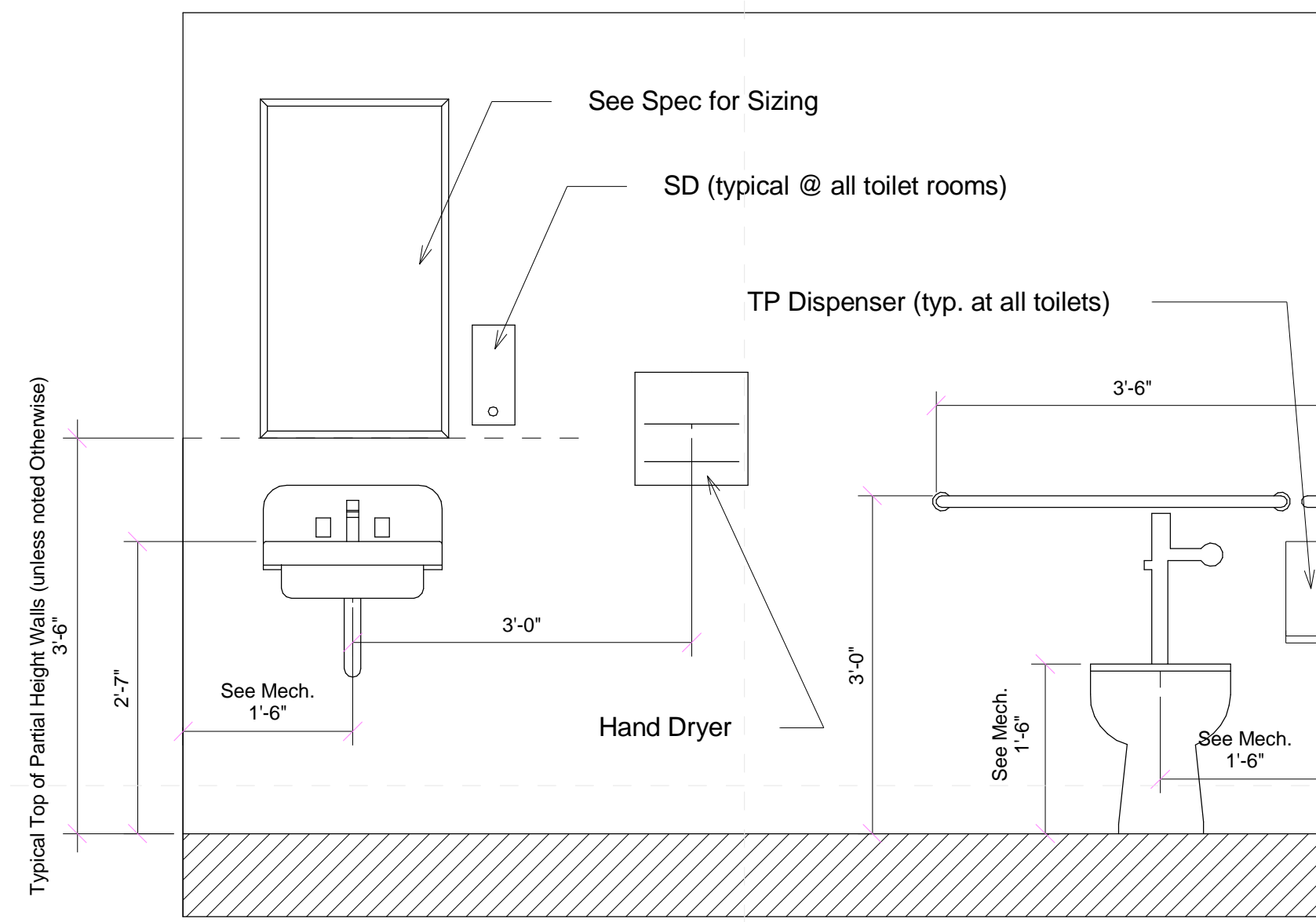
Girls 59



Boys 86

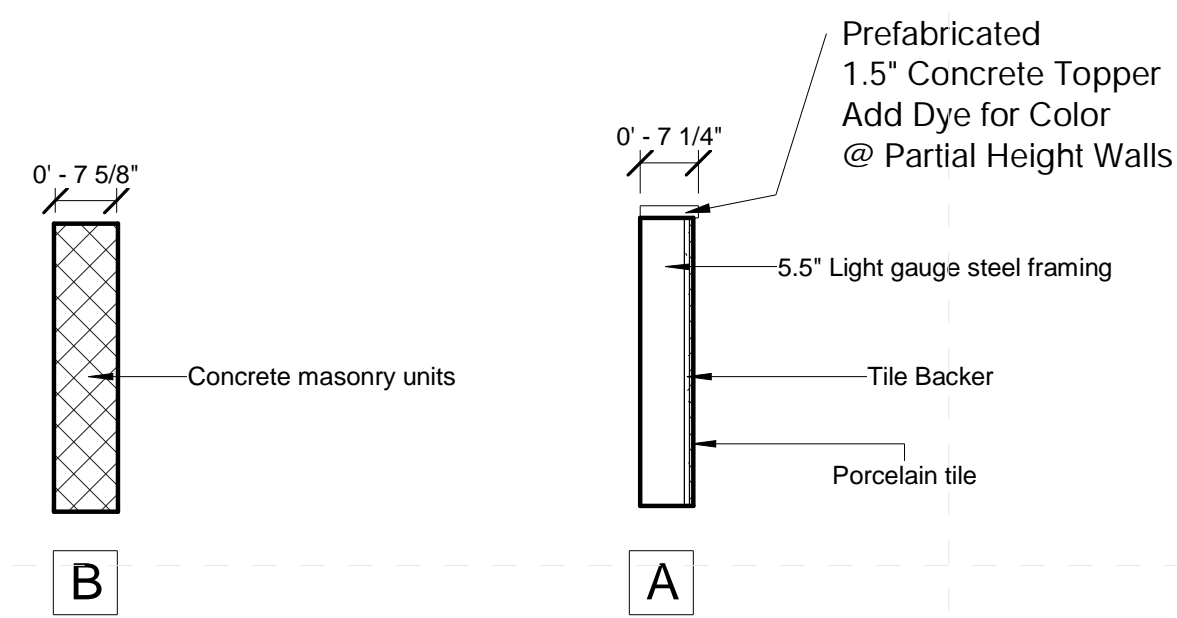


Girls 85



Typical Toilet Room Wall

3/4" = 1'-0"



Wall Types

1/2" = 1'-0"

Architects

One Jackson Place 250  
188 East Capitol Street  
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p 228.374.1409

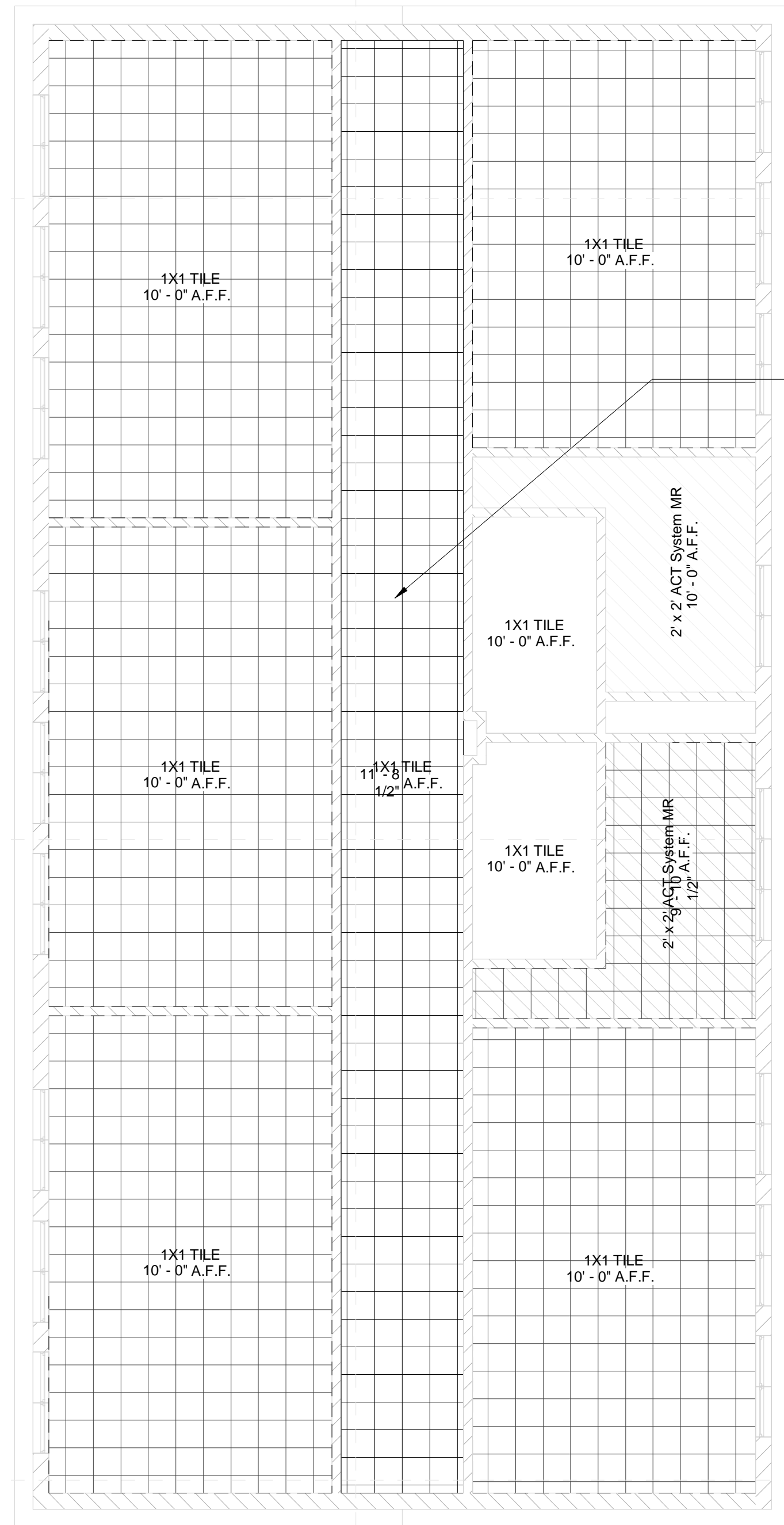
dalebaileyplans.com

Not For Construction

Sunflower Consolidated School District  
Ruleville Elementary School: 410 L F Packer Dr. Ruleville, MS 38771

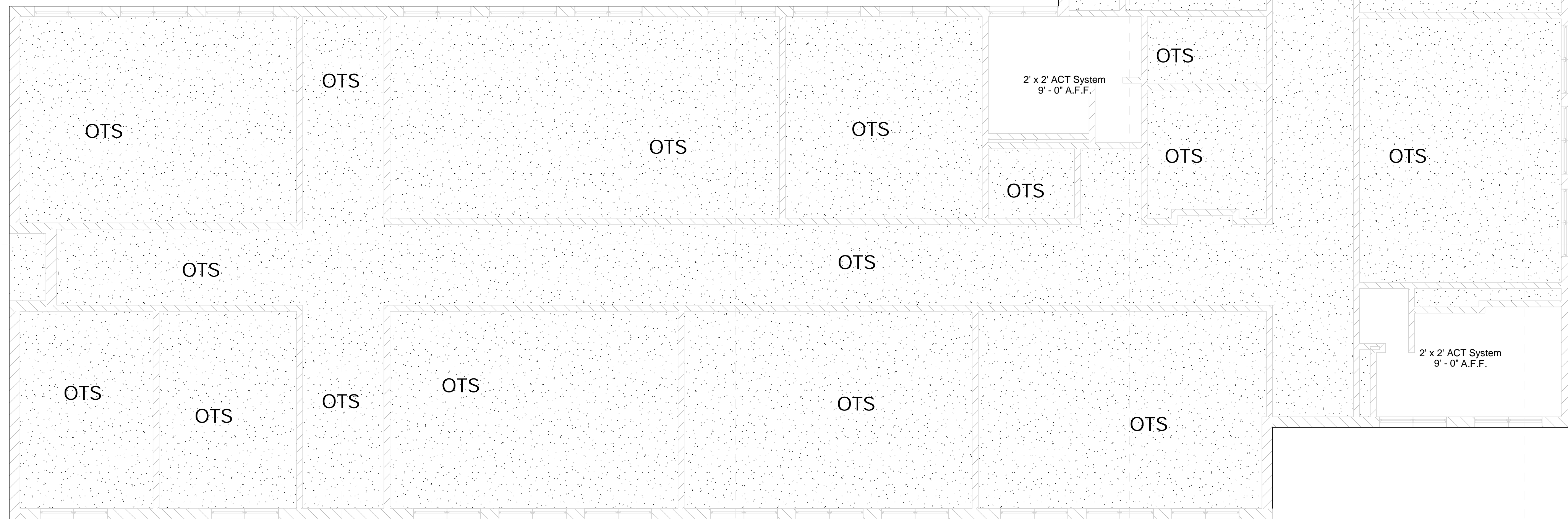
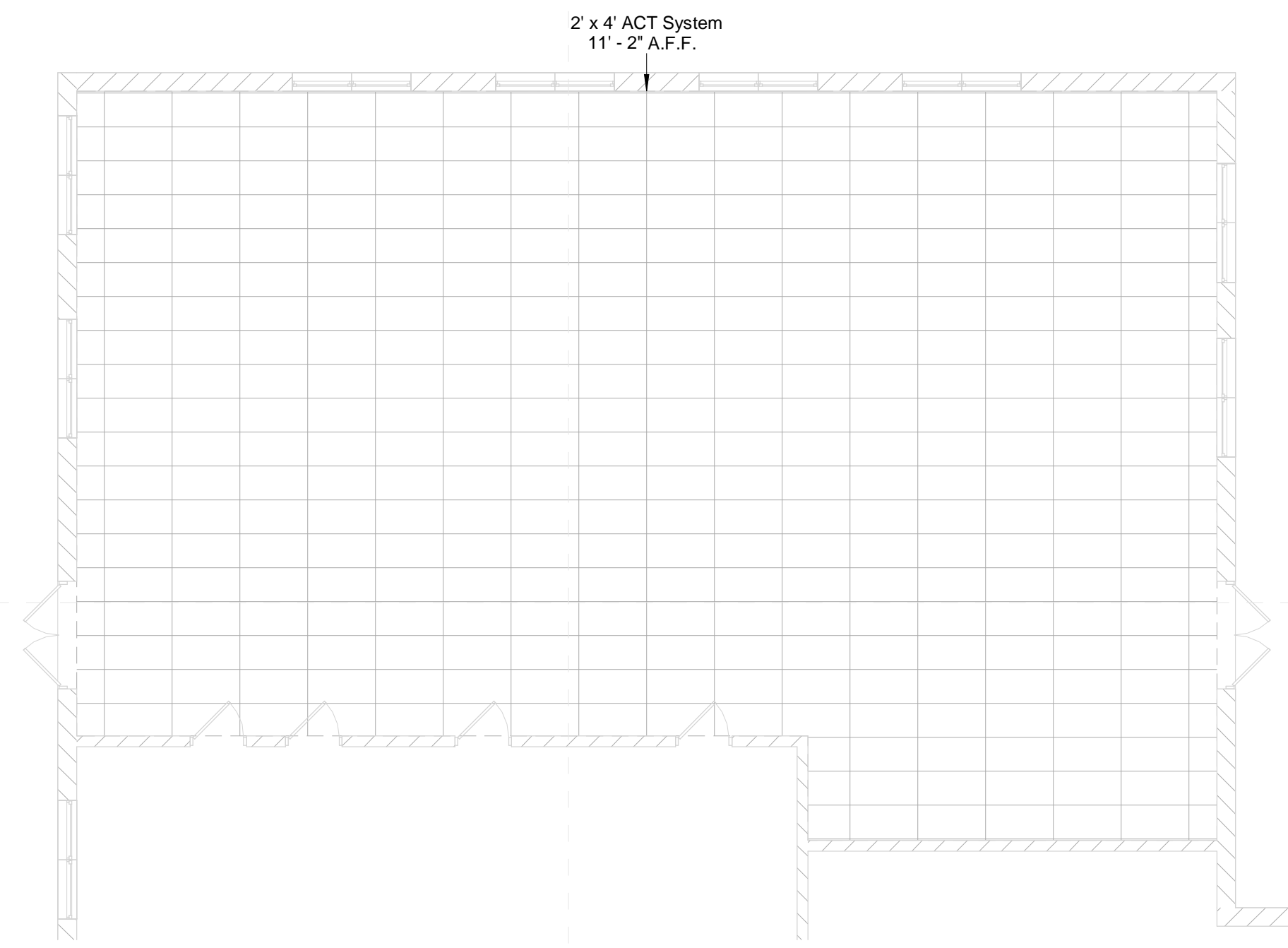
Design Development

