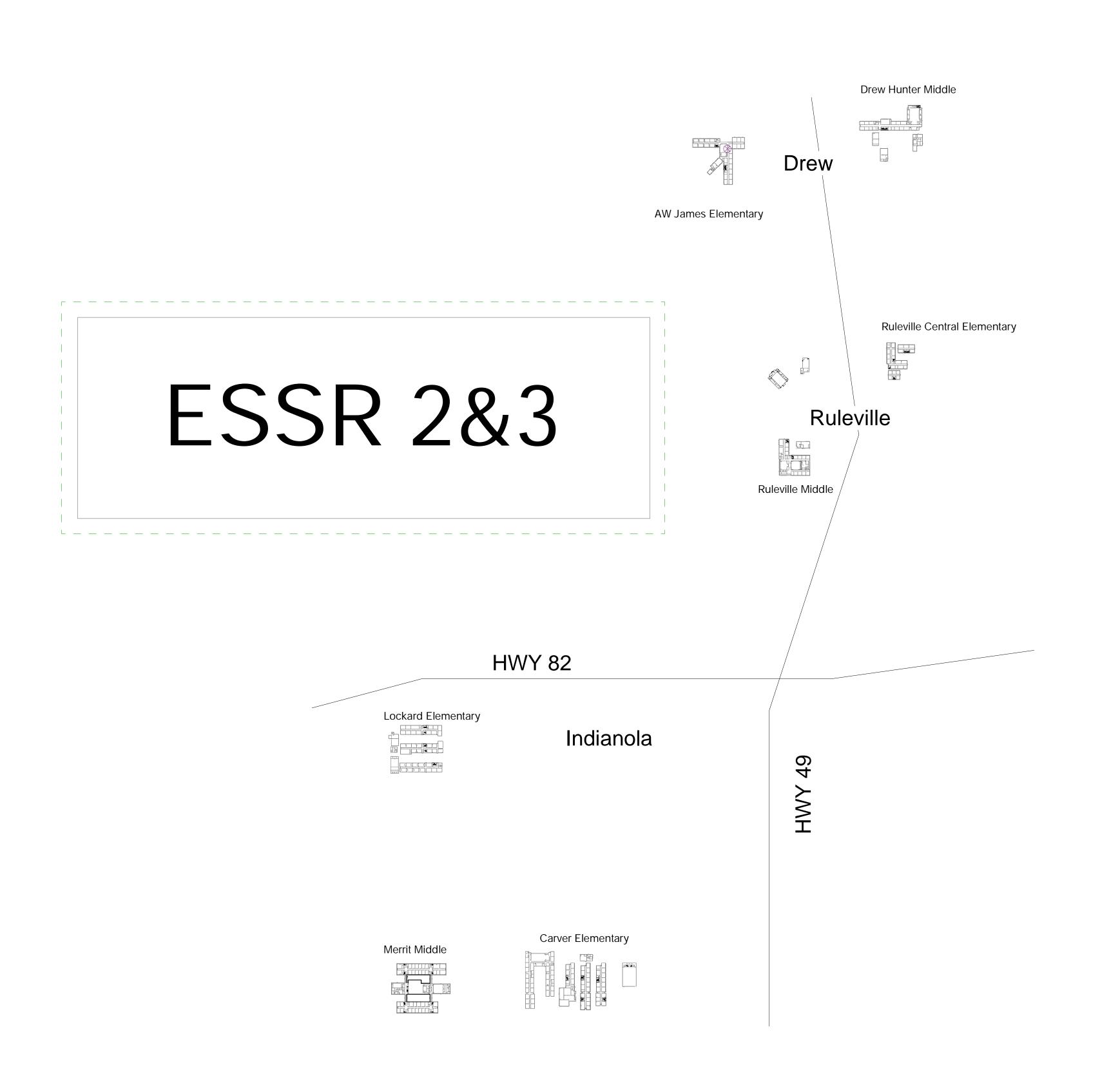
DALE BAILEY

Jackson • Biloxi Mississippi

AN ASSOCIATION





Sunflower Consolidated School District

196 Martin Luther King Dr N, Indianola, MS 38751

> **DBA PN:** 21027

> > **Design Development** 11/26/2021

Owner Architect Mechanical **Electrical**

Pontotoc City Schools Dale Bailey, an Association GSK Mechanical, Inc. The Power Source, PLLC

View Name Drawing Title with

Drawing Scale

1-1/2" = 1'-0"

LABEL

LIGHT

LIGHTING

MASONRY

LUXURY VINYL TILE

LIGHTWEIGHT CONCRETE

LIN

LT

LTG

LVT

LWC

MAS

LINEAR FEET

LEFT HAND

LINOLEUM

LIVE LOAD

LAVATORY PIPING PROTECTION

TELEVISION

UNDERCOUNTER

VAPOR BARRIER

VISUAL DISPLAY

VERIFY IN FIELD

VINYL TILE

VINYL COMPOSITE TILE

VENT THROUGH ROOF

UNLESS NOTED OTHERWISE

VISUAL COMMUNICATION BOARD

TYPICAL

TYP

VD

VT

Drawing Index Sheet No **Sheet Name Building Name Sheet Organization** G-001 Cover Sheet 00.01 General G-002 Index & General Project Information 00.01 General G-000 General Sheet AW James Elementary 00.01 General A-041 00.08 Architectural Composite RCP AW James Elementary A-101 00.08 Architectural Floor Plans AW James Elementary A-141 AW James Elementary 00.08 Architectural Composite RCP A-401 00.08 Architectural North Toilets AW James Elementary A-402 South Toilets 00.08 Architectural AW James Elementary G-000 General Sheet 00.01 General Carver Elementary A-041 Existing RCP 00.08 Architectural Carver Elementary A-101 New Floor Plan 00.08 Architectural Carver Elementary A-141 00.08 Architectural New RCP Carver Elementary A-401 West Toilets 00.08 Architectural Carver Elementary 00.08 Architectural A-402 Central North Toilets Carver Elementary A-403 Central South Toilets 00.08 Architectural Carver Elementary A-404 East Toilets N 00.08 Architectural Carver Elementary A-405 East Toilets S Carver Elementary 00.08 Architectural A-406 Gym Toilets 00.08 Architectural Carver Elementary G-000 General Sheet 00.01 General **Drew Hunter Middle** A-041 Composite RCP **Drew Hunter Middle** 00.08 Architectural Composite Floor Plan **Drew Hunter Middle** 00.08 Architectural A-141 00.08 Architectural Composite RCP Drew Hunter Middle A-401 Central Toilets 00.08 Architectural Drew Hunter Middle Drew Hunter Middle Northeast Toilets 00.08 Architectural A-402 G-000 General Sheet 00.01 General Lockard Elementary A-041 RCP - Demo Lockard Elementary 00.08 Architectural A-101 00.08 Architectural Floor Plans Lockard Elementary A-141 00.08 Architectural Composite RCP Lockard Elementary A-401 Toilets (North) 00.08 Architectural Lockard Elementary A-402 Toilets (Central) Lockard Elementary 00.08 Architectural 00.08 Architectural A-403 Toilets (South) Lockard Elementary G-000 General Sheet 00.01 General Robert L Merrit Middle A-041 RCP - Demo Robert L Merrit Middle 00.08 Architectural Robert L Merrit Middle 00.08 Architectural Composite Floor Plan A-401 NW Toilets Robert L Merrit Middle 00.08 Architectural A-402 NE Toilets Robert L Merrit Middle 00.08 Architectural A-403 Central West Toilets Robert L Merrit Middle 00.08 Architectural A-404 SW Toilets Robert L Merrit Middle 00.08 Architectural Robert L Merrit Middle 00.08 Architectural A-405 SE Toilets RCP - New Construction Robert L Merrit Middle 00.08 Architectural G-000 General Ruleville Central Elementary 00.01 General A-041 Composite RCP Ruleville Central Elementary 00.08 Architectural Composite Floor Plan Ruleville Central Elementary 00.08 Architectural Composite RCP Ruleville Central Elementary 00.08 Architectural A-401 Toilets NW Ruleville Central Elementary 00.08 Architectural A-402 Ruleville Central Elementary 00.08 Architectural Toilets Central A-403 Toilets E Ruleville Central Elementary 00.08 Architectural G-000 General Sheet Ruleville Middle 00.01 General A-041 Composite RCP Ruleville Middle 00.08 Architectural Composite Floor Plan Ruleville Middle 00.08 Architectural 00.08 Architectural A-141 Composite RCP Ruleville Middle Ruleville Middle A-401 Central Toilets 00.08 Architectural A-402 West Toilets Ruleville Middle 00.08 Architectural

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Inflower Consolidated School
196 Martin Luther King Dr N, Indianola, MS 38

Design Development

Project No	2102
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1	10/5/202
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G-002

Index & General Project Information

02 41 19 004

09 05 05 01

08 11 13 001

02 41 19 002 Dashed lines indicated extent of demoed work

08 71 00 001 Replace all door hardware with new at existing

08 71 00 002 Fill Hinges Recessions with blank plates &

09 30 13 001 Install new floor tile; slope to floor drain is

09 30 13 008 Install new wall tile flush and straight with

10 28 13 001 Install wall hung mirror here; center over fixture

mechanical, typical for new

22 47 13 001 Install double drinking fountain here;

drawings

unless noted otherwise 10 28 13 002 Install hand dryer here; coordinate with electrical & mechanical 22 42 00 001 Coordinate new fixture installations with

for corrected swing

floor tile

09 30 13 006 Install accent tile at this wall

drain provided

(epoxy paint) 10 21 13.19 001 Install new toilet partitions (typical)

Remove floor tile and substrate

Install metall door and frame to match existing

Install leveling compound as needed for smooth appearance of new tile & a flush

threshold to adjacent floors, typical on new

accent top piece, floor to partial wall/window

sill height; install 5/8" MR Sheetrock above

partial height wall to MIN 4" ABV Ceiling

coordinate with mechanical & electrical

	•
Project No	21027
Date	June 2021
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Front of School





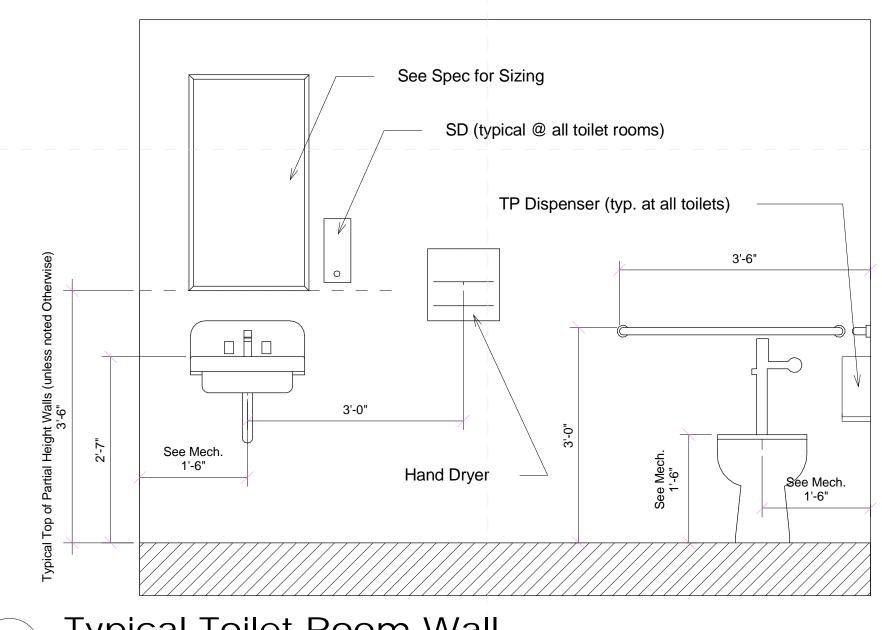


Mens 193



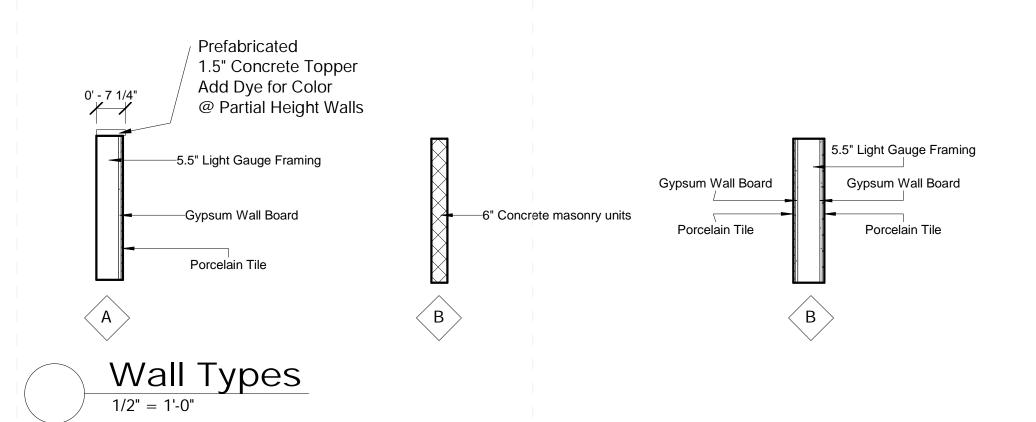
Girls 127

Boys 159



Typical Toilet Room Wall

3/4" = 1'-0"



1 RCP - Demolition

1/16" = 1'-0"

General RCP Demolition Notes

- Where ceiling transitions from new ceiling to existing ceiling, coordinate with Architect detail.
 Remove all existing ceiling grid & tile unless noted
- otherwise, as well as any wall fasteners and/or mastics attached therein where shown to be replaced by new materials
- 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.

 4. Verify all existing conditions. Notify architect of any
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- Burying or Burning of materials will not be permitted on
- Repair any damage caused to building construction identified to remain.
- 7. Refer to other discipline drawings for additional demolition information as noted.
- 8. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
 9. Where areas are removed or altered, patch, repair, & paint
- to match adjacent surface material and finish.

 10. No work in rooms with ceiling open to the structure above,
- unless noted otherwise.

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District

onsolidated

Ceiling Legend

Moisture Resistant Acoustical Lay In Ceiling

Colored Acoustical Lay In Ceiling

Vinyl Faced Acoustical Lay In Ceiling

Gypsum Board Ceiling

2x2 Acoustical Lay In Ceiling

Concealed Fastender Painted Metal Soffit

2x2 Fluorescent Fixture

Plaster/Stucco

⇒ Surface-Mounted Fluorescent Light Fixture

Recessed Can Light Fixture

9 1.000000 0a.v <u>1.9</u>.v. v.

HVAC Supply Grille

HVAC Return Grille

Exterior Wall Light

Open to Structure (OTS)

Design Development

 Project No
 21027

 Date
 June 2021

 Revisions
 Rev Date

 1
 10/05/2021

 2
 11/26/2021

A-041

Composite RCP

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District 38737

Consolidated

Sunflower

22 47 13 001 Install double drinking fountain here; coordinate with mechanical & electrical drawings

Specific Notes

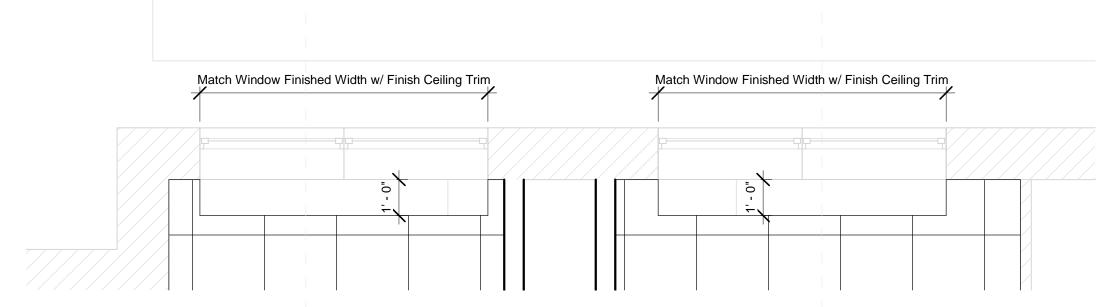
Design Development

	'
Project No	21027
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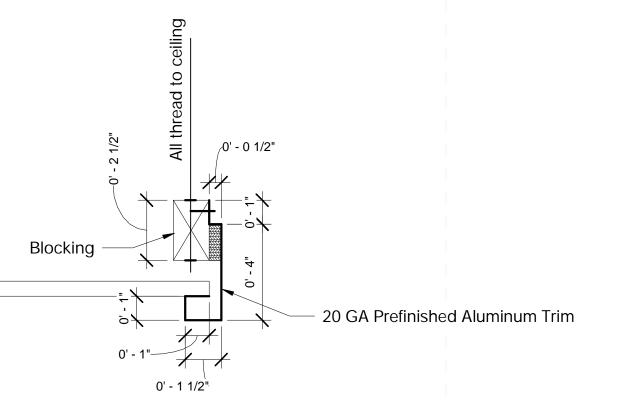


Floor Plan - New Construction

1/16" = 1'-0"



3 Detail @ Full Height Windows



Ceiling Edge Trim Detail

General RCP Notes

1. All ceiling heights shall be same as existing or lower, unless noted otherwise. 2. Contractor shall paint all surfaces above 8'-8" at wall, roof, and ceiling, as well as anything attached therein at all

exposed sections of ceilings where not covered by new 2x2 ACT, unless noted otherwise

3. Repair/replace any and all ceiling damaged due to construction activities.

4. Bent ceiling grid damaged due to construction activities shall be replaced or bent to appear as new in shape.

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p 228.374.1409

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Not For Construction

Distric

Olid

Ceiling Legend

Moisture Resistant Acoustical Lay In Ceiling

Colored Acoustical Lay In Ceiling

Vinyl Faced Acoustical Lay In Ceiling

Gypsum Board Ceiling

2x2 Acoustical Lay In Ceiling

Plaster/Stucco

Concealed Fastender Painted Metal Soffit

2x2 Fluorescent Fixture

⇒ Surface-Mounted Fluorescent Light Fixture

Recessed Can Light Fixture

HVAC Supply Grille

HVAC Return Grille

Exterior Wall Light

Interior Wall Light

Open to Structure (OTS)