Project No	00000
Date	Issue Date
Revisions	Rev Date
1	10/5/2021
2	11/26/2021

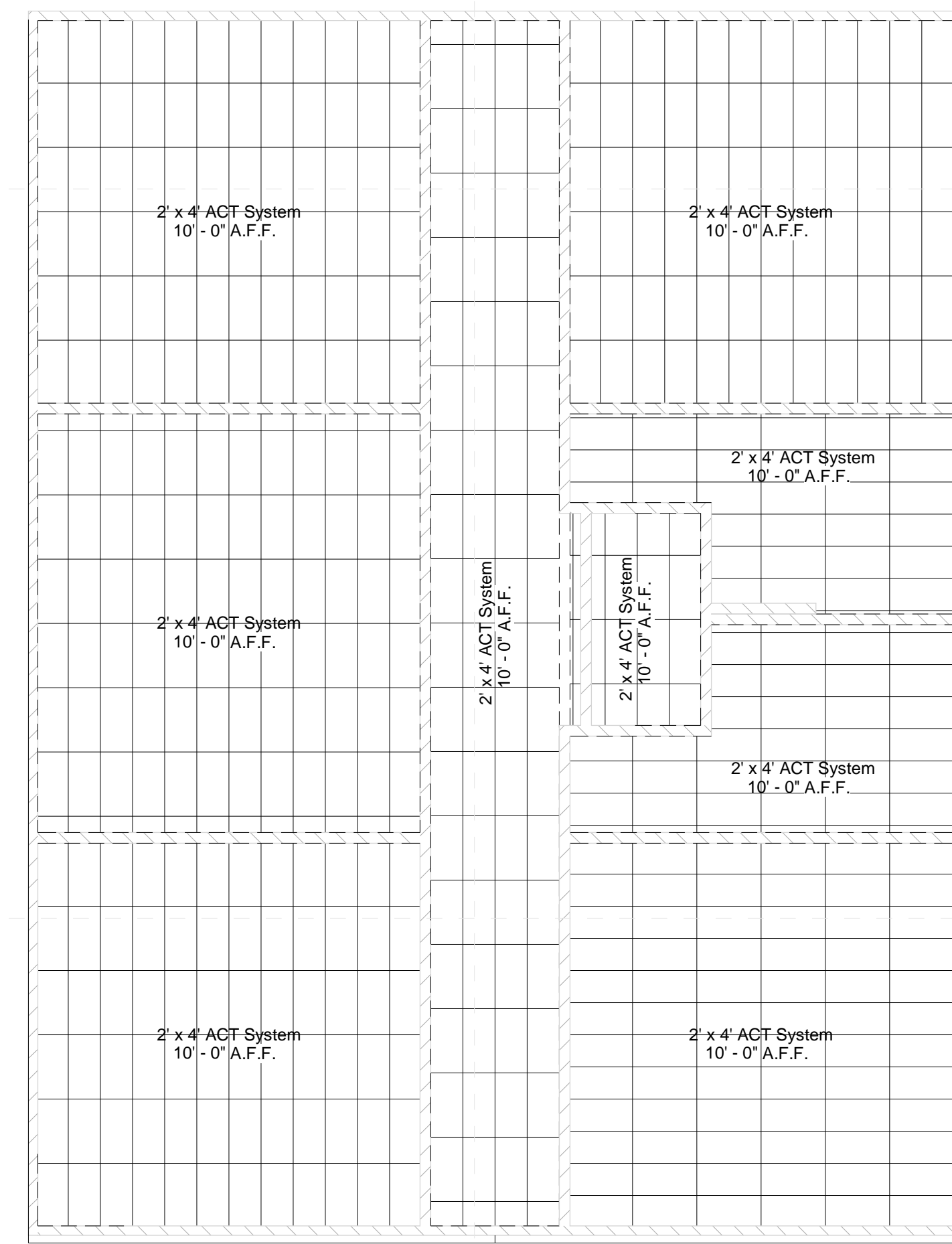


Leave Existing 1x1 Tile Undisturbed  
(Typ. this Building Only)

**2 Cafeteria - Demolition**  
1/8" = 1'-0"



**1 RCP - Existing Demo**  
1/8" = 1'-0"

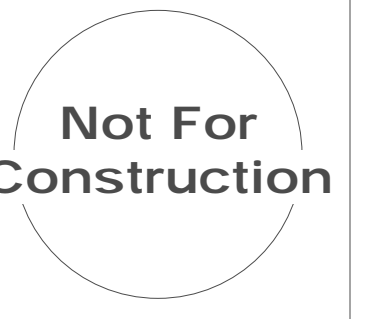


**General RCP Demolition Notes**

- Where ceiling transitions from new ceiling to existing ceiling, coordinate with Architect detail.
- Remove all existing ceiling grid & tile unless noted otherwise, as well as any wall fasteners and/or mastics attached therein where shown to be replaced by new materials.
- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- Burying or Burning of materials will not be permitted on site.
- Repair any damage caused to building construction identified to remain.
- Refer to other discipline drawings for additional demolition information as noted.
- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- No work in rooms with ceiling open to the structure above, unless noted otherwise.

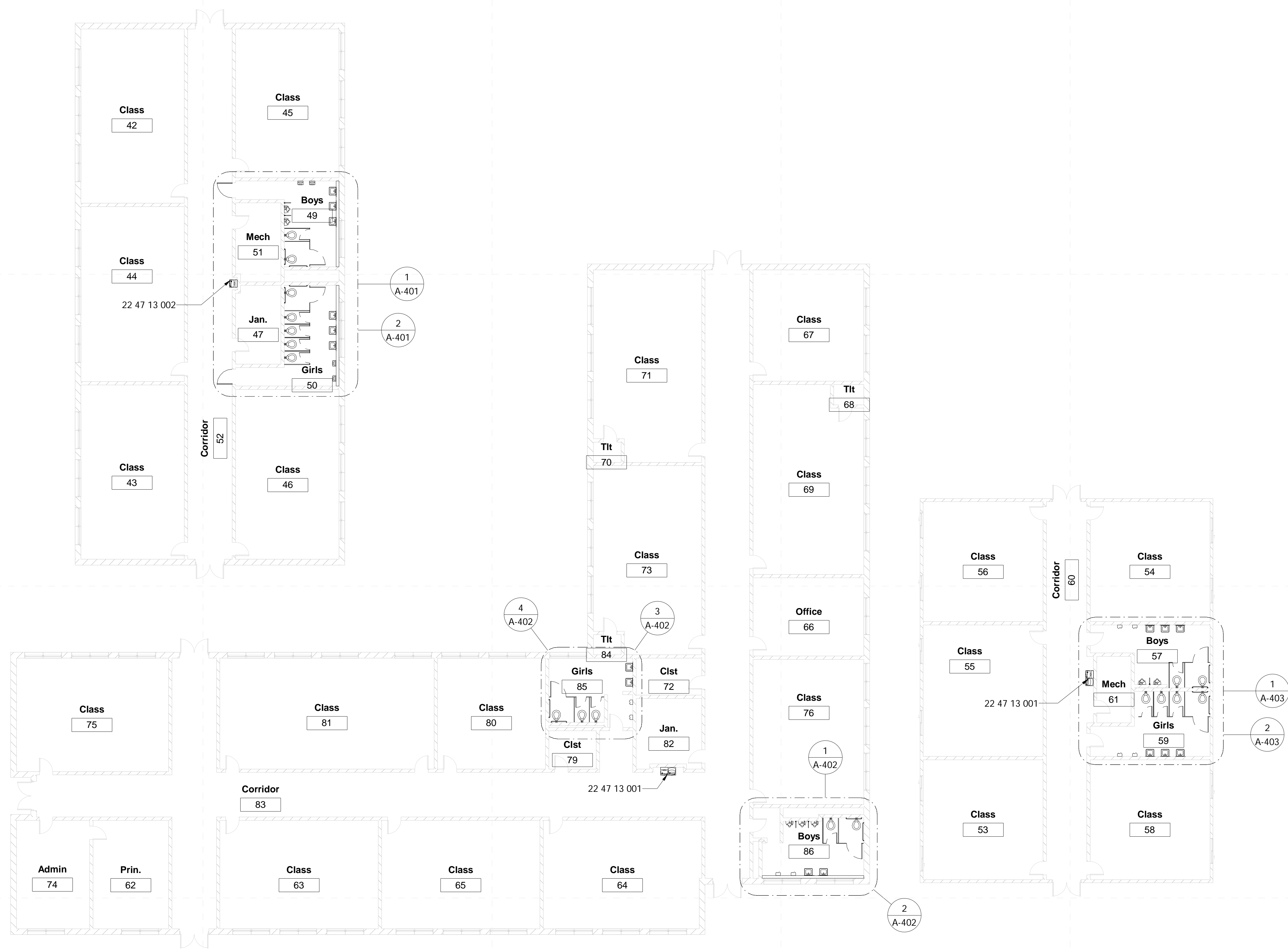
**Ceiling Legend**

- Moisture Resistant Acoustical Lay In Ceiling
- Colored Acoustical Lay In Ceiling
- Vinyl Faced Acoustical Lay In Ceiling
- Gypsum Board Ceiling
- 2x2 Acoustical Lay In Ceiling
- Plaster/Stucco
- Concealed Fastener Painted Metal Soffit
- 2x2 Fluorescent Fixture
- Surface-Mounted Fluorescent Light Fixture
- Recessed Can Light Fixture
- HVAC Supply Grille
- HVAC Return Grille
- Exterior Wall Light
- Interior Wall Light
- Open to Structure (OTS)



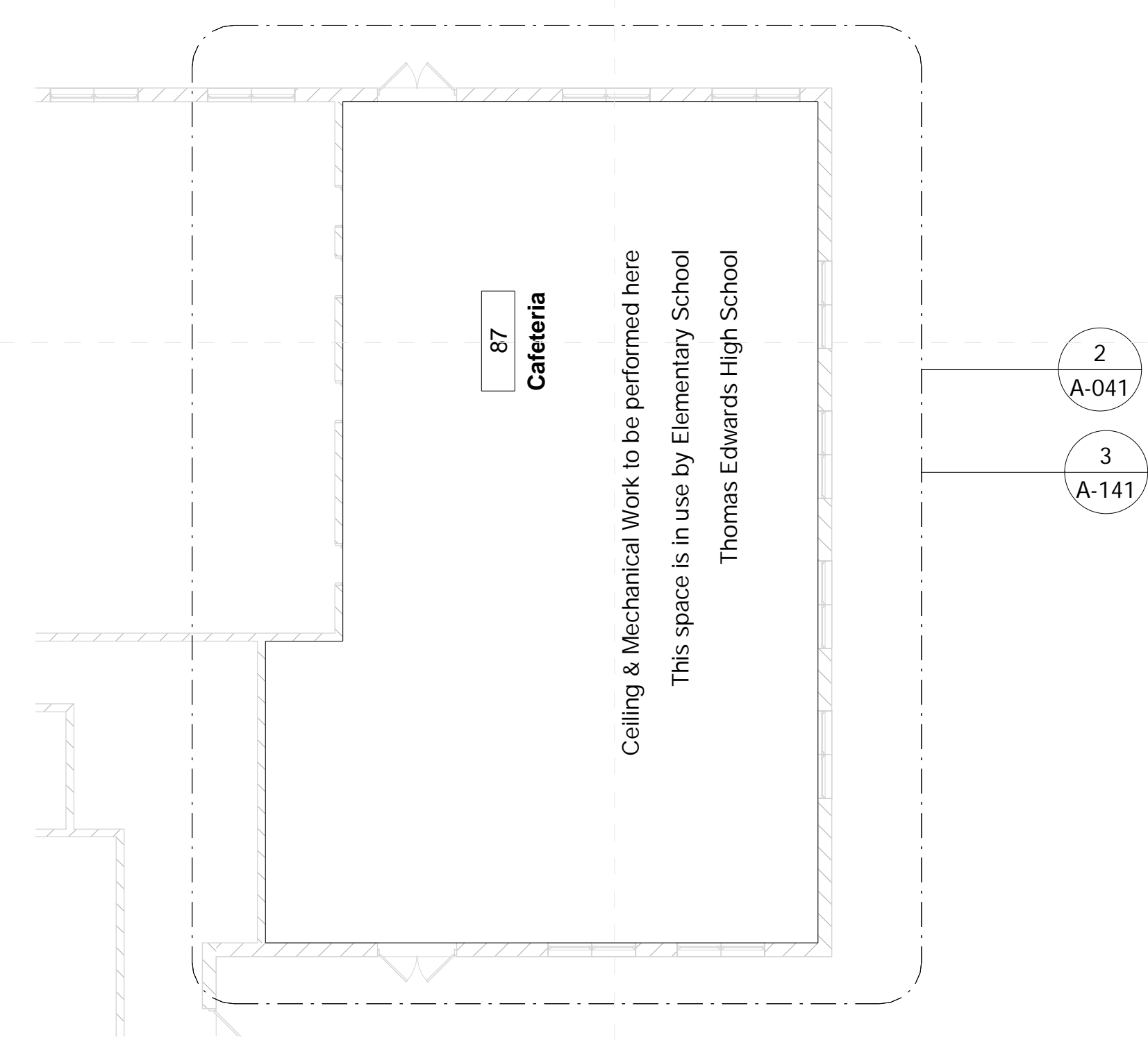
Design Development

Project No	00000
Date	Issue Date
Revisions	Rev Date
1	10/5/2021
2	11/26/2021



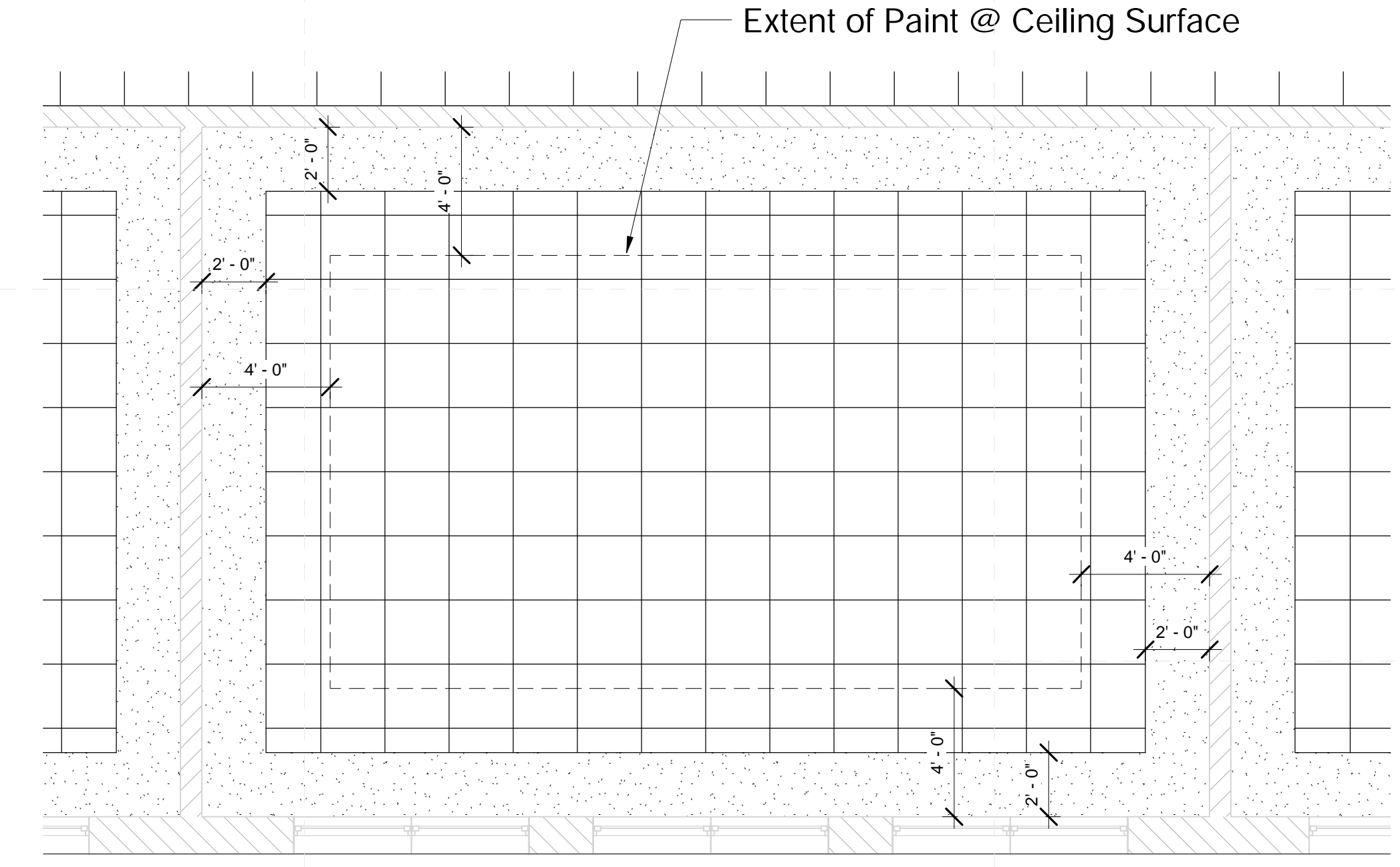
- Specific Notes**
- 22 47 13 001 Install double drinking fountain here; coordinate with mechanical & electrical drawings
  - 22 47 13 002 Install single drinking fountain here; coordinate with mechanical & electrical drawings