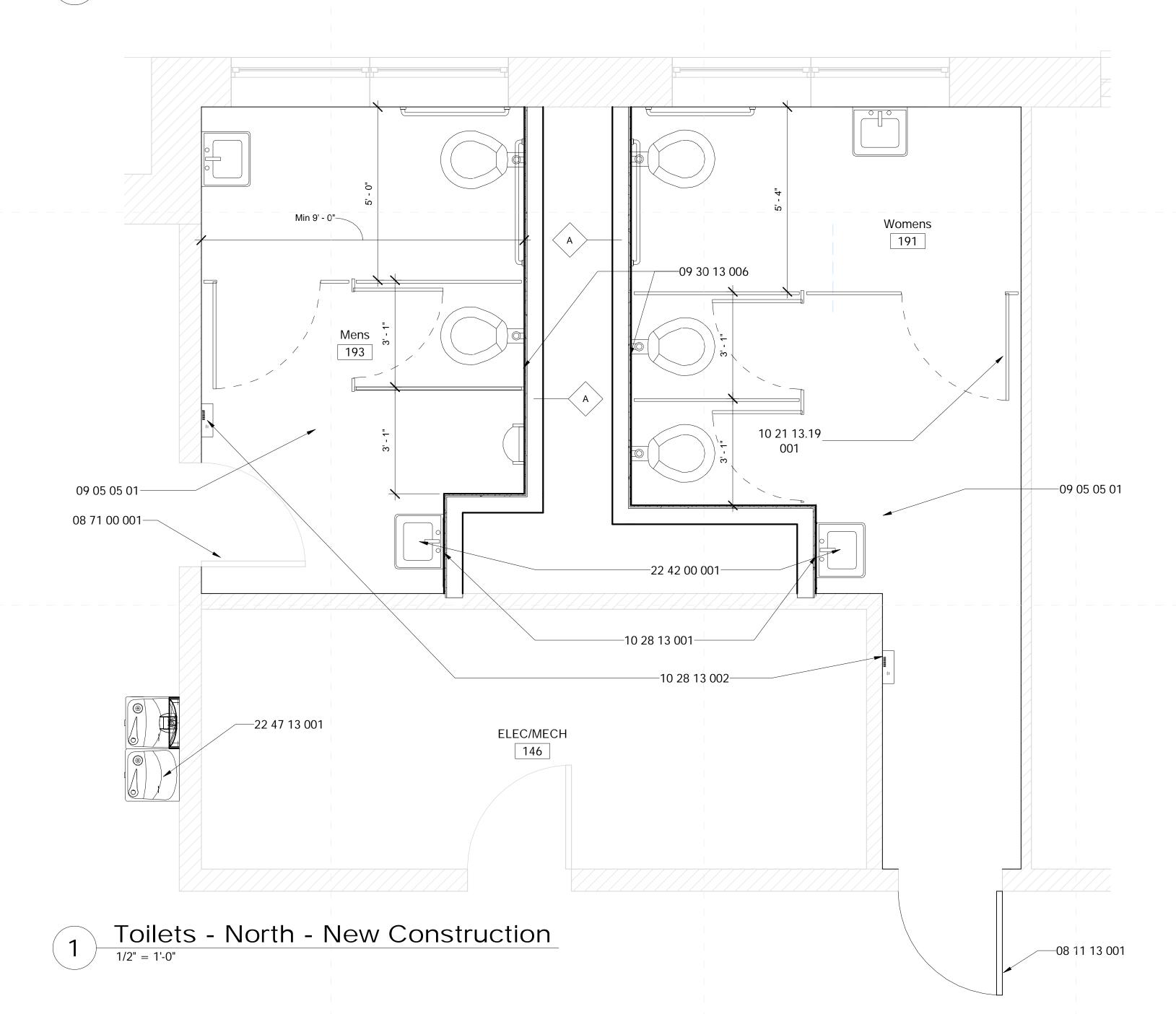
Design Development

21027 June 2021 Rev Date 10/05/2021 11/26/2021

A-141

Composite RCP

2 Toilets - North - Demolition



General RCP Demolition Notes

- 1. Where ceiling transitions from new ceiling to existing ceiling, coordinate with Architect detail.
- 2. Remove all existing ceiling grid & tile unless noted otherwise, as well as any wall fasteners and/or mastics attached therein where shown to be replaced by new
- materials.Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- 5. Burying or Burning of materials will not be permitted on
- 6. Repair any damage caused to building construction identified to remain.
- identified to remain.7. Refer to other discipline drawings for additional demolition
- information as noted.

 8. Existing loose school property to be the responsibility of
- the school district, removal of property by owner to be coordinated between the contractor and school district.
- 9. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
 10. No work in rooms with ceiling open to the structure above,
- No work in rooms with ceiling open to the structure abounless noted otherwise.

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Not For Construction

District

onsolidate

Sunflower

Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 004	Remove floor tile and substrate
08 11 13 001	Install metall door and frame to match existing for corrected swing
08 71 00 001	Replace all door hardware with new at existing leaf
09 05 05 01	Install leveling compound as needed for smooth appearance of new tile & a flush threshold to adjacent floors, typical on new floor tile
09 30 13 006	Install accent tile at this wall
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new
22 47 13 001	Install double drinking fountain here; coordinate with mechanical & electrical drawings

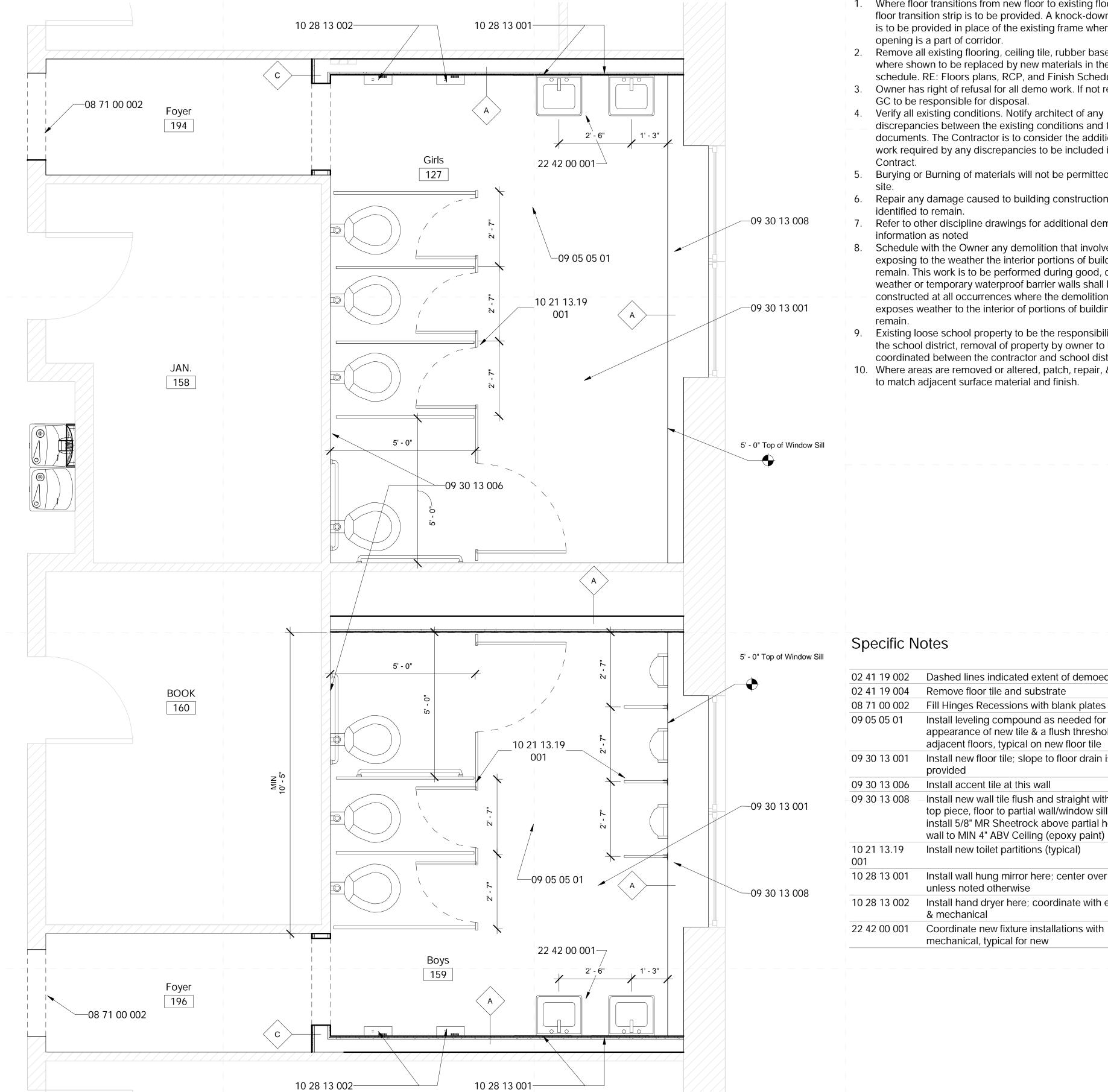
General Finish Plan Notes

- All flooring transitions are to occur at center line of door panel.
- 2. Install new tile at floors.
- 3. New Fixture locations shall be coordinated with mechanical
- Install new wall tile flush and straight floor to ceiling; typical
- at bathroom interior unless noted otherwise
 5. Install new tile base at all walls in bathrooms
- 6. Install new grab bars at all ADA & AMB toilets
- 7. Install moisture resistant back board at all new tile.

Design Development

Development	
Project No	21027
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Toilets - South - Demolition



Toilets - South - New Construction

General Demolition Notes

1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.

2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule

3. Owner has right of refusal for all demo work. If not retained,

GC to be responsible for disposal. 4. Verify all existing conditions. Notify architect of any

discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this

5. Burying or Burning of materials will not be permitted on

6. Repair any damage caused to building construction identified to remain.

7. Refer to other discipline drawings for additional demolition information as noted

8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolitionexposes weather to the interior of portions of buildings to

9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.

10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

AN ASSOCIATION Architects

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Biloxi, MS 39530 p 228.374.1409

Not For Construction

Distric

Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 004	Remove floor tile and substrate
08 71 00 002	Fill Hinges Recessions with blank plates & paint
09 05 05 01	Install leveling compound as needed for smooth appearance of new tile & a flush threshold to adjacent floors, typical on new floor tile
09 30 13 001	Install new floor tile; slope to floor drain is drain provided
09 30 13 006	Install accent tile at this wall
09 30-13 008-	 Install new wall-tile flush and straight with accent top piece, floor to partial wall/window sill height; install 5/8" MR Sheetrock above partial height wall to MIN 4" ABV Ceiling (epoxy paint)
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical

& mechanical

mechanical, typical for new

General Finish Plan Notes

1. All flooring transitions are to occur at center line of door

2. Install new tile at floors.

3. New Fixture locations shall be coordinated with mechanical

4. Install new wall tile flush and straight floor to ceiling; typical

at bathroom interior unless noted otherwise

5. Install new tile base at all walls in bathrooms

6. Install new grab bars at all ADA & AMB toilets 7. Install moisture resistant back board at all new tile.

Design Development

June 2021 Rev Date 10/05/2021

Demo tile wainscot; patch & repair substrate as need for new tile install 005 08 71 00 Replace all door hardware with new at existing leaf

09 05 05 01 Install leveling compound as needed for smooth appearance of new tile & a flush threshold to

adjacent floors, typical on new floor tile 09 30 13 Install new floor tile; slope to floor drain is drain 001 provided