**2 Composite Floor Plan**  
3/32" = 1'-0"

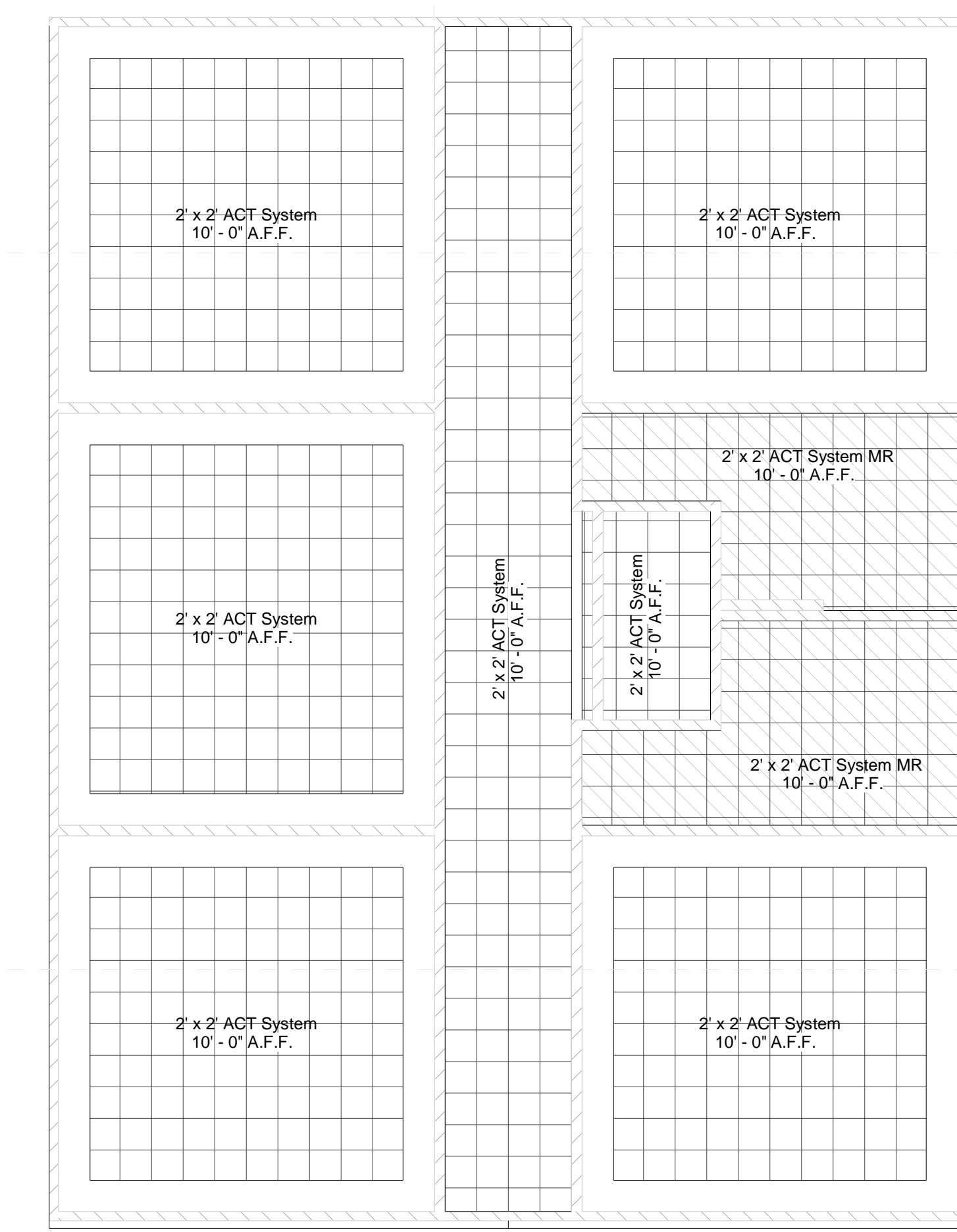


**General RCP Notes**

1. All ceiling heights shall be same as existing or lower, unless noted otherwise.
2. Contractor shall paint all surfaces above 8'-8" at wall, roof, and ceiling, as well as anything attached therein at all exposed sections of ceilings where not covered by new 2x2 ACT, unless noted otherwise.
3. Repair/replace any and all ceiling damaged due to construction activities.
4. Bent ceiling grid damaged due to construction activities shall be replaced or bent to appear as new in shape.



**2 Typical Ceiling Layout**  
1/4" = 1'-0"

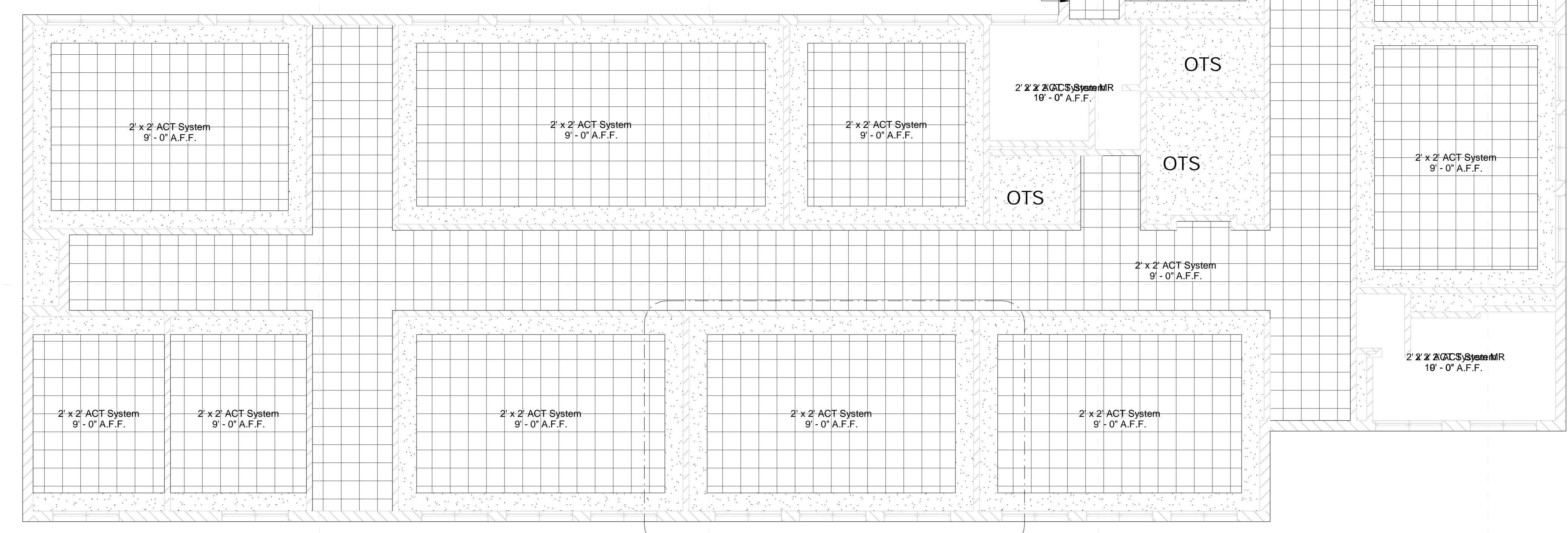
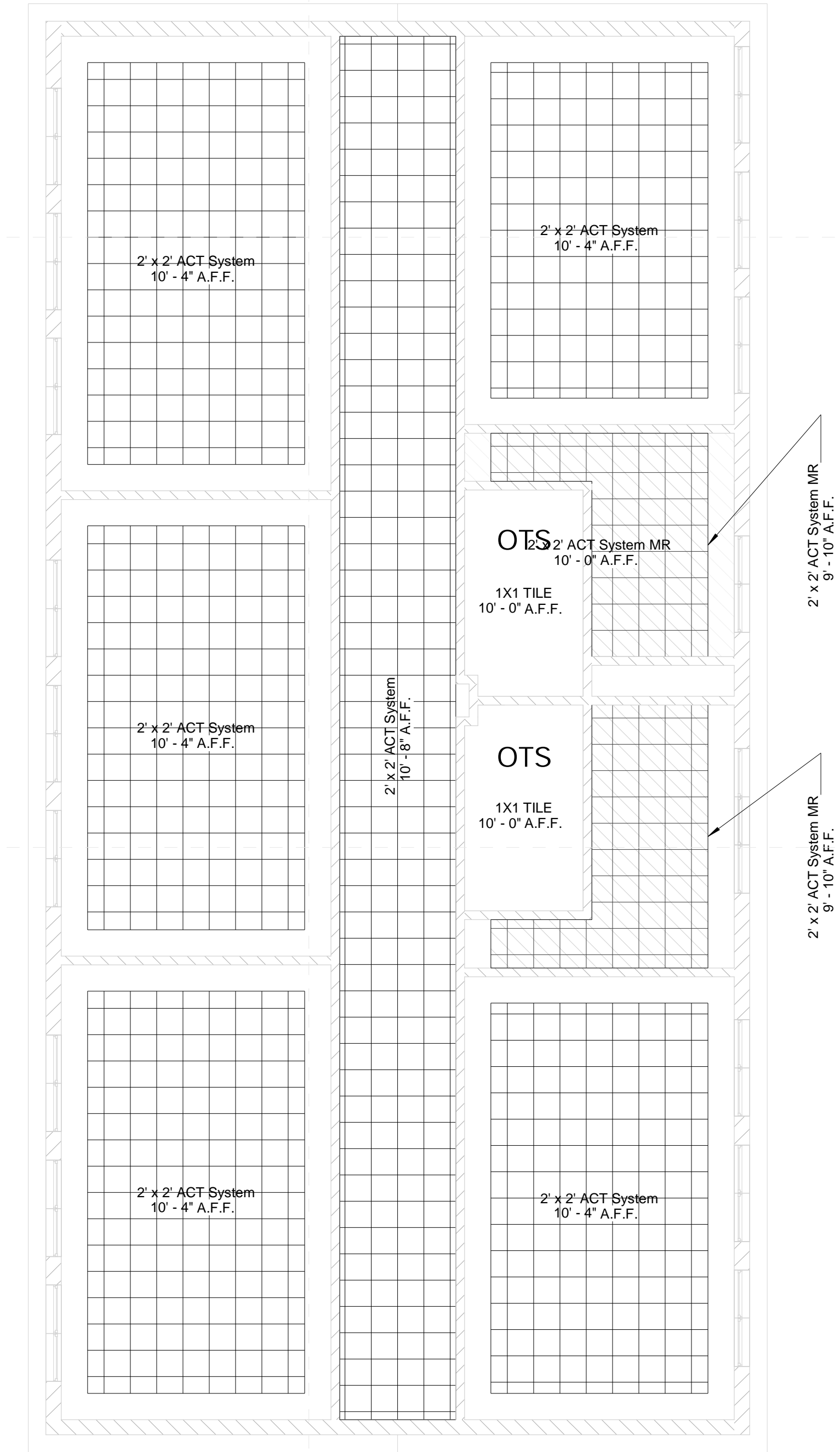
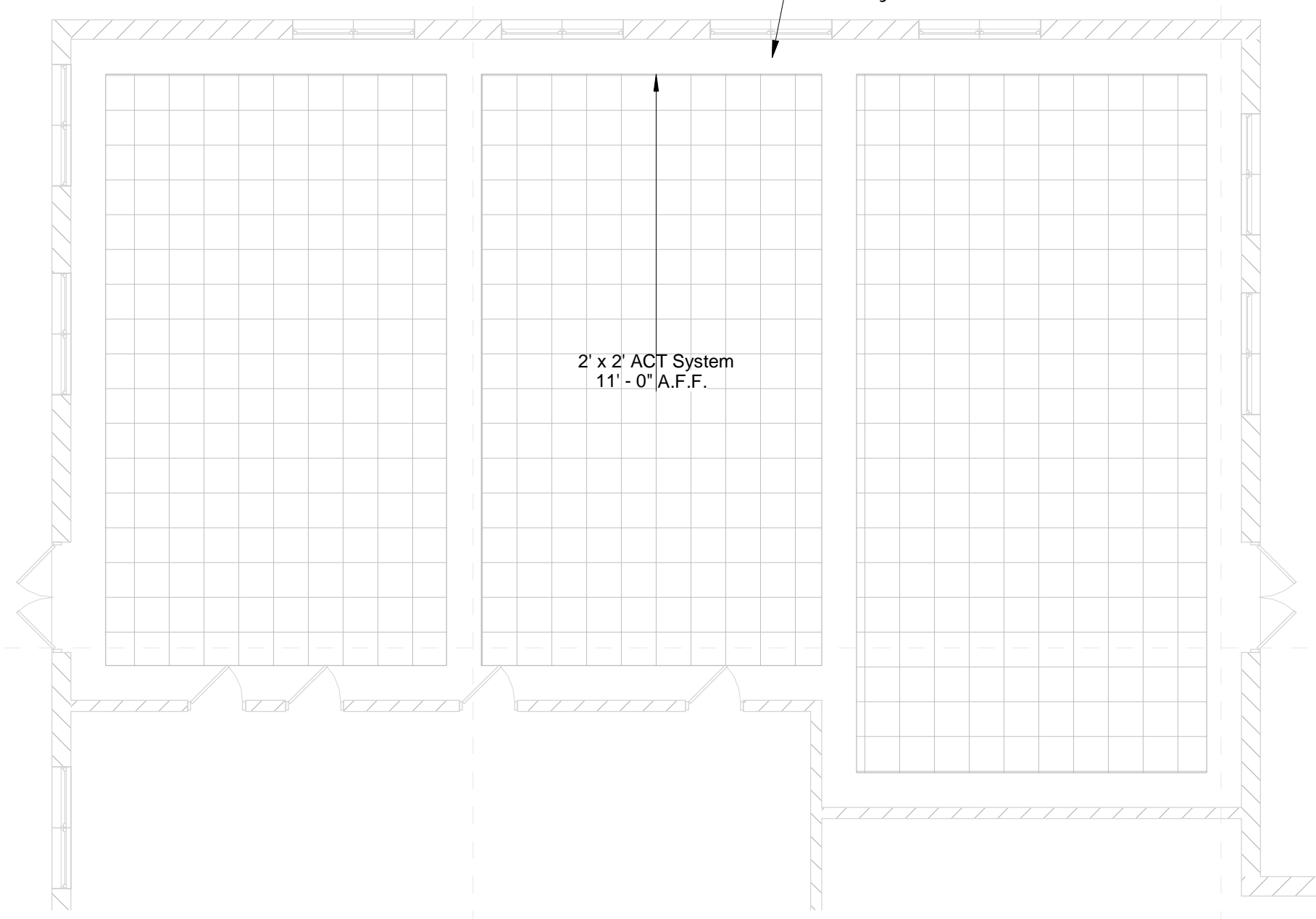


**Ceiling Legend**

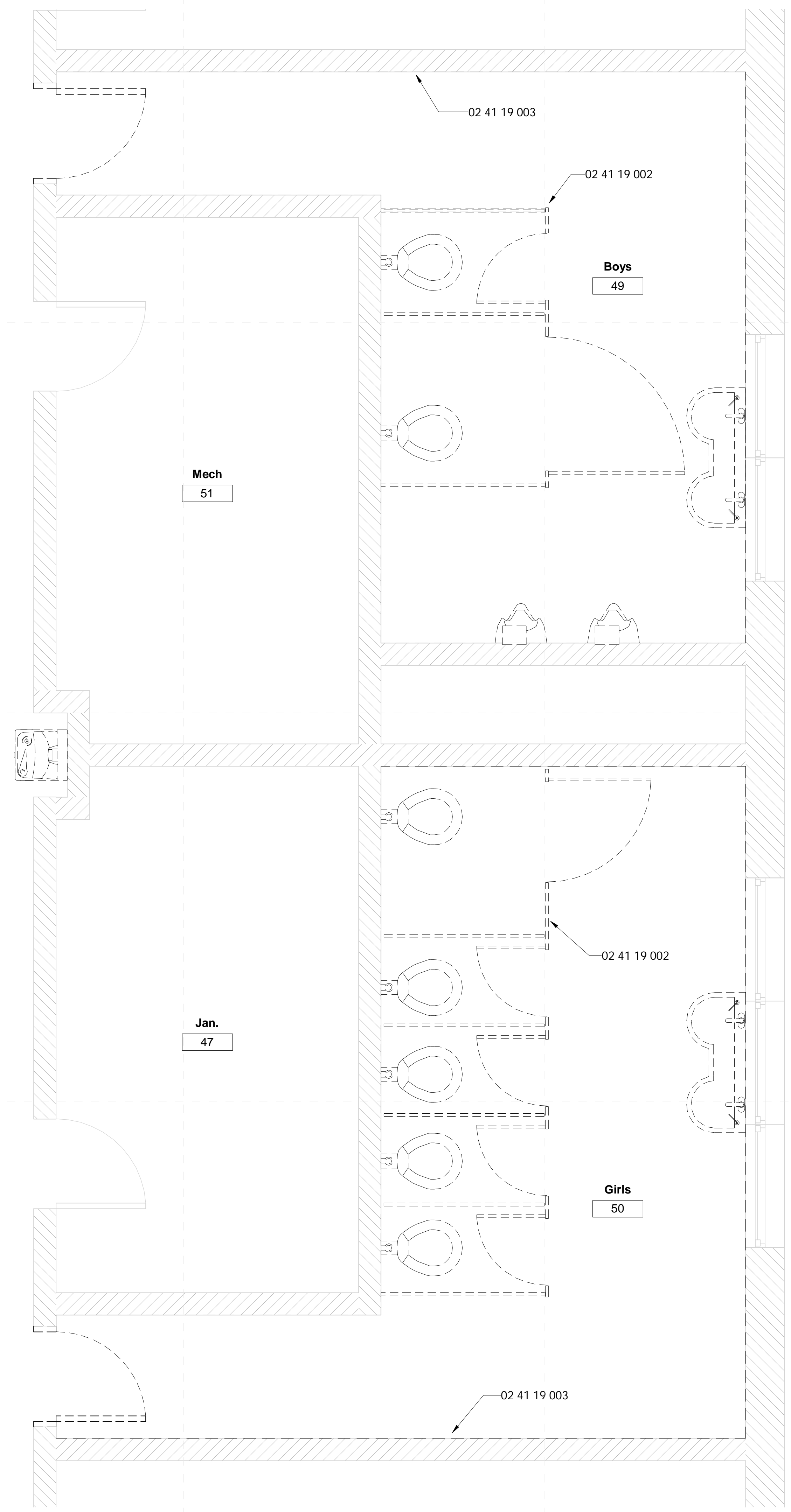
- Moisture Resistant Acoustical Lay In Ceiling
- Colored Acoustical Lay In Ceiling
- Vinyl Faced Acoustical Lay In Ceiling
- Gypsum Board Ceiling
- 2x2 Acoustical Lay In Ceiling
- Plaster/Stucco
- Concealed Fastender Painted Metal Soffit
- 2x2 Fluorescent Fixture
- Surface-Mounted Fluorescent Light Fixture
- Recessed Can Light Fixture
- HVAC Supply Grille
- HVAC Return Grille
- Exterior Wall Light
- Interior Wall Light
- Open to Structure (OTS)

Contractor shall paint all surfaces above 10'-8" at wall, roof, and ceiling, as well as anything attached therein at all exposed sections of ceilings where not covered by new 2x2 ACT, in this room

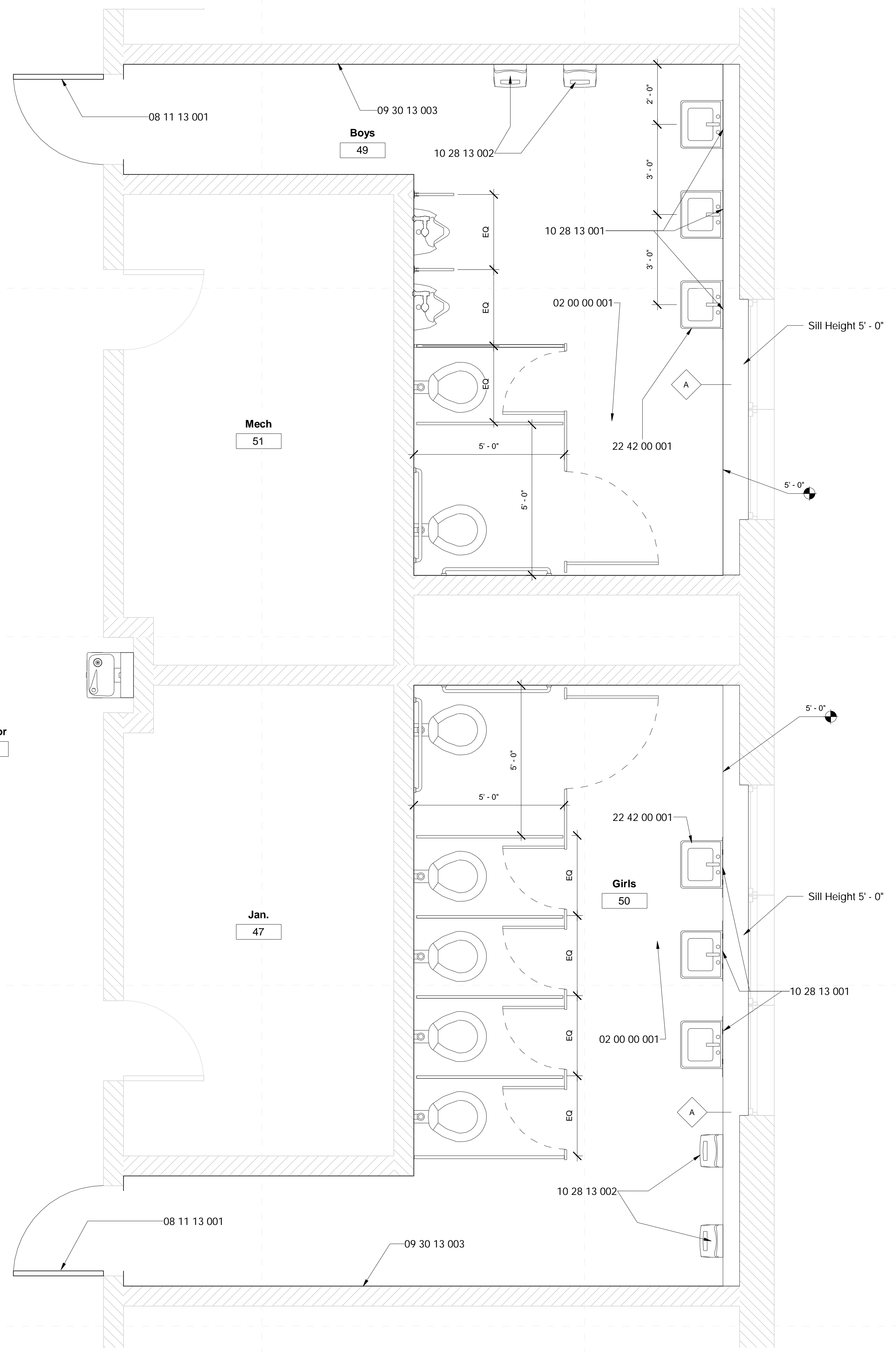
**3 Cafeteria - New Construction**  
1/8" = 1'-0"



**1 RCP - New Construction**  
1/8" = 1'-0"



1 Toilets - NW Bank -Existing  
1/2" = 1'-0"



2 Toilets - NW Bank -New Construction  
1/2" = 1'-0"

- General Finish Plan Notes**
- All flooring transitions are to occur at center line of door panel.
  - New Fixture locations shall be coordinated with mechanical sheets.
  - Install new tile base at all walls in bathrooms
  - Install new grab bars at all ADA toilets
  - Install 1/2" MR Drywall at upper wall (ABV tile To 2" Above Ceiling) with adhesive and mechanical fasteners; finish and paint with epoxy
  - Install moisture resistant back board at all new tile.

**Specific Notes**

02 00 00 001	Floor tile to remain; patch and repair as needed
02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 003	Demo FRP & Base at walls; typical at all bathroom interiors unless otherwise noted
08 11 13 001	Install metal door and frame to match existing for corrected swing
09 30 13 003	Install new wall tile flush and straight with accent top piece, floor to highest partial wall or window sill height; typical at bathroom interior unless noted otherwise
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

- General Demolition Notes**
- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
  - Remove all existing flooring, ceiling tile, rubber base, etc., where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
  - Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
  - Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
  - Burying or Burning of materials will not be permitted on site.
  - Repair any damage caused to building construction identified to remain.
  - Refer to other discipline drawings for additional demolition information as noted
  - Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
  - Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
  - Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
  - Remove partitions and existing fixtures.

**DALE BAILEY**  
AN ASSOCIATION

Architects

One Jackson Place- 250  
188 East Capitol Street  
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p 601.352.5411

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Ridgeland, MS 39157  
p 601.790.9432

161 Lameuse St. Suite 201  
Biloxi, MS 39530  
p 228.374.1409

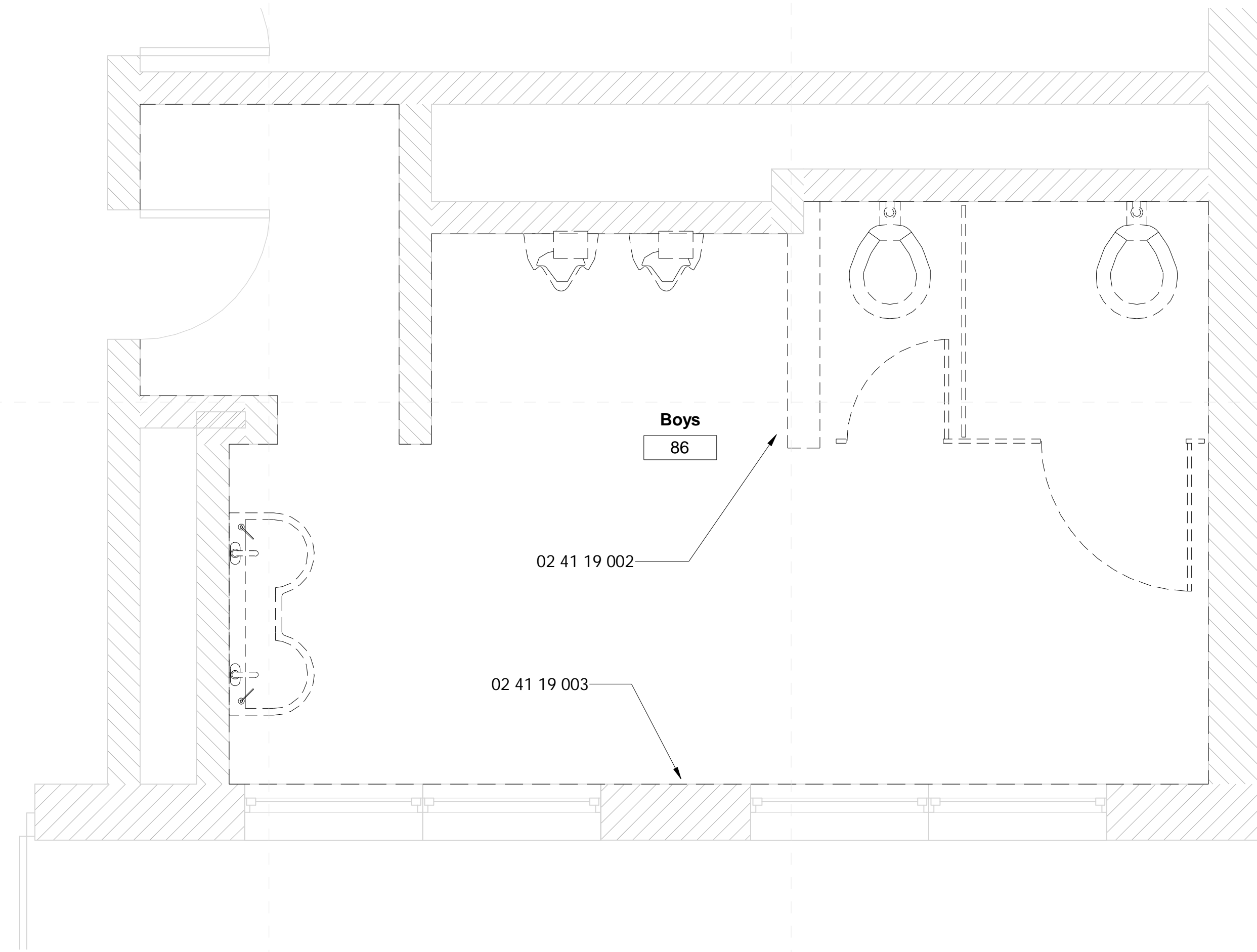
dalebaileyplans.com

Not For Construction

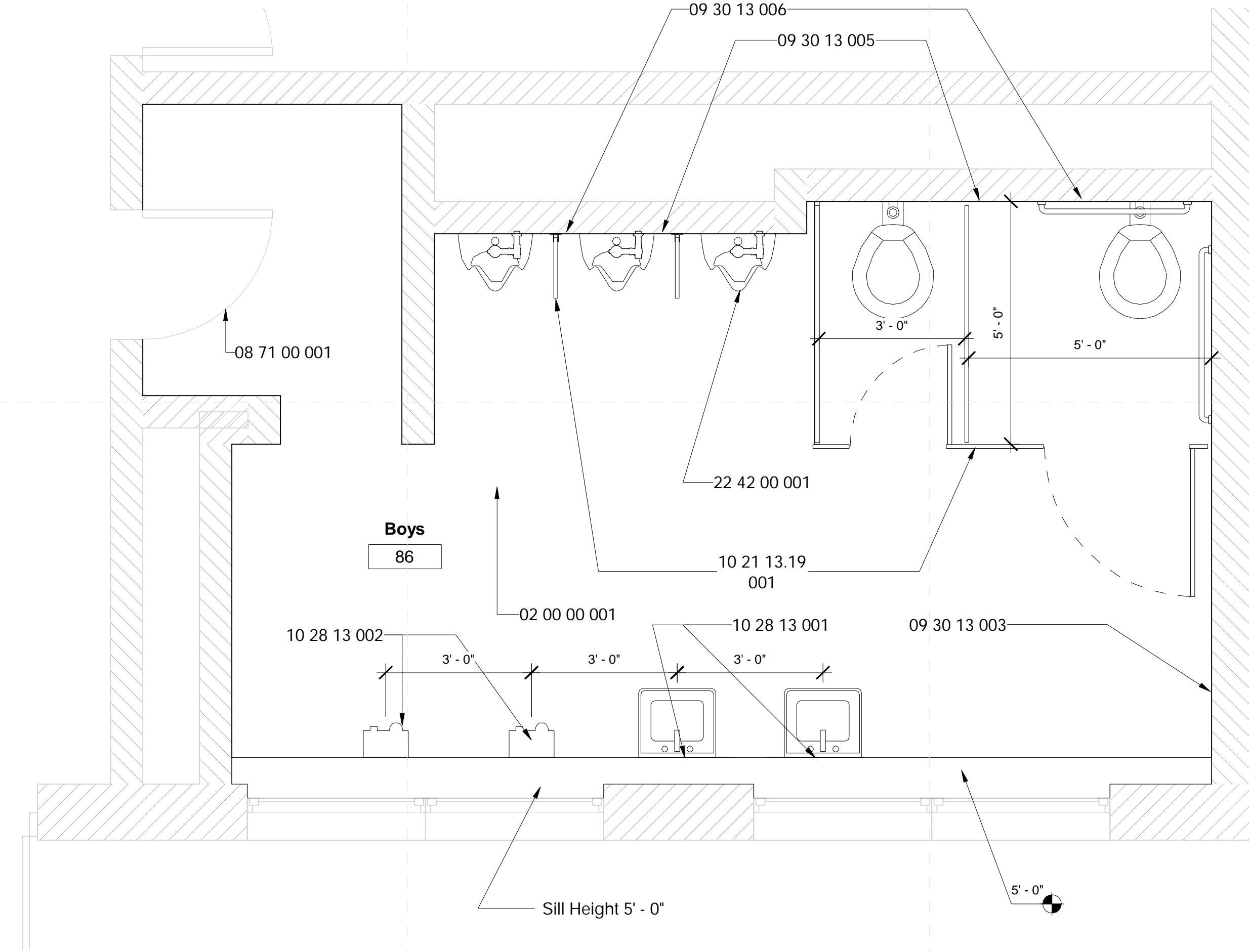
**Sunflower Consolidated School District**  
Ruleville Elementary School: 410 L F Packer Dr. Ruleville, MS 38771