09 30 13 Install new wall tile flush and straight, floor to 002 09 30 13 Install new wall tile flush and straight, floor to

ceiling at this plumbing wall only 005 Install accent tile at this wall 006

09 30 13 Tile floor to remain; patch and repair any damages as well as any alterations due to construction for finished look

O9 91 23 Paint wall tile and CMU floor to ceiling in this room only

10 21 13.19 Install new toilet partitions (typical)

10 28 13 Install wall hung mirror here; center over fixture unless noted otherwise

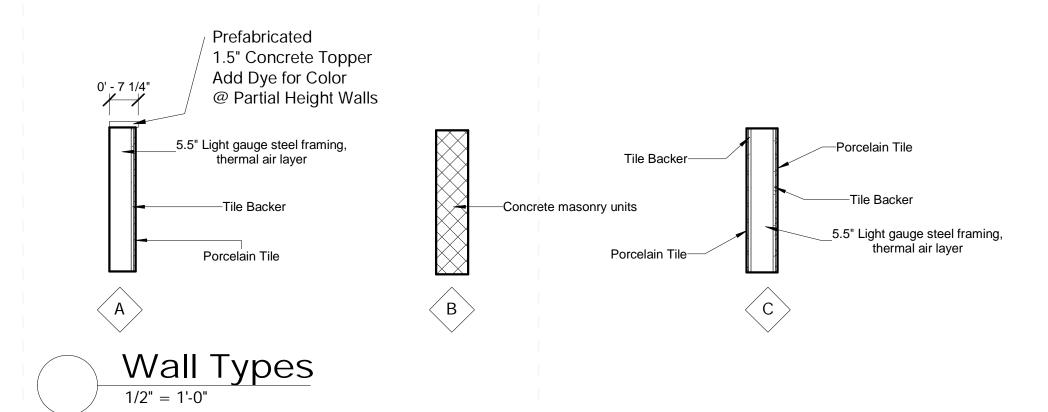
Install hand dryer here; coordinate with electrical & 002 mechanical

New fixtures throughout (typical); see plumbing

Coordinate new fixture installations with mechanical, typical for new

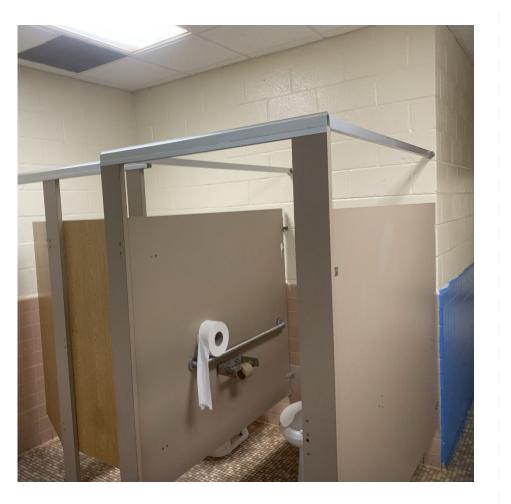
22 47 13 Install double drinking fountain here; coordinate with mechanical & electrical drawings

> See Spec for Sizing SD (typical @ all toilet rooms) TP Dispenser (typ. at all toilets) 3'-6" 3'-0" See Mech. 1'-6" Hand Dryer See Mech. 1'-6" Typical Toilet Room Wall
>
> 3/4" = 1'-0"

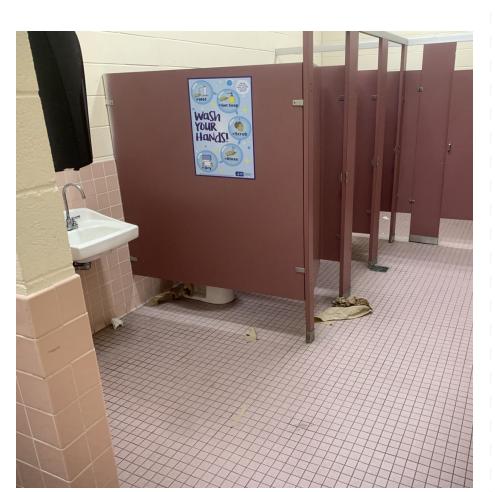




Front of School



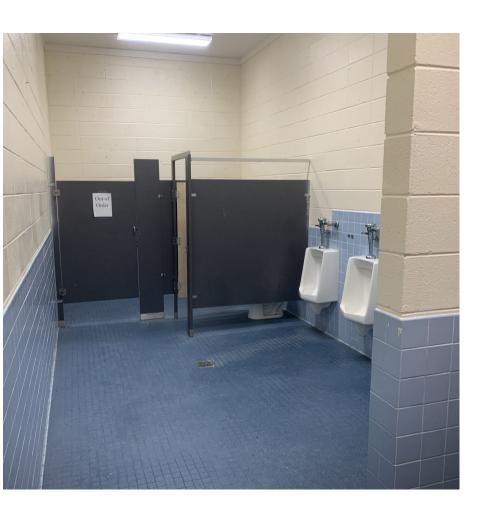
Typical Toilet Room



Gym Toilets



Typical Toilet Room



Gym Toilets



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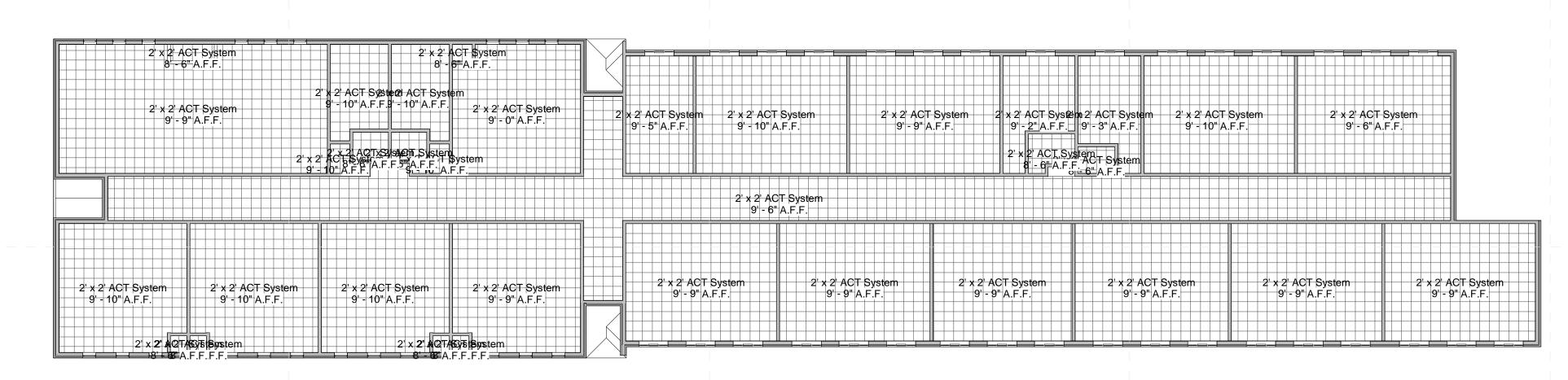
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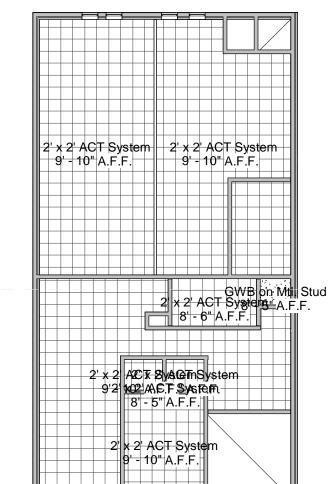
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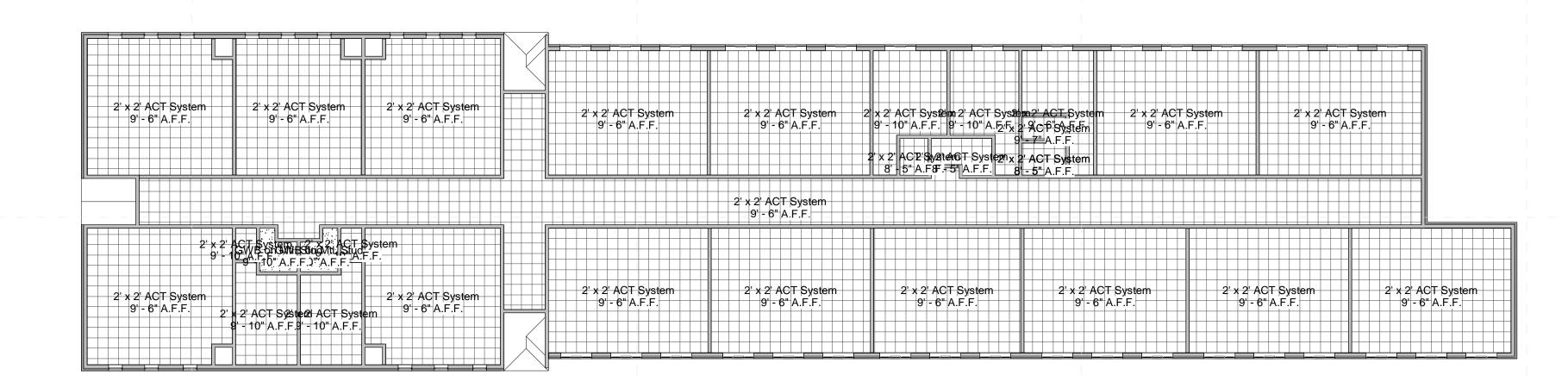
> District MS 38751 onsolidated Sunflower

Design Development

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Project No	00000
Date	Issue Date
Revisions	Rev Date
1	10/5/2021
0	11/0//0001