Design Development

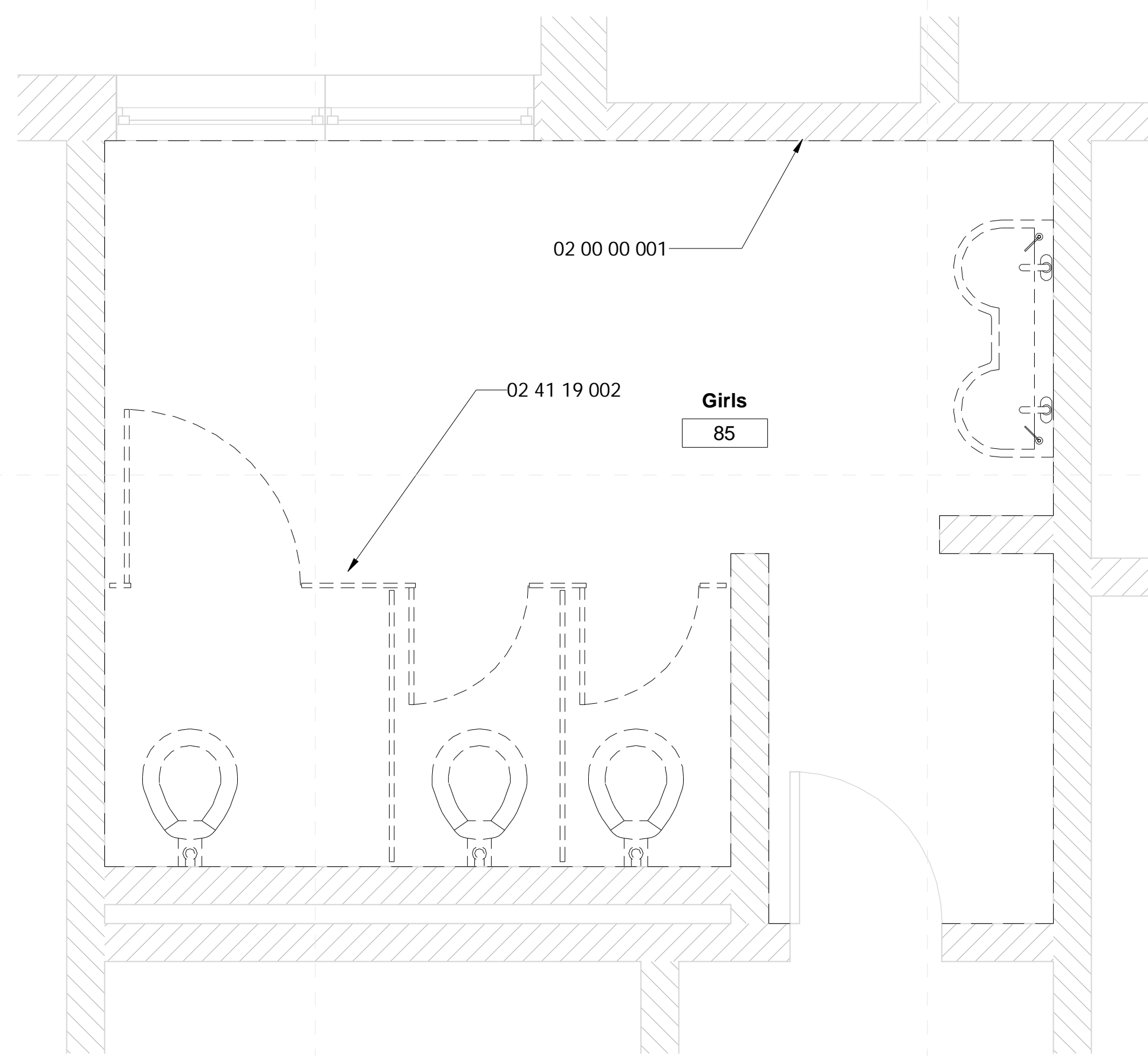
Project No	00000
Date	Issue Date
Revisions	Rev Date
1	10/5/2021
2	11/26/2021



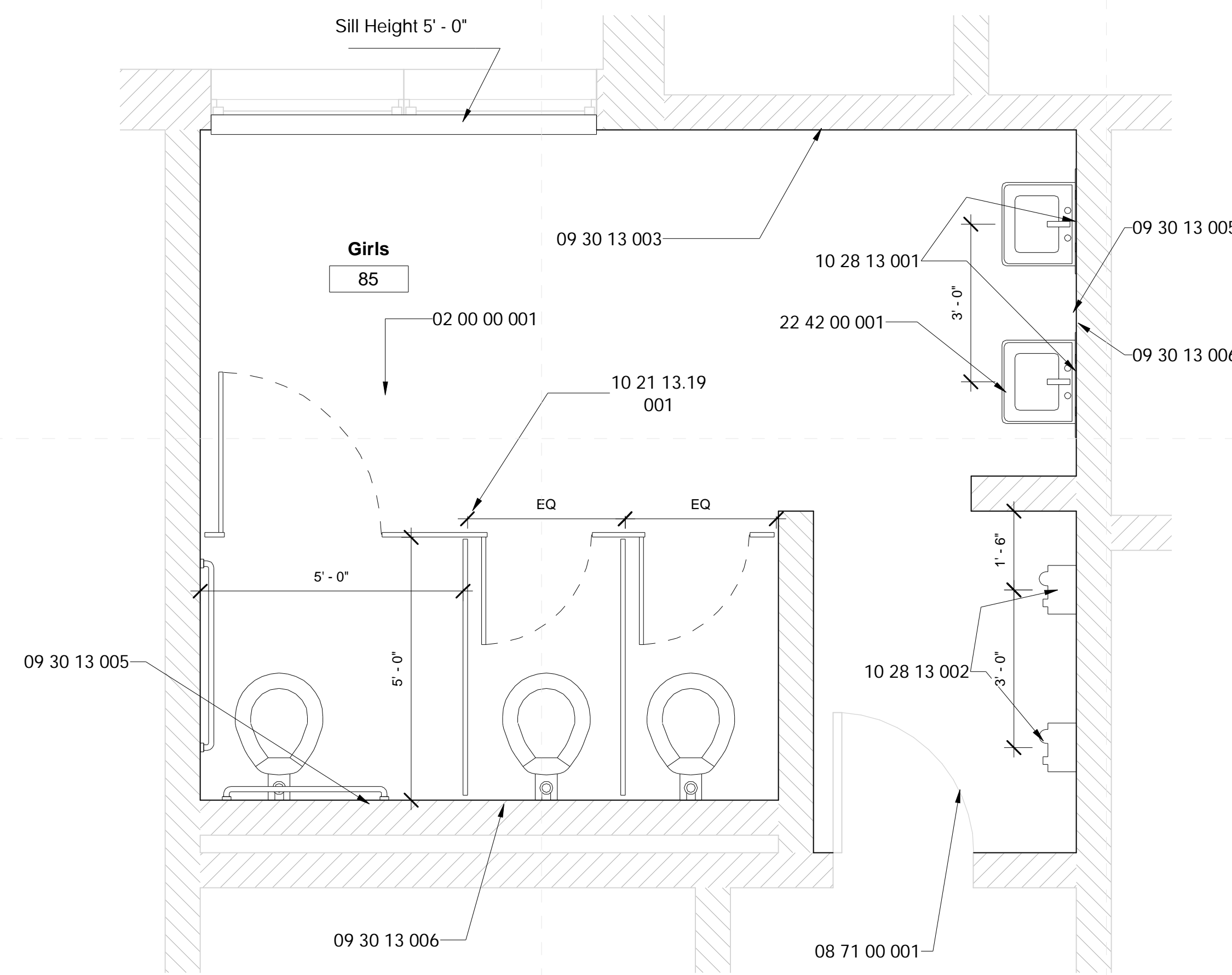
1 Toilets - Central Bank E - Existing  
1/2" = 1'-0"



2 Toilets - Central Bank E - New Construction  
1/2" = 1'-0"



3 Toilets - Central Bank W - Existing  
1/2" = 1'-0"



4 Toilets - Central Bank W - New Construction  
1/2" = 1'-0"

General Finish Plan Notes

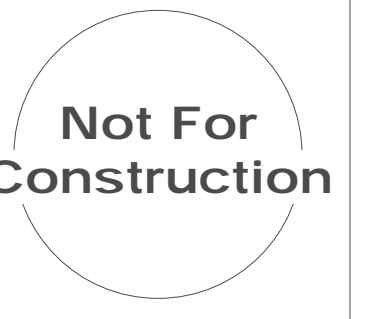
1. All flooring transitions are to occur at center line of door panel.
2. New Fixture locations shall be coordinated with mechanical sheets.
3. Install new tile base at all walls in bathrooms
4. Install new grab bars at all ADA toilets
5. Install 1/2" MR Drywall at upper wall (ABV tile To 2" Above Ceiling) with adhesive and mechanical fasteners; finish and paint with epoxy
6. Install moisture resistant back board at all new tile.

Specific Notes

- |                 |  |
|-----------------|--|
| 02 00 00 001    | Floor tile to remain; patch and repair as needed   |
| 02 41 19 002    | Dashed lines indicated extent of demoed work   |
| 02 41 19 003    | Demo FRP & Base at walls; typical at all bathroom interiors unless otherwise noted   |
| 08 71 00 001    | Replace all door hardware with new at existing leaf  |
| 09 30 13 003    | Install new wall tile flush and straight with accent top piece, floor to highest partial wall or window sill height; typical at bathroom interior unless noted otherwise |
| 09 30 13 005    | Install new wall tile flush and straight, floor to ceiling at this plumbing wall only  |
| 09 30 13 006    | Install accent tile at this wall   |
| 10 21 13.19 001 | Install new toilet partitions (typical)  |
| 10 28 13 001    | Install wall hung mirror here; center over fixture unless noted otherwise  |
| 10 28 13 002    | Install hand dryer here; coordinate with electrical & mechanical   |
| 22 42 00 001    | Coordinate new fixture installations with mechanical, typical for new  |

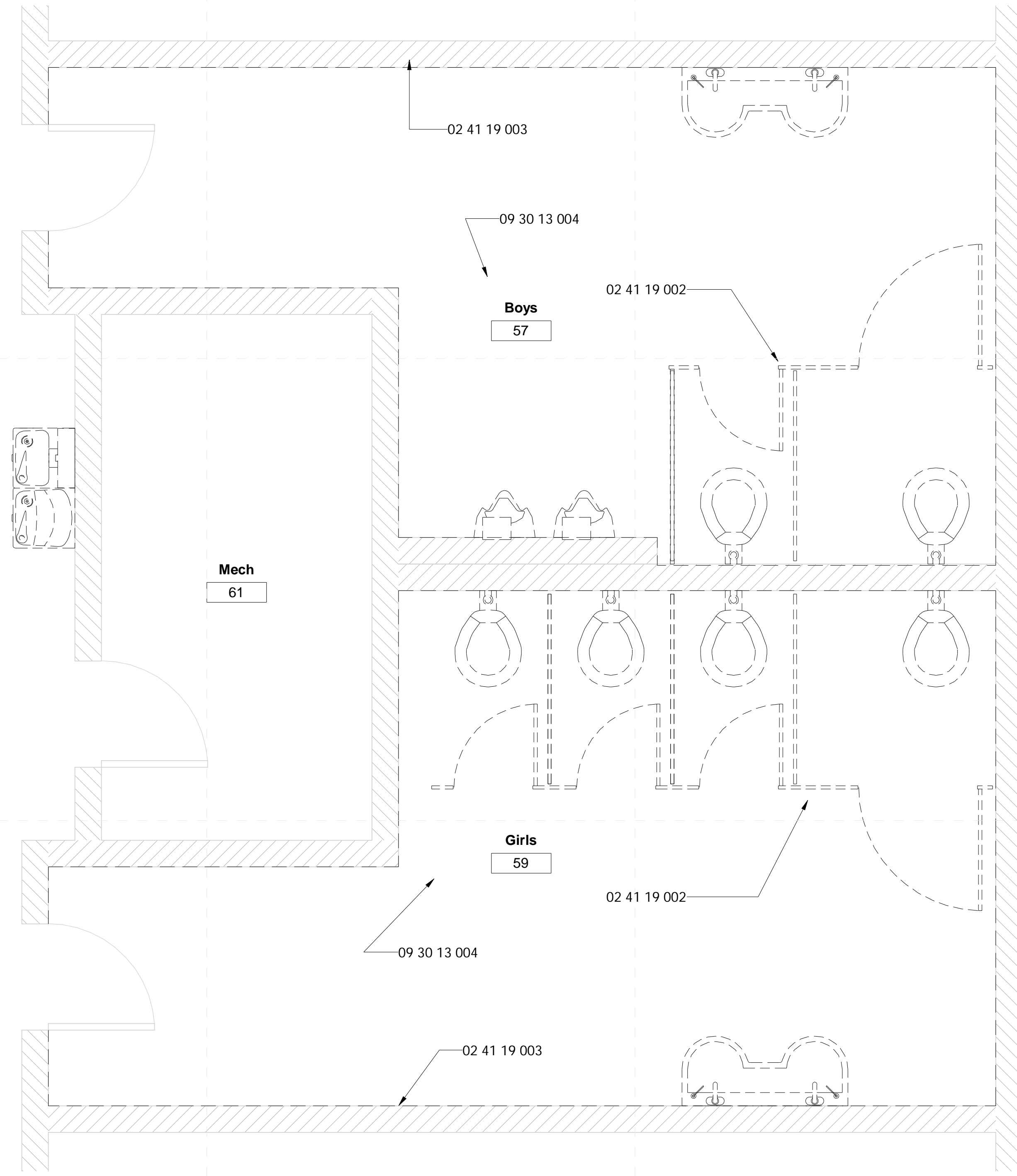
General Demolition Notes

1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
2. Remove all existing flooring, ceiling tile, rubber base, etc... where shown to be replaced by new materials in the finish schedule, RE: Floors plans, RCP, and Finish Schedule
3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
5. Burying or Burning of materials will not be permitted on site.
6. Repair any damage caused by building construction identified to remain.
7. Refer to other discipline drawings for additional demolition information as noted
8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
11. Remove partitions and existing fixtures.