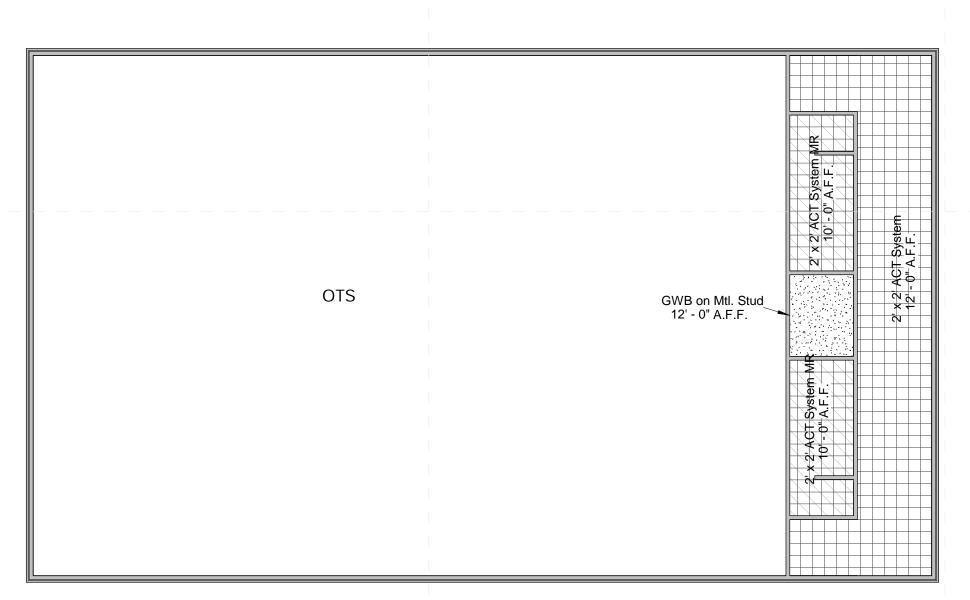




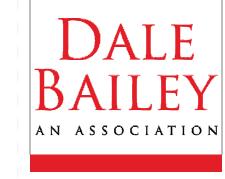


1 RCP - Demolition

1/16" = 1'-0"



2 RCP - Demolition Gym



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p 228.374.1409

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General RCP Demolition Notes

- 1. Where ceiling transitions from new ceiling to existing ceiling, coordinate with Architect detail.
- Remove all existing ceiling grid & tile unless noted otherwise, as well as any wall fasteners and/or mastics attached therein where shown to be replaced by new materials.
- 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- Burying or Burning of materials will not be permitted on site.
- 6. Repair any damage caused to building construction identified to remain.
- 7. Refer to other discipline drawings for additional demolition information as noted.
- Existing loose school property to be the responsibility of the school district, removal of property by owner to be
- coordinated between the contractor and school district.9. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- 10. No work in rooms with ceiling open to the structure above, unless noted otherwise.

Not For Construction

District

Ceiling Legend

Moisture Resistant Acoustical Lay In Ceiling

Colored Acoustical Lay In Ceiling

Vinyl Faced Acoustical Lay In Ceiling

2x2 Acoustical Lay In Ceiling

Gypsum Board Ceiling

Plaster/Stucco

Concealed Fastender Painted Metal Soffit

2x2 Fluorescent Fixture

Surface-Mounted Fluorescent Light Fixture

O Recessed Can Light Fixture

HVAC Supply Grille

HVAC Return Grille

Exterior Wall Light

Open to Structure (OTS)

Design Development

Project No 00000

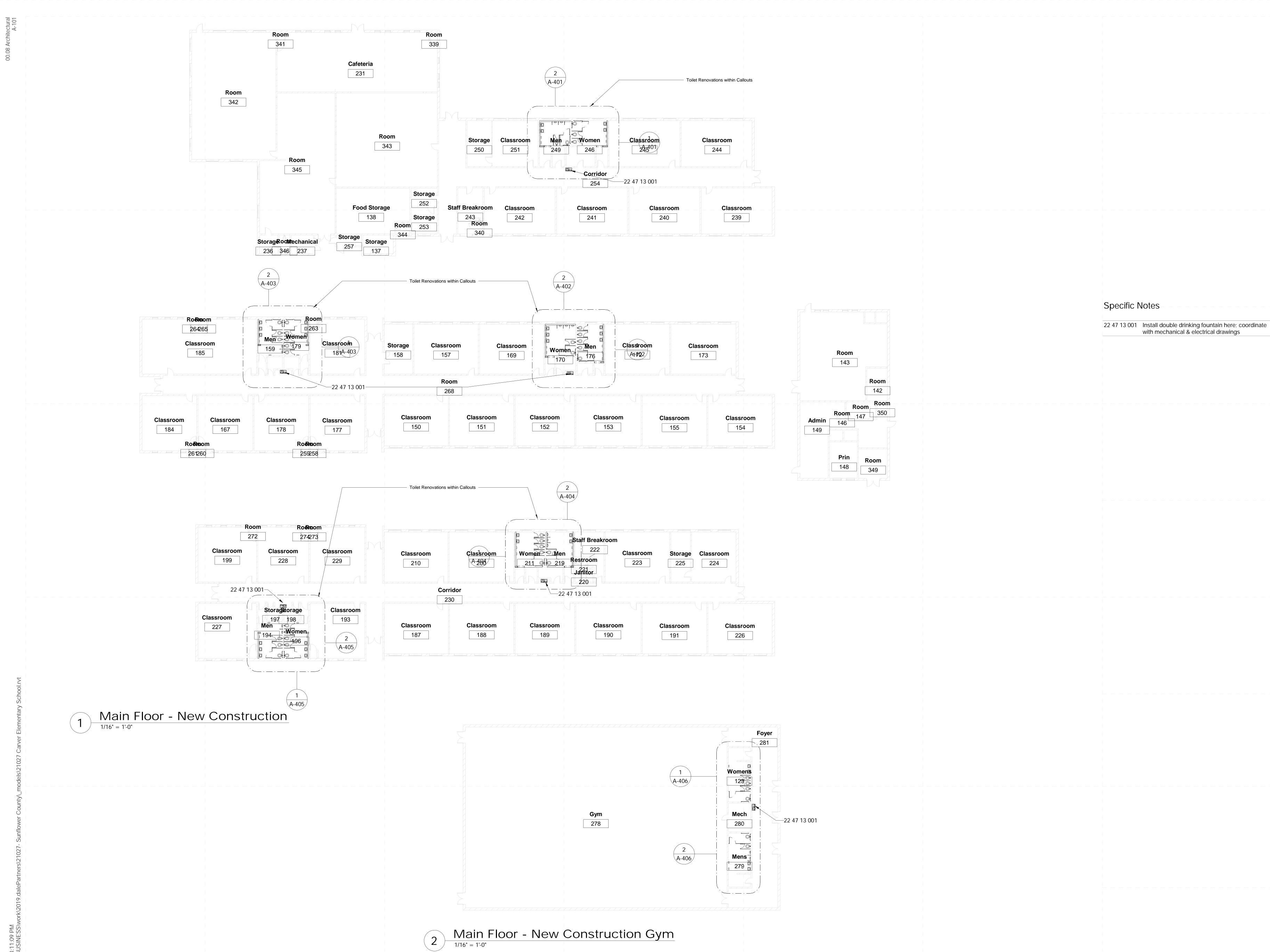
Date Issue Date

Revisions Rev Date

1 10/5/2021
2 11/26/2021

A-041

Existing RCP



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Architects

One Jackson Place 250 188 East Capitol Street Jackson, MS 39201 p 601.352.5411

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District MS 38751 onsolidated

Design

Issue Date Rev Date 10/5/2021 11/26/2021

A-101

New Floor Plan

2 RCP - New Construction Gym

General RCP Notes

1. All ceiling heights shall be same as existing or lower, unless

noted otherwise.
2. Contractor shall paint all surfaces above 10'-0" at wall, roof, and ceiling, as well as anything attached therein at all exposed sections of ceilings where not covered by new 2x2 ACT, unless noted otherwise

3. Repair/replace any and all ceiling damaged due to construction activities.

 Bent ceiling grid damaged due to construction activities shall be replaced or bent to appear as new in shape.

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Not For Construction

District

olidate

Ceiling Legend

Moisture Resistant Acoustical Lay In Ceiling

Colored Acoustical Lay In Ceiling

Vinyl Faced Acoustical Lay In Ceiling

Gypsum Board Ceiling

2x2 Acoustical Lay In Ceiling

Plaster/Stucco

Concealed Fastender Painted Metal Soffit

2x2 Fluorescent Fixture

Recessed Can Light Fixture

⇒ Surface-Mounted Fluorescent Light Fixture

HVAC Supply Grille

HVAC Return Grille

■ Exterior Wall Light

Open to Structure (OTS)