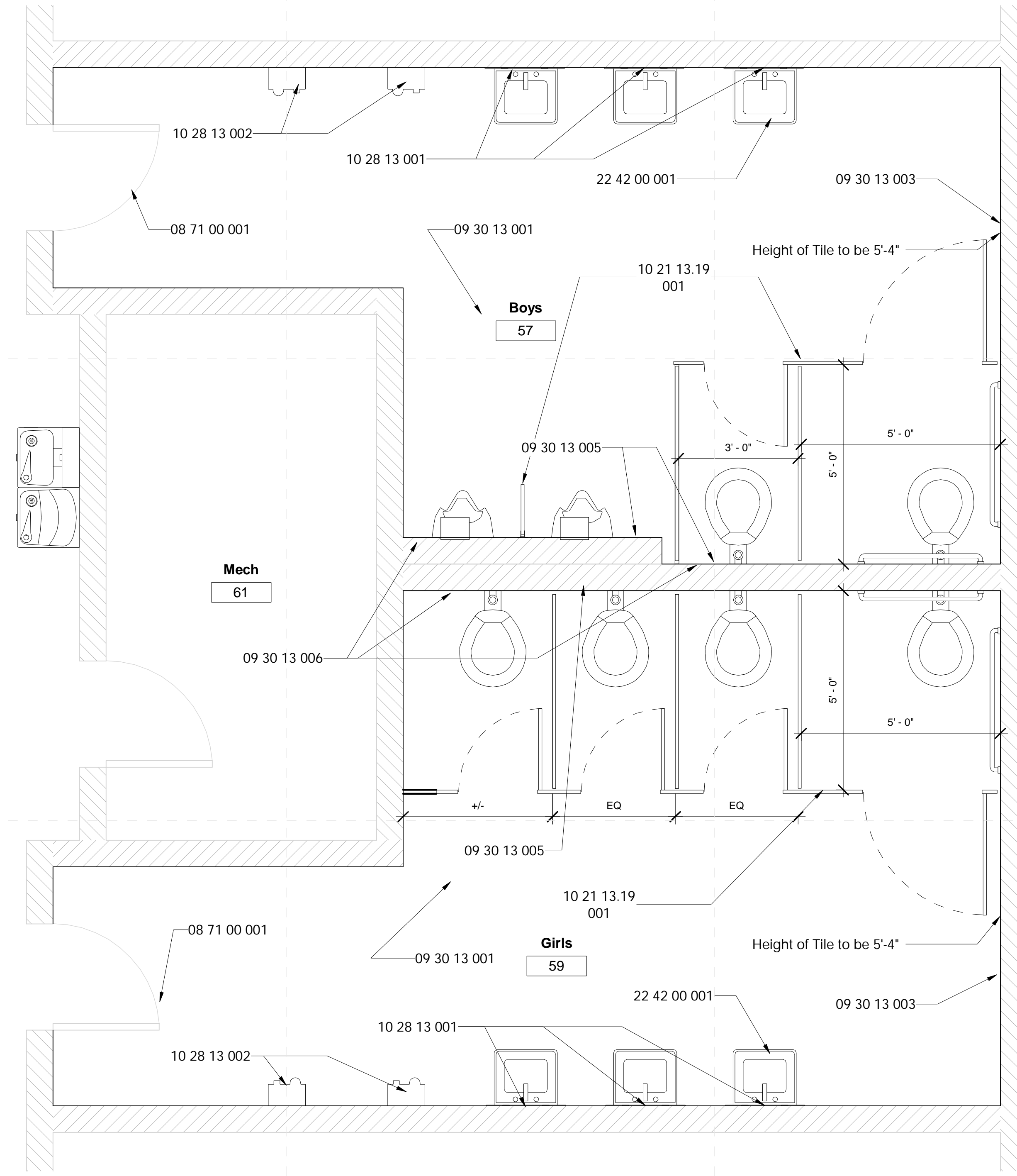


Design Development

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2	11/26/2021



**1** Toilets - East Bank - Existing  
1/2" = 1'-0"



**2** Toilets - East Bank - New Construction  
1/2" = 1'-0"

**General Finish Plan Notes**

- All flooring transitions are to occur at center line of door panel.
- New Fixture locations shall be coordinated with mechanical sheets.
- Install new tile base at all walls in bathrooms
- Install new grab bars at all ADA toilets
- Install 1/2" MR Drywall at upper wall (ABV tile To 2" Above Ceiling) with adhesive and mechanical fasteners; finish and paint with epoxy
- Install moisture resistant back board at all new tile.

**Specific Notes**

02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 003	Demo FRP & Base at walls; typical at all bathroom interiors unless otherwise noted
08 71 00 001	Replace all door hardware with new at existing leaf
09 30 13 001	Install new floor tile; slope to floor drain is drain provided
09 30 13 003	Install new wall tile flush and straight with accent top piece, floor to highest partial wall or window sill height; typical at bathroom interior unless noted otherwise
09 30 13 004	Prep surface for new tile install; contractor shall be responsible for issues concerning lack of adhesion between mortar and substrates as well as levelness of finished tile
09 30 13 005	Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
09 30 13 006	Install accent tile at this wall
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

**General Demolition Notes**

- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc... where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- Burying or Burning of materials will not be permitted on site.
- Repair any damage caused to building construction identified to remain.
- Refer to other discipline drawings for additional demolition information as noted
- Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- Remove partitions and existing fixtures.

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161 Lameux St. Suite 201  
Biloxi, MS 39530  
p 228.374.1409  
  
dalebaileyplans.com

**Not For Construction**

**Sunflower Consolidated School District**  
Ruleville Elementary School: 410 L F Packer Dr. Ruleville, MS 38771

Design  
Development

Project No	00000
Date	Issue Date
Revisions	Rev Date
1	10/5/2021
2	11/26/2021

All School's Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 003	Demo FRP & Base at walls; typical at all bathroom interiors unless otherwise noted
02 41 19 004	Remove floor tile and substrate
02 41 19 006	Remove Ceiling Tile Only in the Room; repair grid as needed
02 41 19 007	Coordinate measurements with new construction
08 11 13 002	Install new 36" HM Door and Frame with new hardware
08 71 00 001	Replace all door hardware with new at existing leaf
09 05 05 001	Install leveling compound as needed for smooth appearance of new tile & a flush threshold to adjacent floors; typical on new floor tile
09 30 13 001	Install new floor tile; slope to floor drain is drain provided
09 30 13 003	Install new wall tile flush and straight with accent top piece; floor to highest partial wall or window sill height; typical at bathroom interior unless noted otherwise
09 30 13 005	Install new wall tile flush and straight; floor to ceiling at this plumbing wall only
09 30 13 006	Install accent tile at this wall
09 51 23 001	Install new ceiling tile into existing grid here
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical; typical for new
22 47 13 001	Install double drinking fountain here; coordinate with mechanical & electrical drawings



Front of School



Mens 67



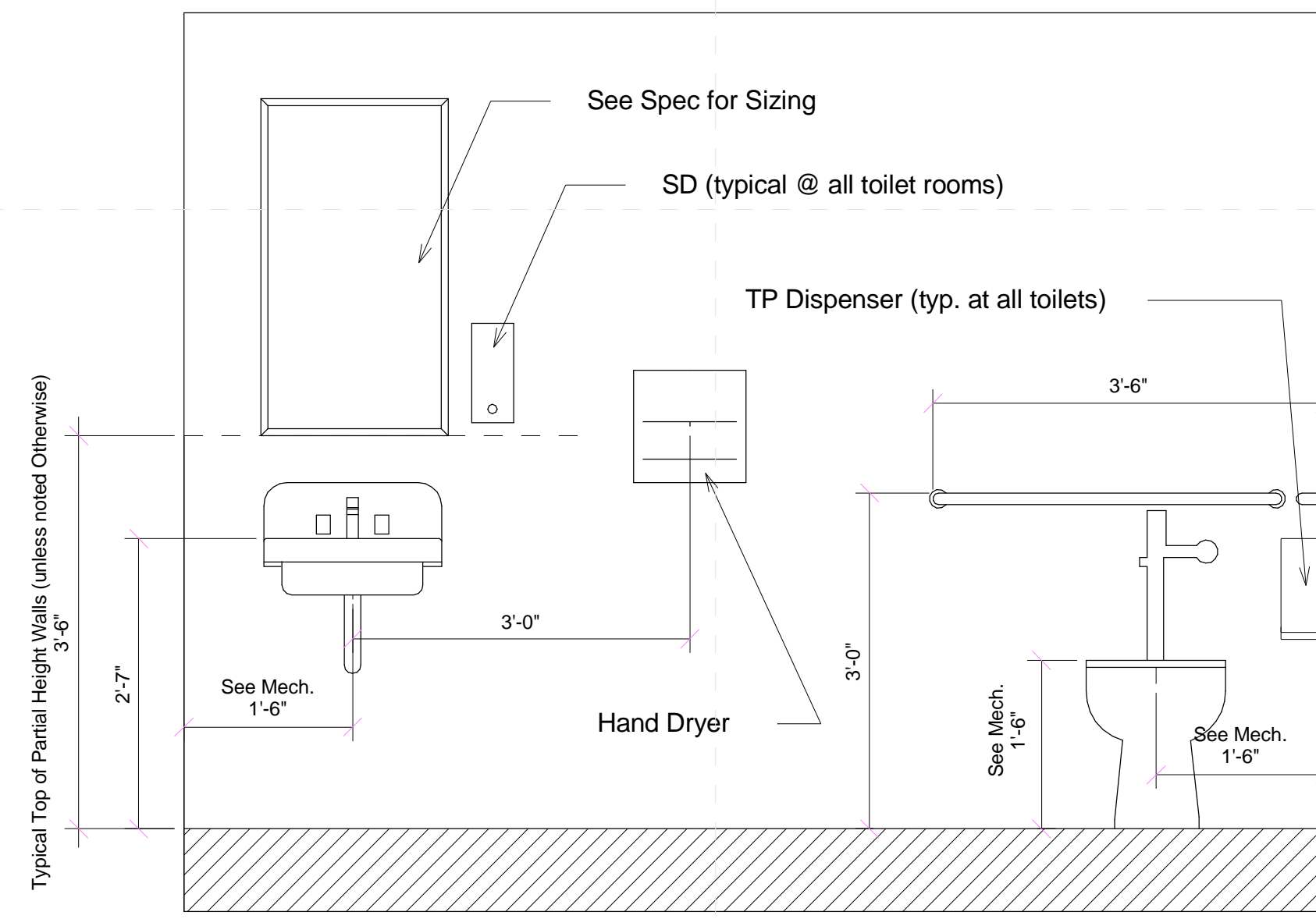
Womens 66



Mens 94

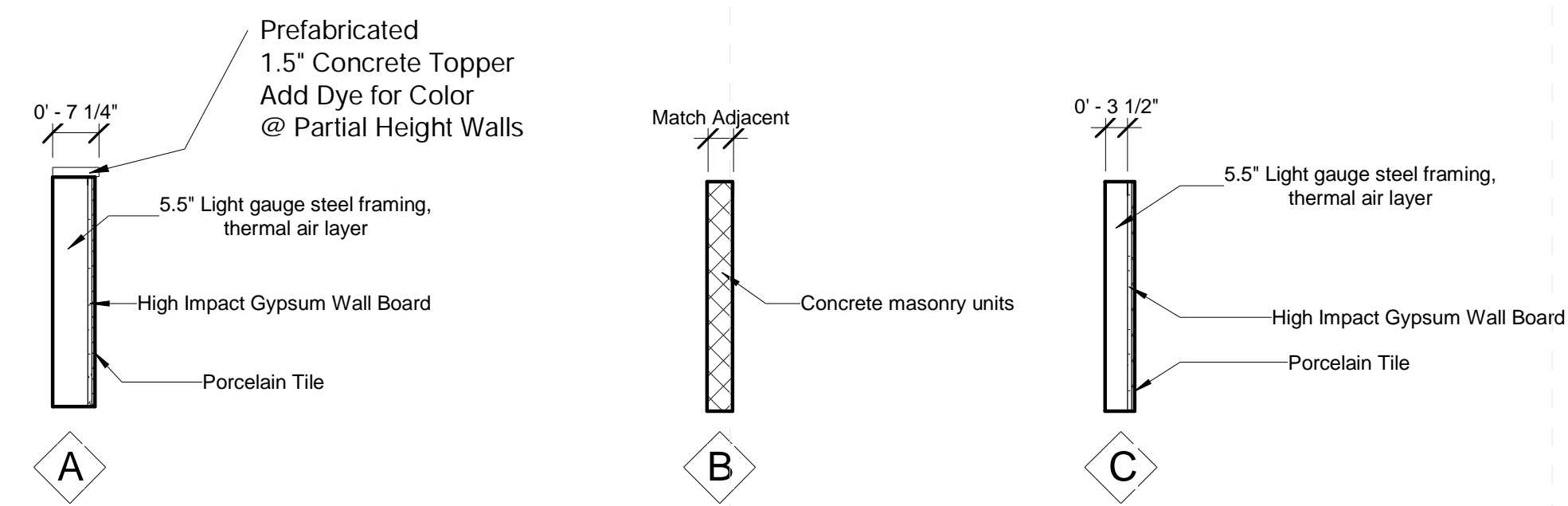


Womens 92



Typical Toilet Room Wall

3/4" = 1'-0"



Wall Types

1/2" = 1'-0"

Architects  
One Jackson Place 250  
188 East Capitol Street  
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201 Park Court Suite B  
Ridgeland, MS 39157  
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Biloxi, MS 39530  
p 228.374.1409  
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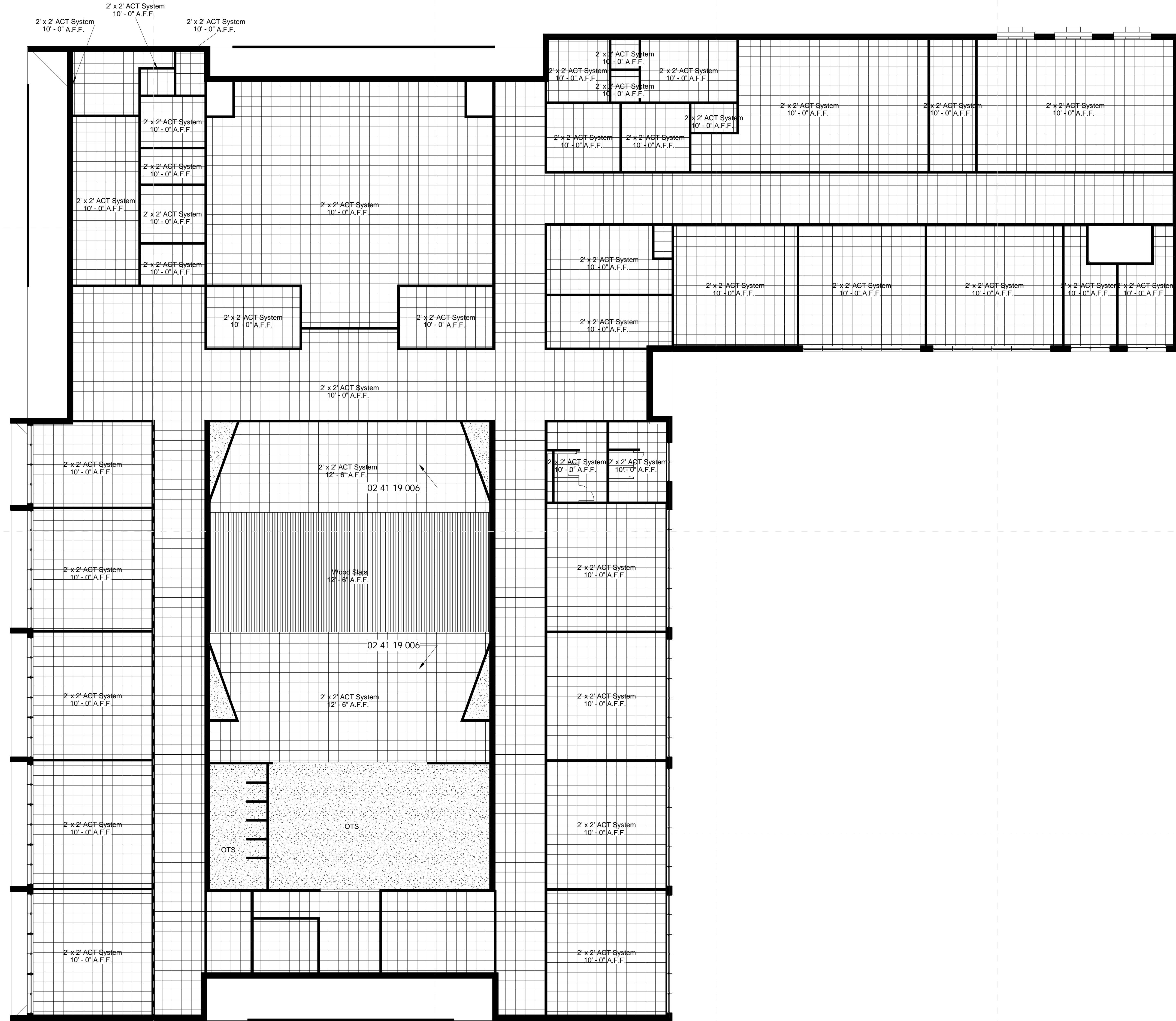
Not For Construction

Sunflower Consolidated School District  
Ruleville Middle School: 250 Oscar St, Ruleville, MS 38771

Design Development

Project No	005
Date	June 2021
Revisions	Rev Date
1	10/5/2021
2	11/26/2021





**1 RCP - Demolition**  
3/32" = 1'-0"

**General Demolition Notes**

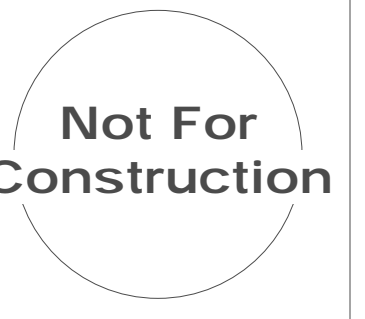
1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
2. Remove all existing flooring, ceiling tile, rubber base, etc., where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
5. Burying or Burning of materials will not be permitted on site.
6. Repair any damage caused by building construction identified to remain.
7. Refer to other discipline drawings for additional demolition information as noted
8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
11. Remove partitions and existing fixtures.