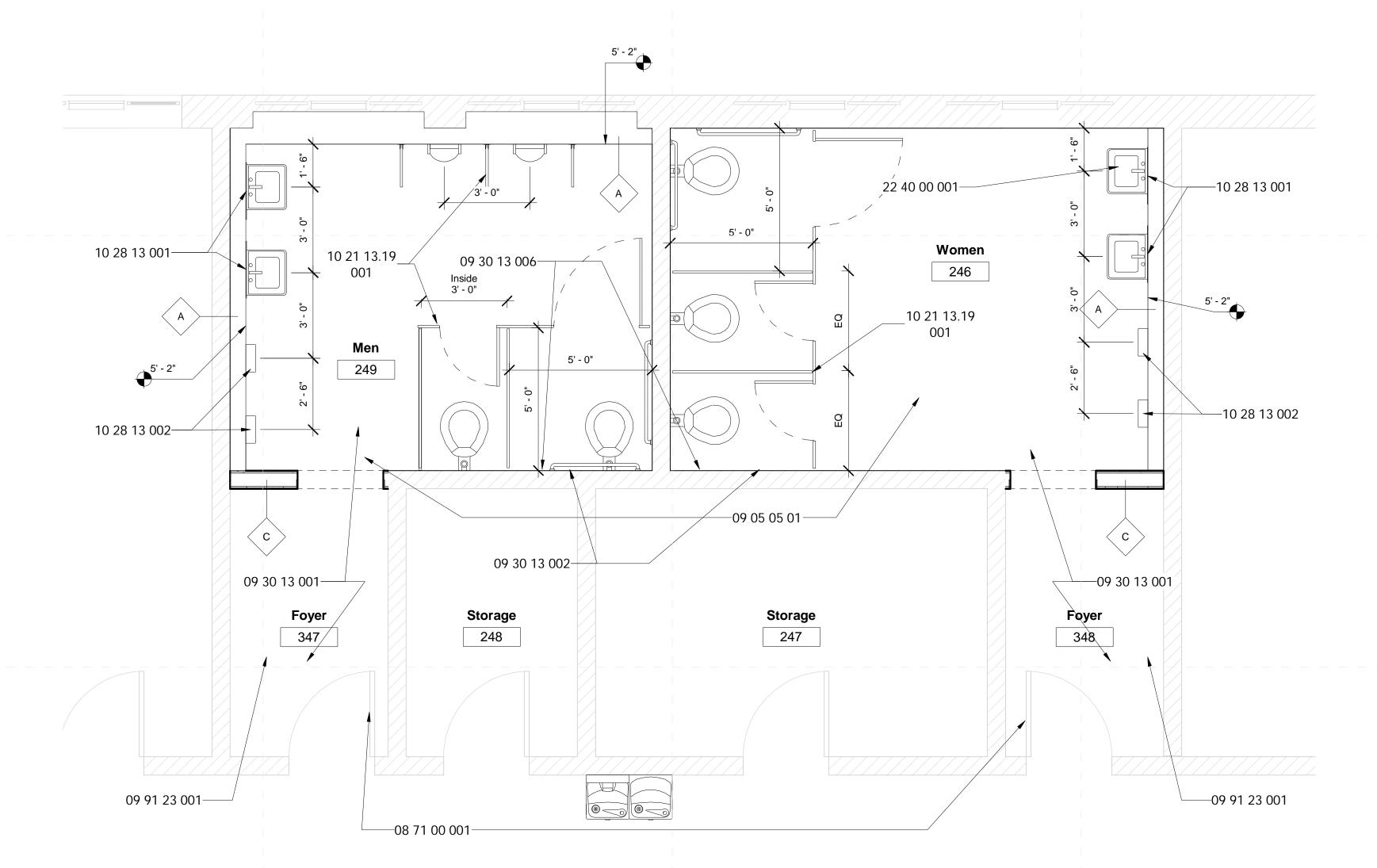
Design Development

Project No 00000
Date Issue Date
Revisions Rev Date
1 10/5/2021
2 11/26/2021

A-141

New RCP

2 Main Floor - Demolition - W Toilets
3/8" = 1'-0"



Main Floor - New Construction - W Toilets

3/8" = 1'-0"

General Demolition Notes

- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- 2. Remove all existing flooring, ceiling tile, rubber base, etc... where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- 4. Verify all existing conditions. Notify architect of any -discrepancies between the existing conditions and thesedocuments. The Contractor is to consider the additional work required by any discrepancies to be included in this
- 5. Burying or Burning of materials will not be permitted on
- 6. Repair any damage caused to building construction identified to remain.
- 7. Refer to other discipline drawings for additional demolition information as noted
- 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to
- remain. 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be
- coordinated between the contractor and school district. 10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

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District MS 38751

Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 004	Remove floor tile and substrate
02 41 19 005	Demo tile wainscot; patch & repair substrate as need for new tile install
08 71 00 001	Replace all door hardware with new at existing leaf
09 05 05 01	Install leveling compound as needed for smooth appearance of new tile & a flush threshold to adjacent floors, typical on new floor tile
09 30 13 001	Install new floor tile; slope to floor drain is drain provided
09 30 13 002	Install new wall tile flush and straight, floor to ceiling
09 30 13 006	Install accent tile at this wall
09 91 23 001	Paint wall tile and CMU floor to ceiling in this room only
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 40 00 001	New fixtures throughout (typical); see plumbing

Design

Issue Date

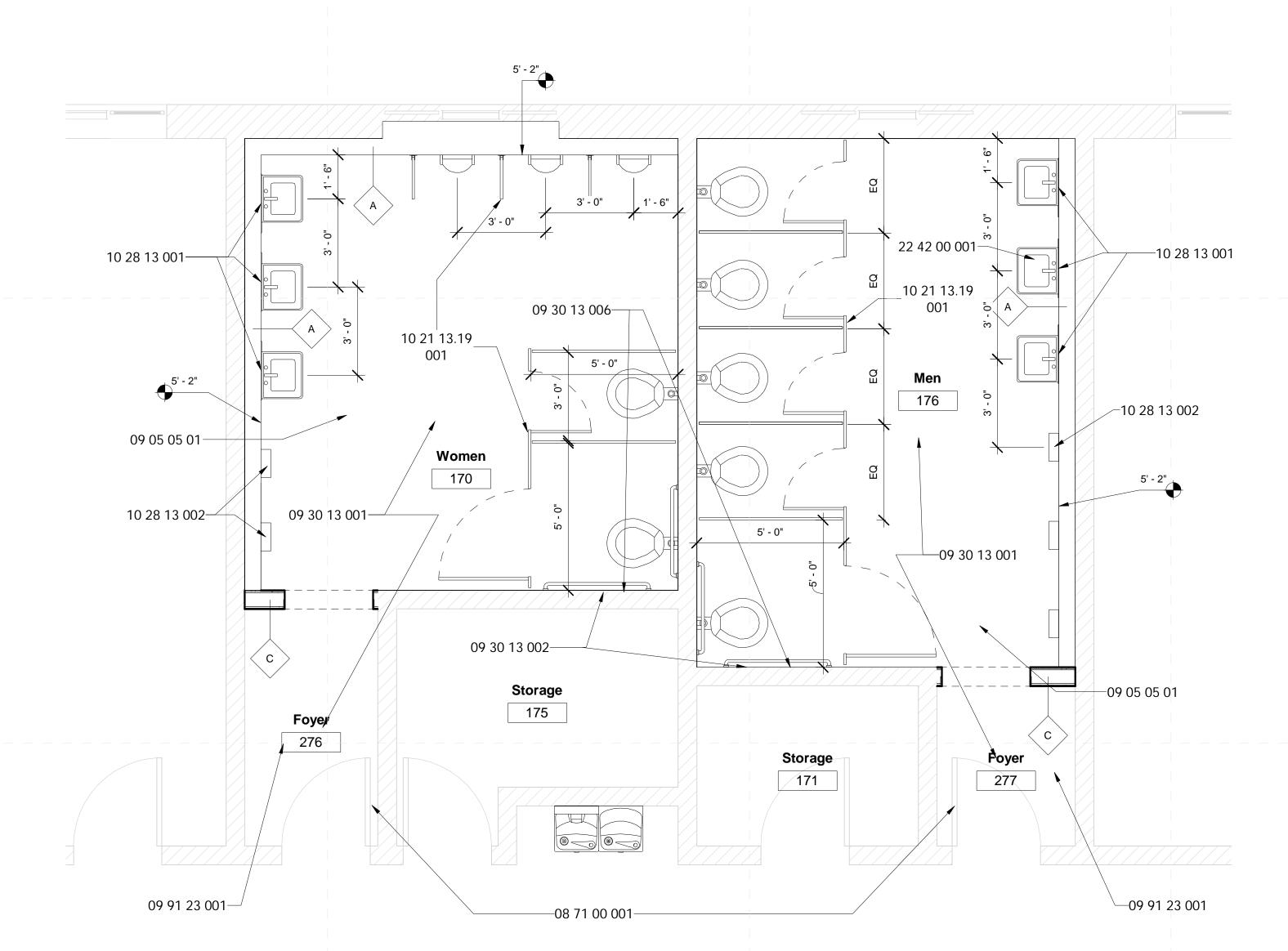
Rev Date 10/5/2021

11/26/2021

General Finish Plan Notes

- 1. All flooring transitions are to occur at center line of door
- 2. Install new tile at floors, unless noted otherwise. 3. New Fixture locations shall be coordinated with mechanical
- 4. Install new wall tile flush and straight with accent top piece, floor to 5'-2" AFF; typical at bathroom interior unless noted
- 5. Install new tile base at all walls in bathrooms
- 6. Install new grab bars at all ADA & AMB toilets
- 7. Paint all exposed CMU at renovated toilets.

2 Main Floor - Demolition - Central N Toilets
3/8" = 1'-0"



1 Main Floor - New Construction - Central N Toilets
3/8" = 1'-0"

General Demolition Notes

- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- 2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- schedule. RE: Floors plans, RCP, and Finish Schedule

 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- 5. Burying or Burning of materials will not be permitted on site.
- 6. Repair any damage caused to building construction identified to remain.
- Refer to other discipline drawings for additional demolition information as noted
- 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to
- 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- 10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

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Not For Construction

District MS 38751

Specific Notes

02 41 19 004	Remove floor tile and substrate
02 41 19 005	Demo tile wainscot; patch & repair substrate as need for new tile install
08 71 00 001	Replace all door hardware with new at existing leaf
09 05 05 01	Install leveling compound as needed for smooth appearance of new tile & a flush threshold to adjacent floors, typical on new floor tile
09 30 13 001	Install new floor tile; slope to floor drain is drain provided
09 30 13 002	Install new wall tile flush and straight, floor to ceiling
09 30 13 006	Install accent tile at this wall
09 91 23 001	Paint wall tile and CMU floor to ceiling in this room only
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with

electrical & mechanical

mechanical, typical for new

22 42 00 001 Coordinate new fixture installations with

02 41 19 002 Dashed lines indicated extent of demoed work

Design
Development

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Install new tile base at all walls in bathroomsInstall new grab bars at all ADA & AMB toiletsPaint all exposed CMU at renovated toilets.