**Specific Notes**

**Ceiling Legend**

- Moisture Resistant Acoustical Lay In Ceiling
- Colored Acoustical Lay In Ceiling
- Vinyl Faced Acoustical Lay In Ceiling
- Gypsum Board Ceiling
- 2x2 Acoustical Lay In Ceiling
- Plaster/Stucco
- Concealed Fastener Painted Metal Soffit
- 2x2 Fluorescent Fixture
- Surface-Mounted Fluorescent Light Fixture
- Recessed Can Light Fixture
- HVAC Supply Grille
- HVAC Return Grille
- Exterior Wall Light
- Interior Wall Light
- Open to Structure (OTS)

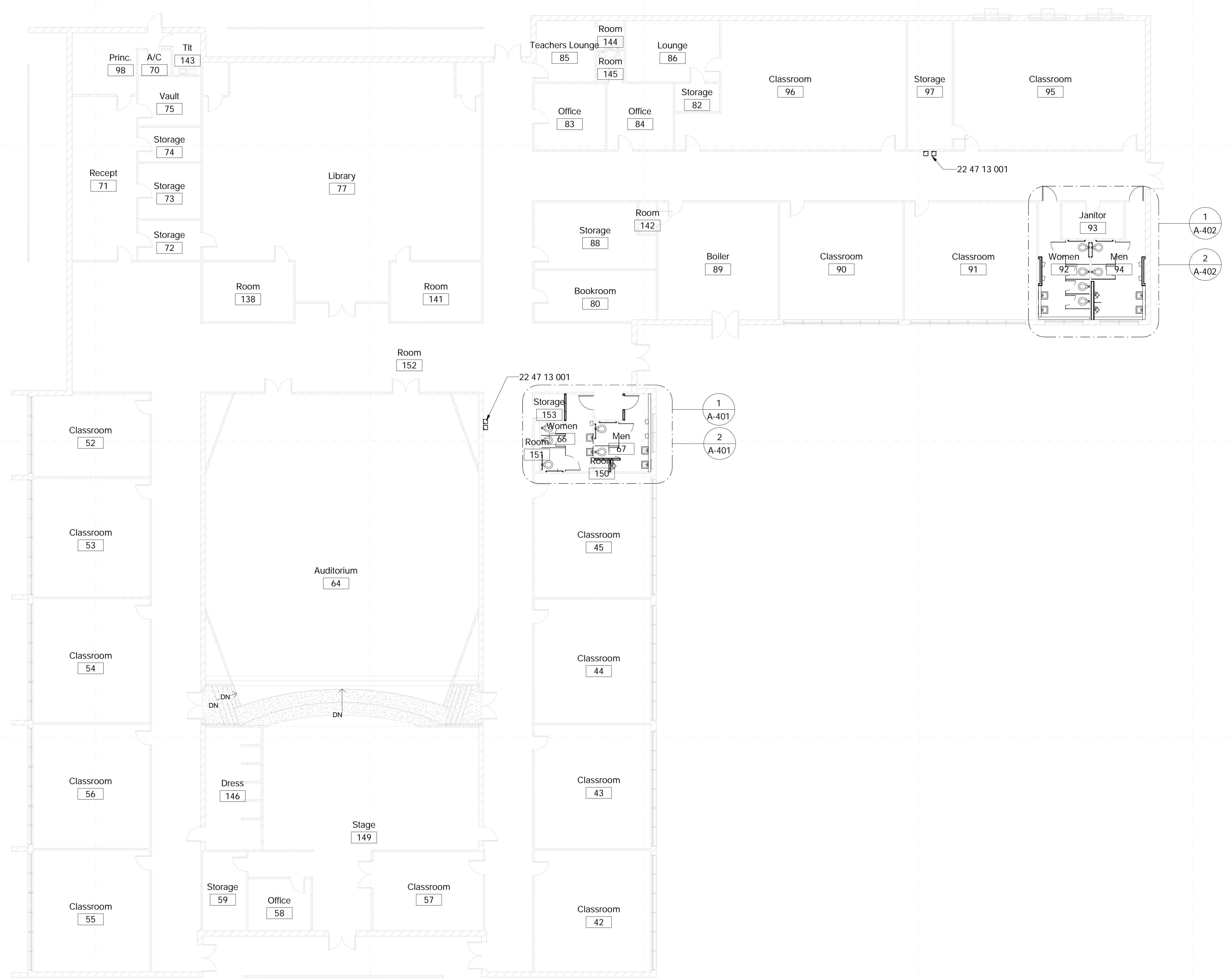
Architects  
One Jackson Place 250  
188 East Capitol Street  
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**Sunflower Consolidated School District**  
Ruleville Middle School: 250 Oscar St, Ruleville, MS 38771

**Design Development**

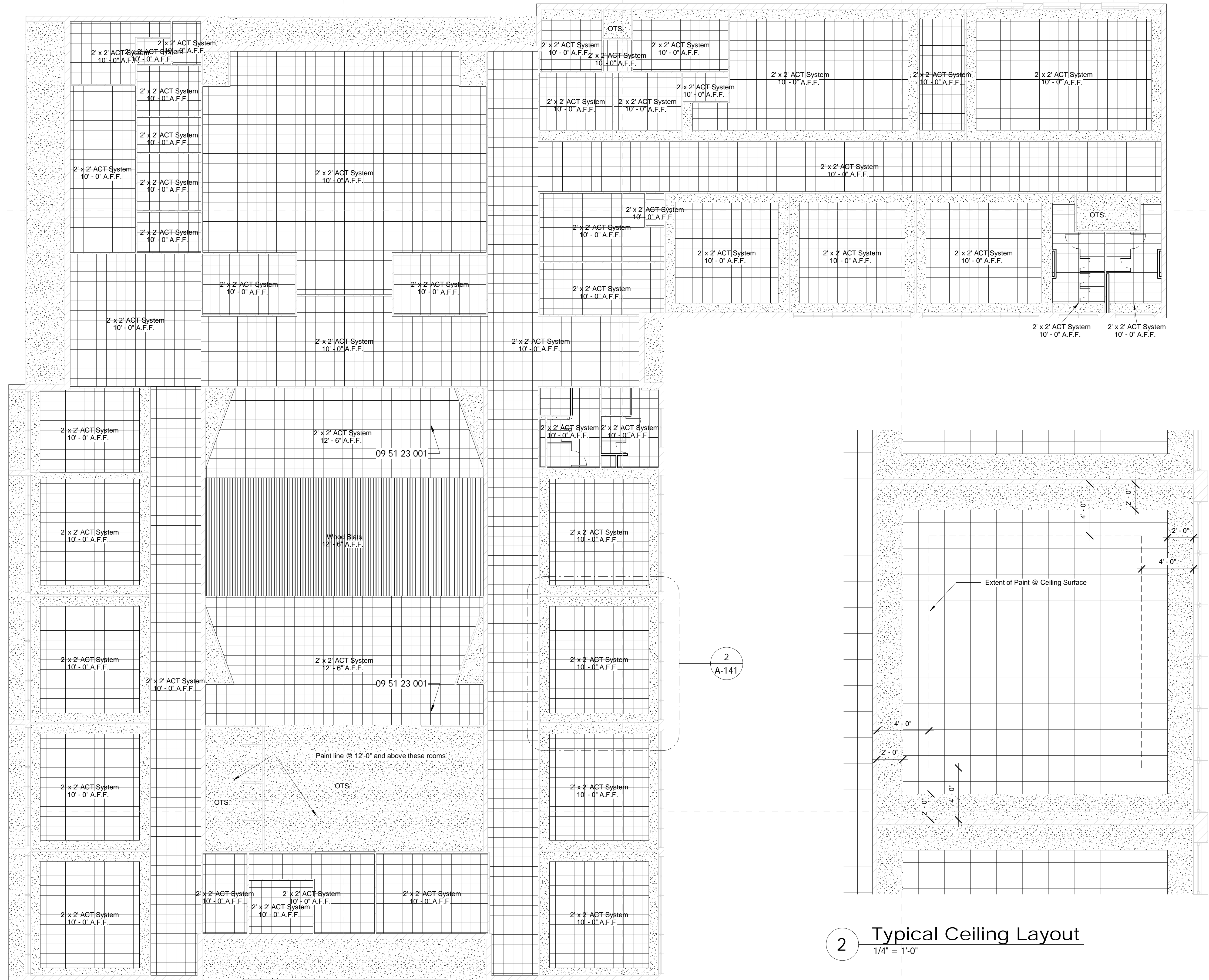
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**Specific Notes**

22 47 13 001 Install double drinking fountain here; coordinate with mechanical & electrical drawings

**1 Ruleville Middle Main Building - New Construction**  
3/32" = 1'-0"



**1** RCP - New Construction  
3/32" = 1'-0"

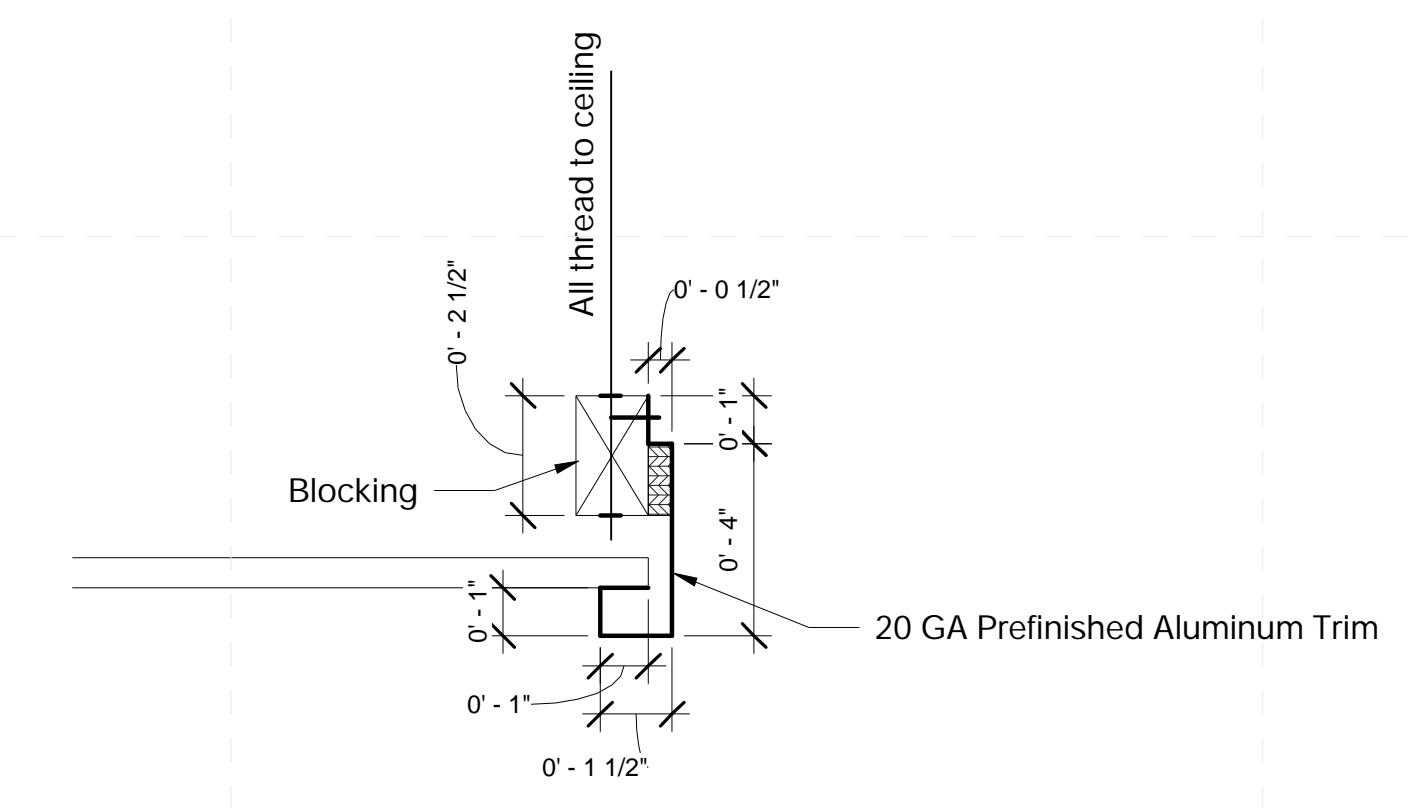
- General RCP Notes**
- All ceiling heights shall be same as existing or lower, unless noted otherwise.
  - Contractor shall paint all surfaces above 10'-0" at wall, roof, and ceiling, as well as anything attached therein at all exposed sections of ceilings where not covered by new 2x2 ACT, unless noted otherwise.
  - Repair/replace any and all ceiling damaged due to construction activities.
  - Bent ceiling grid damaged due to construction activities shall be replaced or bent to appear as new in shape.
  - ACT in auditorium to be reveal edged

**Specific Notes**

**Ceiling Legend**

	Moisture Resistant Acoustical Lay In Ceiling
	Colored Acoustical Lay In Ceiling
	Vinyl Faced Acoustical Lay In Ceiling
	Gypsum Board Ceiling
	2x2 Acoustical Lay In Ceiling
	Plaster/Stucco
	Concealed Fastener Painted Metal Soffit
	2x2 Fluorescent Fixture
	Surface-Mounted Fluorescent Light Fixture
	Recessed Can Light Fixture
	HVAC Supply Grille
	HVAC Return Grille
	Exterior Wall Light
	Interior Wall Light
	Open to Structure (OTS)

**2** Typical Ceiling Layout  
1/4" = 1'-0"



**3** Ceiling Edge Trim Detail  
3" = 1'-0"

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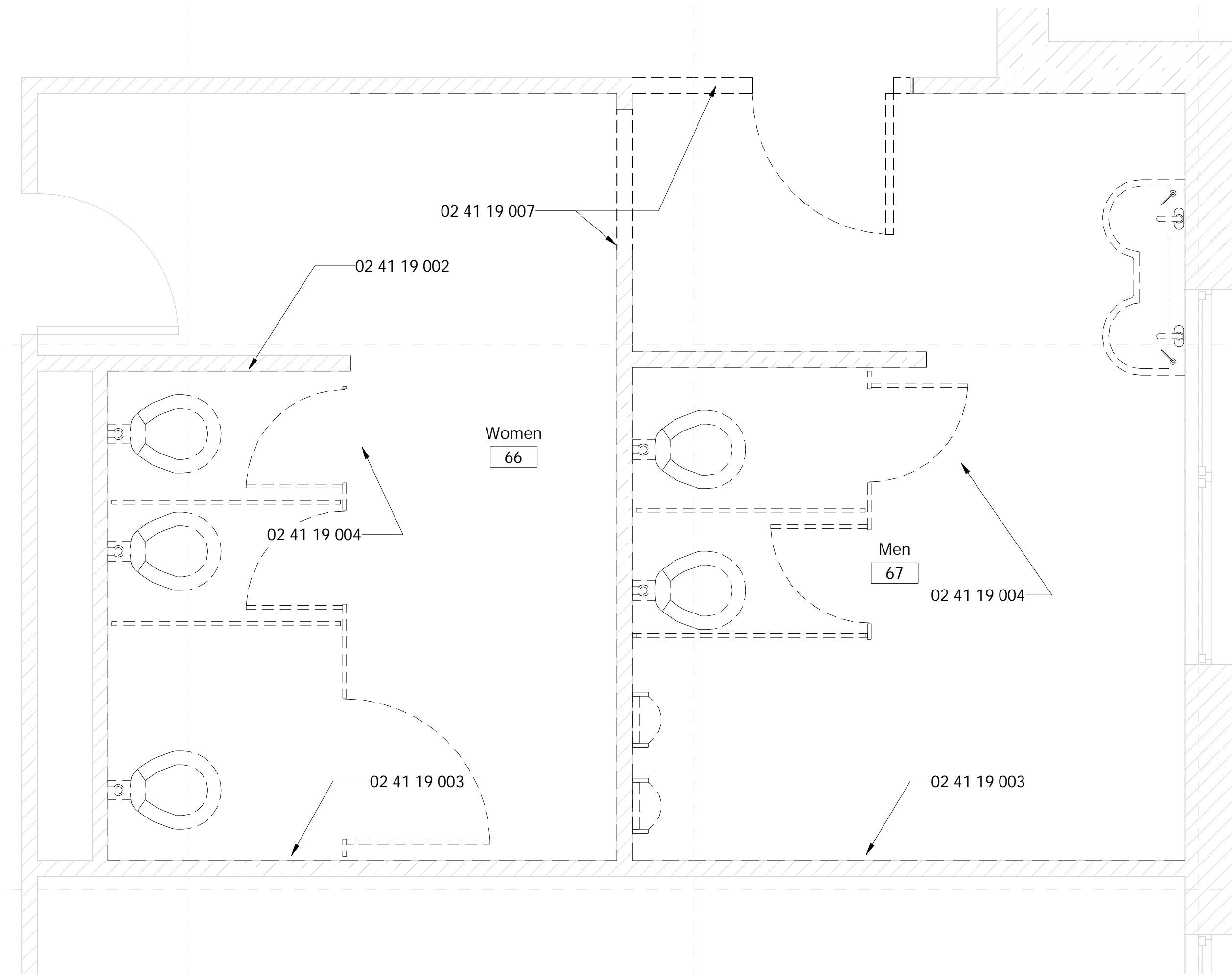
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**Not For Construction**