2. Install new tile at floors, unless noted otherwise.

1. All flooring transitions are to occur at center line of door

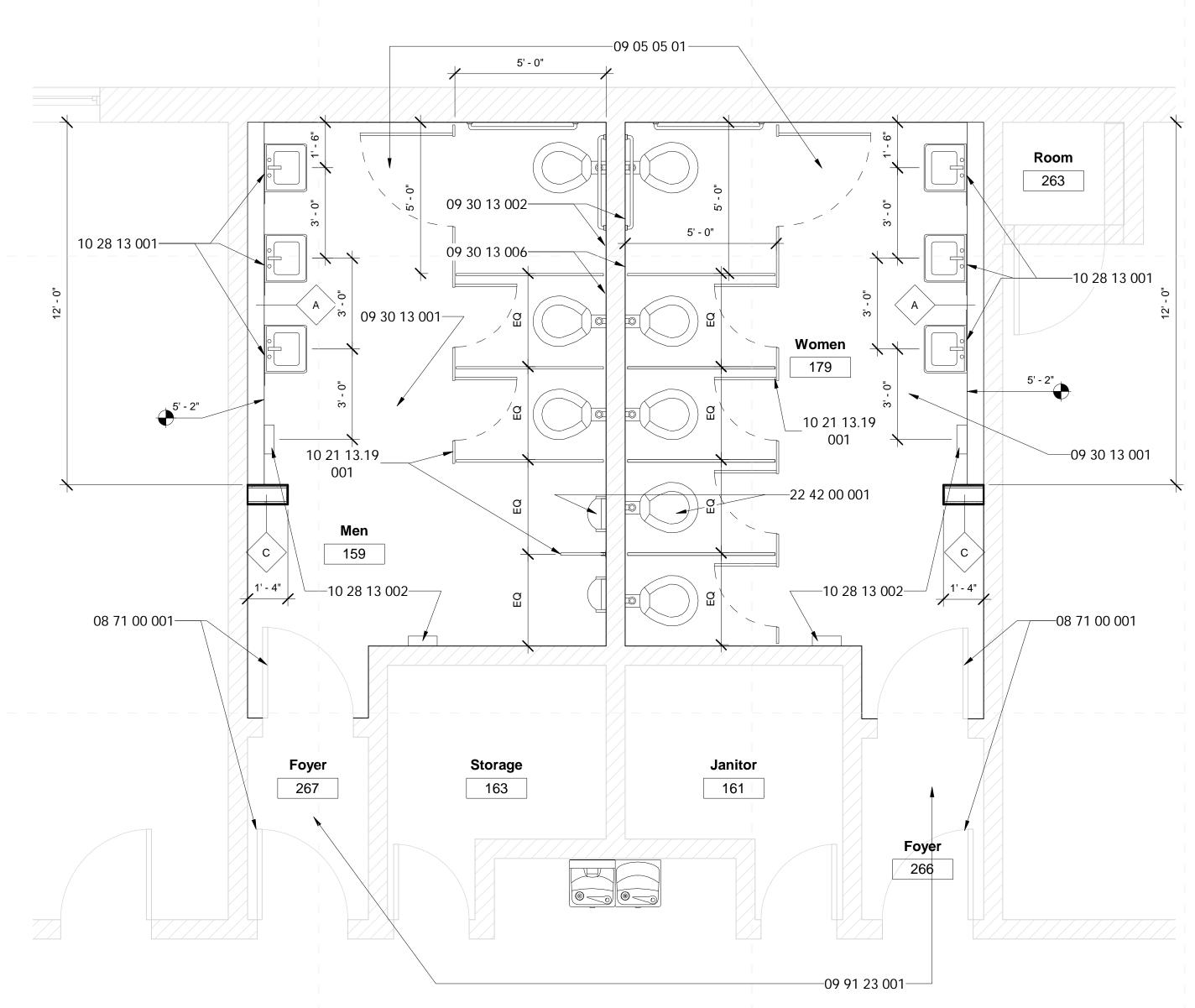
3. New Fixture locations shall be coordinated with mechanical

4. Install new wall tile flush and straight with accent top piece,

floor to 5'-2" AFF; typical at bathroom interior unless noted

General Finish Plan Notes

Main Floor - Demolition - Central S Toilets



Main Floor - New Construction - Central S Toilets

General Demolition Notes

- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the
- opening is a part of corridor. 2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this
- 5. Burying or Burning of materials will not be permitted on
- 6. Repair any damage caused to building construction

information as noted

- identified to remain. 7. Refer to other discipline drawings for additional demolition
- 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
- 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- 10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

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Not For Construction

District

Specific Notes

	02 41 19 002	Dashed lines indicated extent of demoed work
	02 41 19 004	Remove floor tile and substrate
	02 41 19 005	Demo tile wainscot; patch & repair substrate as need for new tile install
	08 71 00 001	Replace all door hardware with new at existing leaf
	09 05 05 01	Install leveling compound as needed for smooth appearance of new tile & a flush threshold to adjacent floors, typical on new floor tile
H	09 30 13 001	Install new floor tile; slope to floor drain is drain provided
	09 30 13 002	Install new wall tile flush and straight, floor to ceiling
1	09 30 13 006	Install accent tile at this wall
	09 91 23 001	Paint wall tile and CMU floor to ceiling in this room only
	10 21 13.19 001	Install new toilet partitions (typical)
	10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
	10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
	22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

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floor to 5'-2" AFF; typical at bathroom interior unless noted otherwise

1. All flooring transitions are to occur at center line of door

3. New Fixture locations shall be coordinated with mechanical

4. Install new wall tile flush and straight with accent top piece,

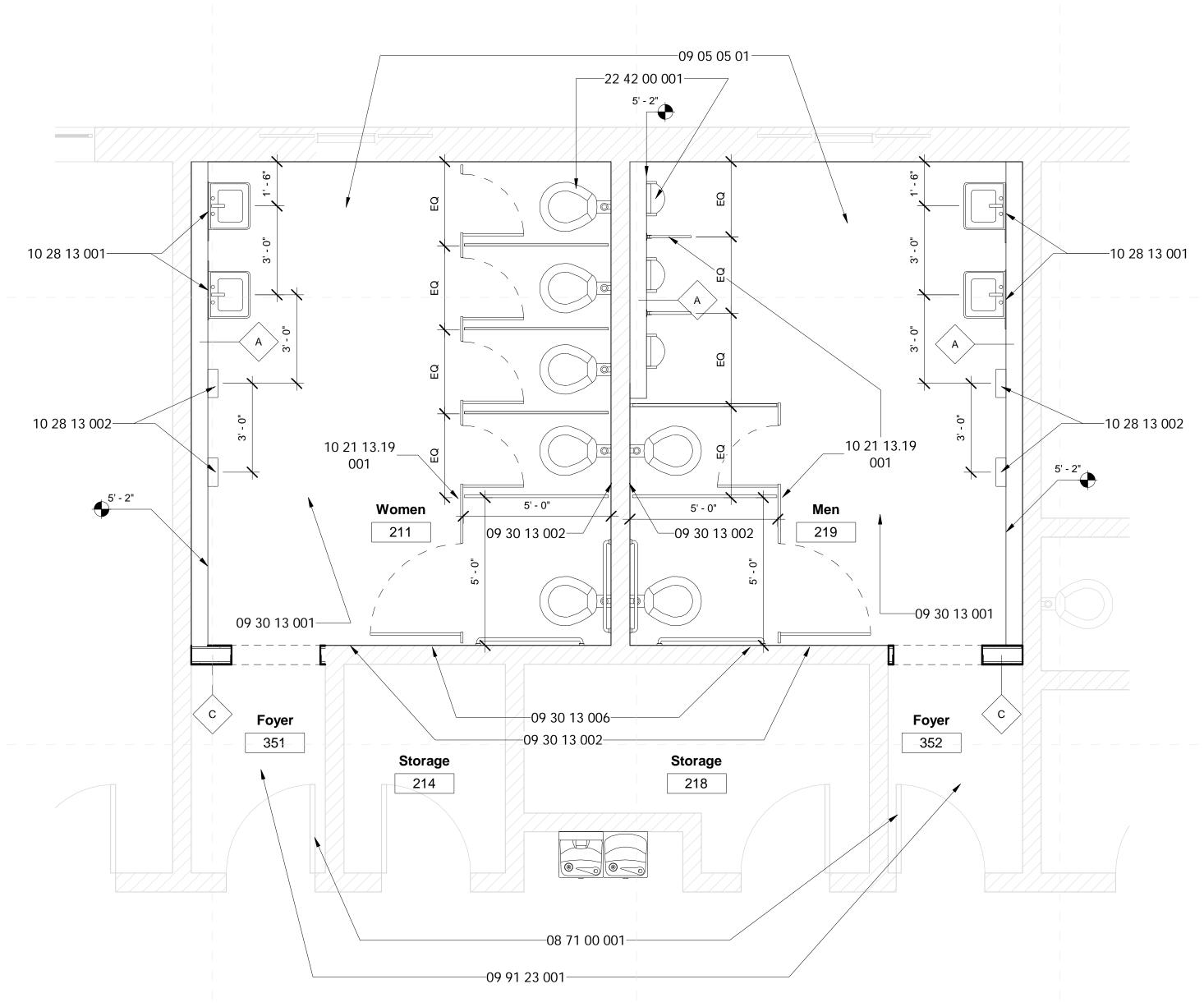
5. Install new tile base at all walls in bathrooms

2. Install new tile at floors, unless noted otherwise.

General Finish Plan Notes

6. Install new grab bars at all ADA & AMB toilets 7. Paint all exposed CMU at renovated toilets.

2 Main Floor - Demolition - E N Toilets



Main Floor - New Construction - E N Toilets

3/8" = 1'-0"

General Demolition Notes

- Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- opening is a part of corridor.

 2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- Owner has right of refusal for all demo work. If not retained,
 GC to be responsible for disposal.
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- 5. Burying or Burning of materials will not be permitted on
- 6. Repair any damage caused to building construction identified to remain.
- Refer to other discipline drawings for additional demolition information as noted
- 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- coordinated between the contractor and school district.