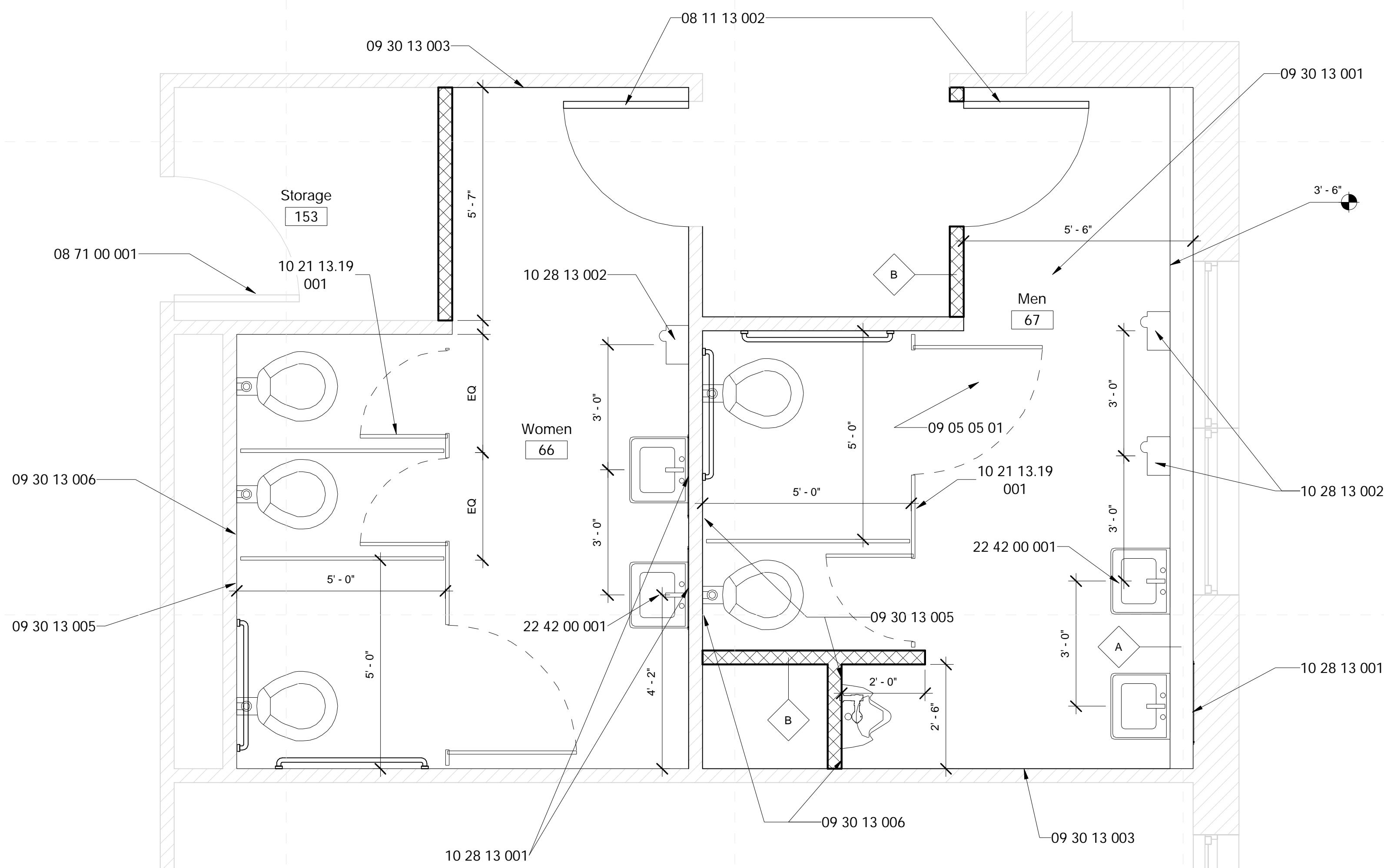
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1 Central Toilets - Existing  
1/2" = 1'-0"



2 Central Toilets - New Construction  
1/2" = 1'-0"

General Finish Plan Notes

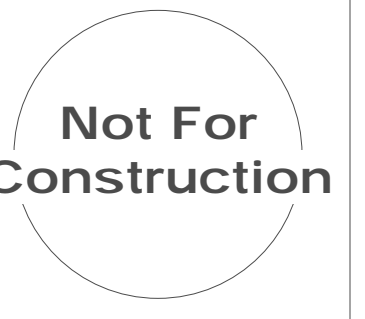
- All flooring transitions are to occur at center line of door panel.
- New Fixture locations shall be coordinated with mechanical sheets.
- Install new tile base at all walls in bathrooms
- Install new grab bars at all ADA toilets
- Install 5/8" drywall at upper wall (3'-6" AFF To 2" Above Ceiling) with adhesive and mechanical fasteners; finish and paint with epoxy
- Install moisture resistant back board at all new tile.

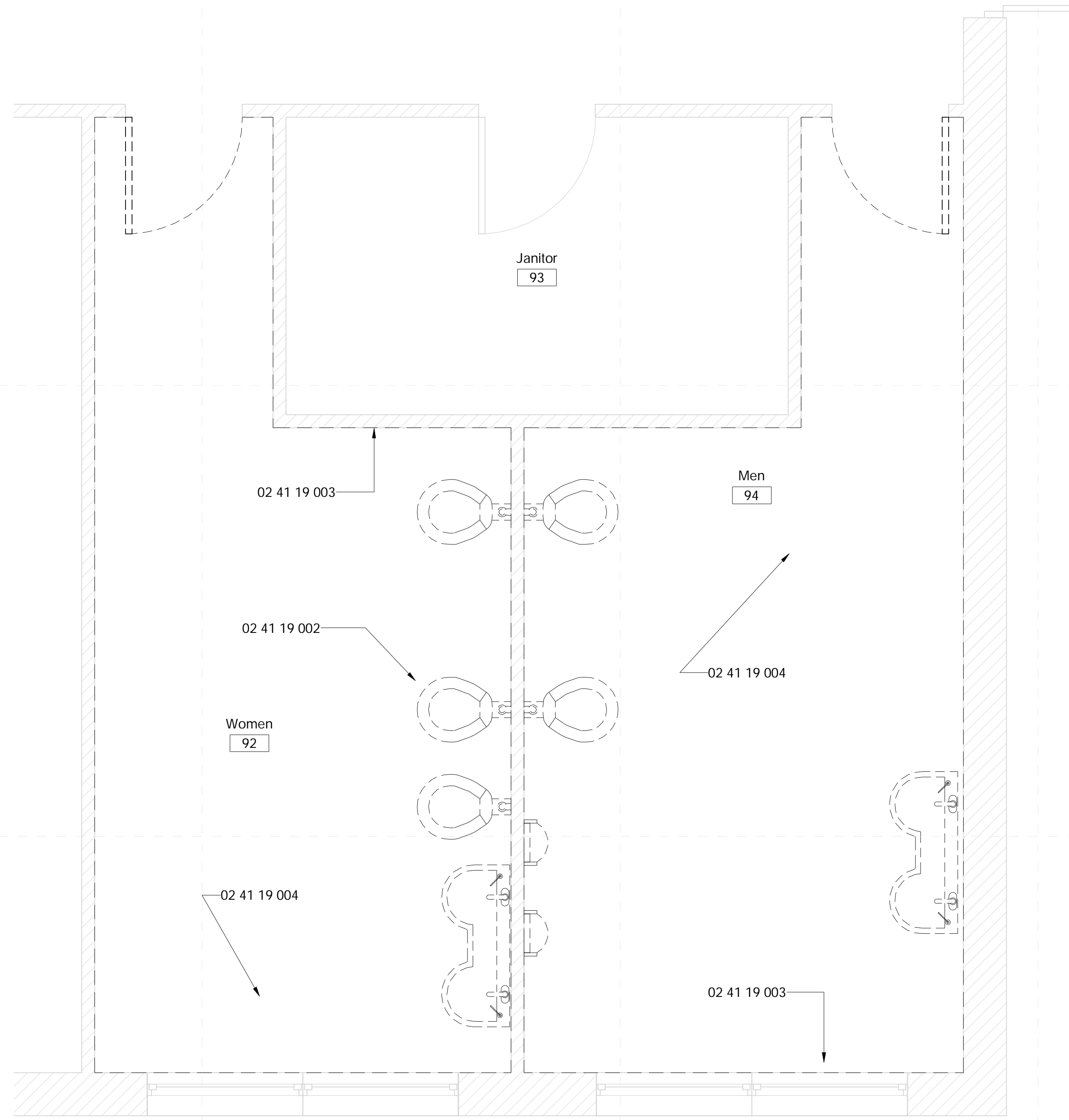
Specific Notes

02 41 19 002	Dashed lines indicated extent of demo work
02 41 19 003	Demo FRP & Base at walls; typical at all bathroom interiors unless otherwise noted
02 41 19 004	Remove floor tile and substrate
02 41 19 007	Coordinate measurements with new construction
08 11 13 002	Install new 36" HM Door and Frame with new hardware
08 71 00 001	Replace all door hardware with new at existing leaf
09 05 05 01	Install leveling compound as needed for smooth appearance of new tile & a flush threshold to adjacent floors; typical on new floor tile
09 30 13 001	Install new floor tile; slope to floor drain is drain provided
09 30 13 003	Install new wall tile flush and straight with accent top piece; floor to highest partial wall or window sill height; typical at bathroom interior unless noted otherwise
09 30 13 005	Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
09 30 13 006	Install accent tile at this wall
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

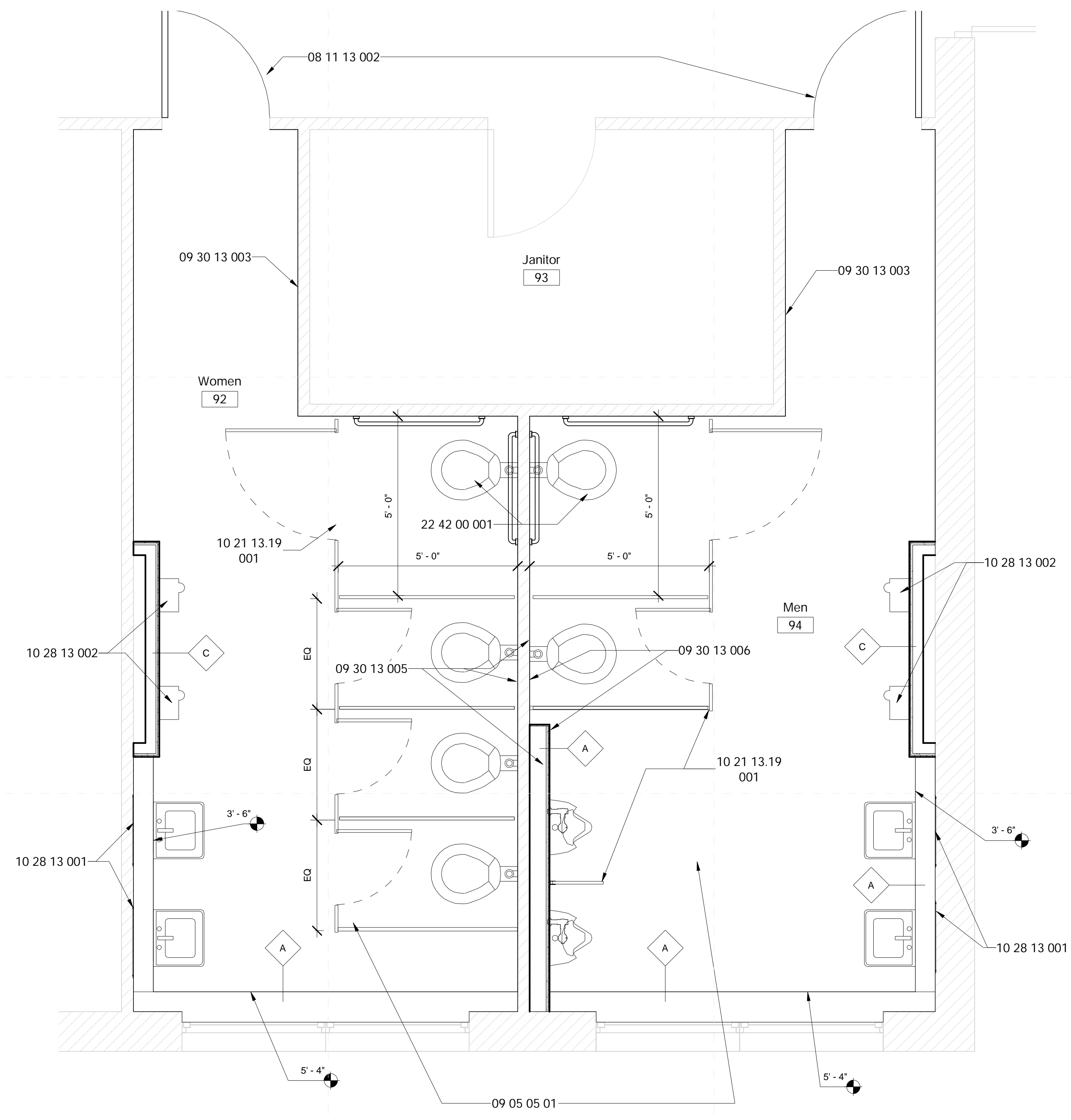
General Demolition Notes

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- Remove partitions and existing fixtures.





1 West Toilets - Existing  
1/2" = 1'-0"



2 West Toilets - New Construction  
1/2" = 1'-0"

- General Finish Plan Notes**
- All flooring transitions are to occur at center line of door panel.
  - New Fixture locations shall be coordinated with mechanical sheets.
  - Install new tile base at all walls in bathrooms
  - Install new grab bars at all ADA toilets
  - Install 5/8" drywall at upper wall (3'-6" AFF To 2" Above Ceiling) with adhesive and mechanical fasteners; finish and paint with epoxy
  - Install moisture resistant back board at all new tile.

- Specific Notes**
- 02 41 19 002 Dashed lines indicated extent of demoed work
  - 02 41 19 003 Demo FRP & Base at walls; typical at all bathroom interiors unless otherwise noted
  - 02 41 19 004 Remove floor tile and substrate
  - 08 11 13 002 Install new 36" HM Door and Frame with new hardware
  - 09 05 05 01 Install leveling compound as needed for smooth appearance of new tile & a flush threshold to adjacent floors, typical on new floor tile
  - 09 30 13 003 Install new wall tile flush and straight with accent top piece, floor to highest partial wall or window sill height; typical at bathroom interior unless noted otherwise
  - 09 30 13 005 Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
  - 09 30 13 006 Install accent tile at this wall
  - 10 21 13.19 001 Install new toilet partitions (typical)
  - 10 28 13 001 Install wall hung mirror here; center over fixture unless noted otherwise
  - 10 28 13 002 Install hand dryer here; coordinate with electrical & mechanical
  - 22 42 00 001 Coordinate new fixture installations with mechanical, typical for new

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