 10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

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Not For Construction

District MS 38751

olidate

Specific Notes

41 19 002	Dashed lines indicated extent of demoed work
41 19 004	Remove floor tile and substrate
41 19 005	Demo tile wainscot; patch & repair substrate as need for new tile install
71 00 001	Replace all door hardware with new at existing leaf
05 05 01	Install leveling compound as needed for smooth appearance of new tile & a flush threshold to adjacent floors, typical on new floor tile
30 13 001	Install new floor tile; slope to floor drain is drain provided
30 13 002	Install new wall tile flush and straight, floor to ceiling
30 13 006	Install accent tile at this wall
91 23 001	Paint wall tile and CMU floor to ceiling in this room only
21 13.19 001	Install new toilet partitions (typical)
28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
28 13 002	Install hand dryer here; coordinate with electrical & mechanical
42 00 001	Coordinate new fixture installations with mechanical, typical for new

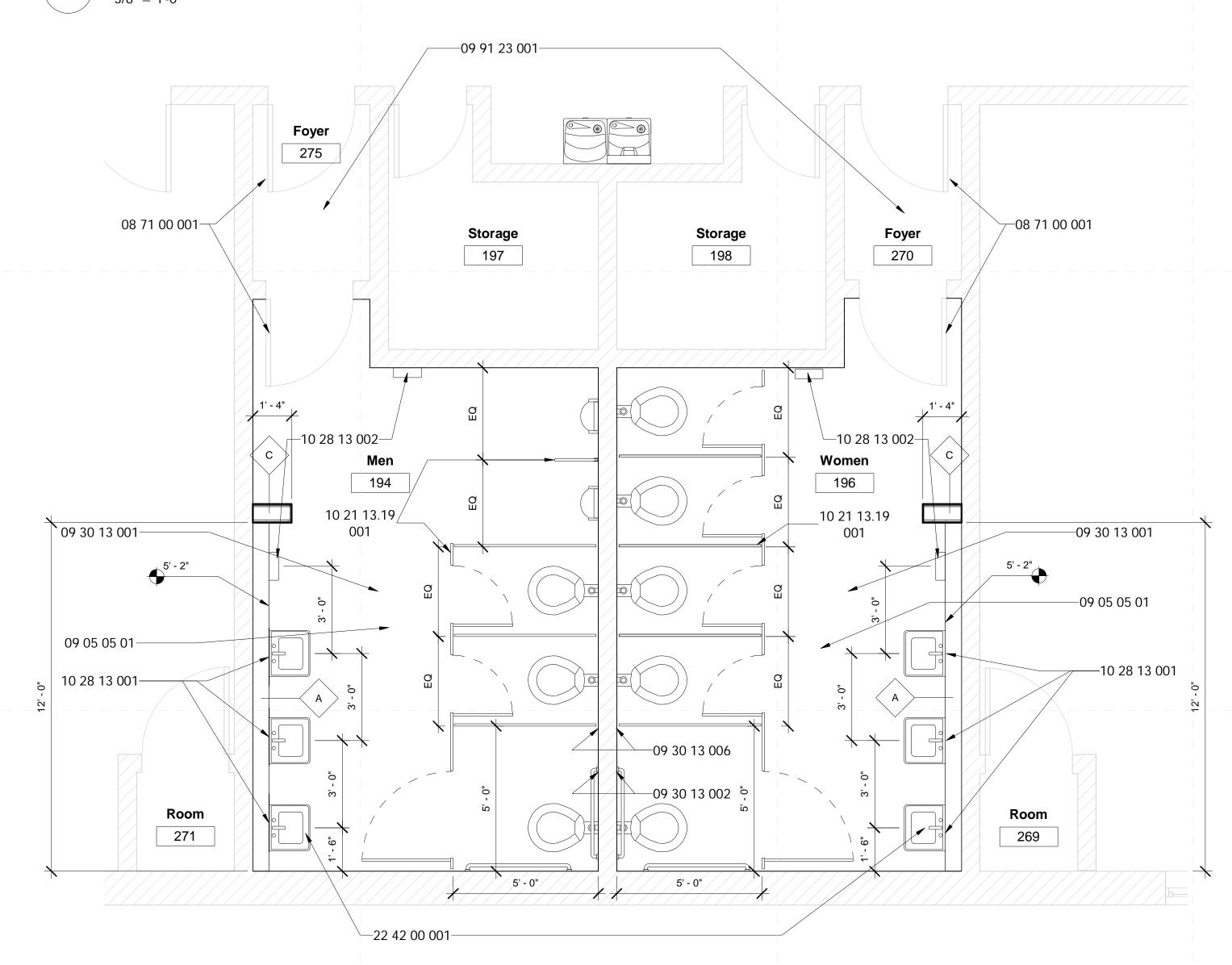
General Finish Plan Notes

- All flooring transitions are to occur at center line of door
 panel
- Install new tile at floors, unless noted otherwise.
- 3. New Fixture locations shall be coordinated with mechanical sheets.
- Install new wall tile flush and straight with accent top piece, floor to 5'-2" AFF; typical at bathroom interior unless noted otherwise
- 5. Install new tile base at all walls in bathrooms6. Install new grab bars at all ADA & AMB toilets
- 7. Paint all exposed CMU at renovated toilets.

Design Development

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1 Main Floor - Demolition - E S Toilets



Main Floor - New Construction - E S Toilets

3/8" = 1'-0"

General Demolition Notes

- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc..
 where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
 Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- 5. Burying or Burning of materials will not be permitted on
- 6. Repair any damage caused to building construction identified to remain.
- Refer to other discipline drawings for additional demolition information as noted
- 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to
- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
 Where areas are removed or altered, patch, repair & paint
- 10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

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Not For Construction

istric

olidate

Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 004	Remove floor tile and substrate
02 41 19 005	Demo tile wainscot; patch & repair substrate as need for new tile install
08 71 00 001	Replace all door hardware with new at existing leaf
09 05 05 01	Install leveling compound as needed for smooth appearance of new tile & a flush threshold to adjacent floors, typical on new floor tile
09 30 13 001	Install new floor tile; slope to floor drain is drain provided
09 30 13 002	Install new wall tile flush and straight, floor to ceiling
09 30 13 006	Install accent tile at this wall
09 91 23 001	Paint wall tile and CMU floor to ceiling in this room only
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

General Finish Plan Notes

- All flooring transitions are to occur at center line of door panel.
- Install new tile at floors, unless noted otherwise.
 New Fixture locations shall be coordinated with mechanical shorts.
- 4. Install new wall tile flush and straight with accent top piece, floor to 5'-2" AFF; typical at bathroom interior unless noted otherwise
- 5. Install new tile base at all walls in bathrooms
- 6. Install new grab bars at all ADA & AMB toilets7. Paint all exposed CMU at renovated toilets.

Design Development

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02 41 19 002

279

09 30 13 007-

Main Floor - Demolition - Gym Toilets
3/8" = 1'-0"

09 30 13 007—

Womens

123

Main Floor - New Construction - Gym Toilets

3/8" = 1'-0"

General Demolition Notes

- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- 2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish
- schedule. RE: Floors plans, RCP, and Finish Schedule 3. Owner has right of refusal for all demo work. If not retained,
- GC to be responsible for disposal. 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional

work required by any discrepancies to be included in this

- Contract. 5. Burying or Burning of materials will not be permitted on
- 6. Repair any damage caused to building construction
- identified to remain.
- 7. Refer to other discipline drawings for additional demolition information as noted
- 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to
- 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- 10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

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District MS 38751

Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 005	Demo tile wainscot; patch & repair substrate as need for new tile install
09 30 13 005	Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
09 30 13 006	Install accent tile at this wall
09 30 13 007	Tile floor to remain; patch and repair any damages as well as any alterations due to construction for finished look
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 40 00 001	New fixtures throughout (typical); see plumbing

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4. Install new wall tile flush and straight with accent top piece, floor to 5'-2" AFF; typical at bathroom interior unless noted

1. All flooring transitions are to occur at center line of door

3. New Fixture locations shall be coordinated with mechanical

otherwise 5. Install new tile base at all walls in bathrooms

2. Install new tile at floors, unless noted otherwise.

General Finish Plan Notes

6. Install new grab bars at all ADA & AMB toilets 7. Paint all exposed CMU at renovated toilets.

A-406

Gym Toilets

07 62 00 001 Cap wall end with prefinished flashing trim prior to finish tile install; overlay trim with tile 08 01 10 001 Remove Door Leaves; patch hinges recessions with plate covers & paint to match jamb

09 29 00 002 Overlay existing with 1/2" MR drywall, glued and screwed, finished to level 4, primed, & painted (typical above partial height wall at toilet room

09 30 13 001 Install new floor tile; slope to floor drain is drain 09 30 13 002 Install new wall tile flush and straight, floor to

09 30 13 004 Prep surface for new tile install; contractor shall be repsonsible for issues concerning lack of adhesion between mortar and substrates as

well as levelness of finished tile 09 30 13 006 Install accent tile at this wall

10 21 13.19 Install new toilet partitions (typical)

10 28 13 001 Install wall hung mirror here; center over fixture unless noted otherwise

10 28 13 002 Install hand dryer here; coordinate with

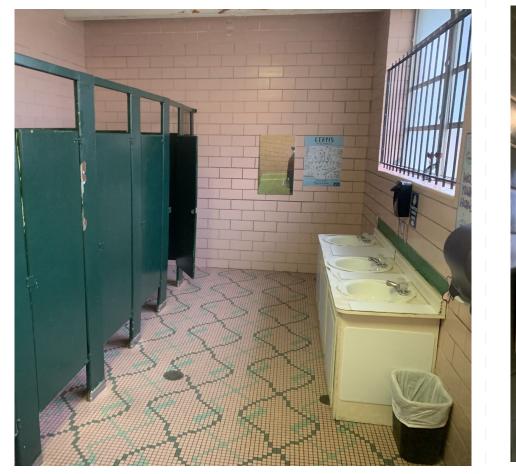
electrical & mechanical 10 28 13 003 Install new ADA/AMD Grab bars here 22 42 00 001 Coordinate new fixture installations with

mechanical, typical for new 22 47 13 001 Install double drinking fountain here; coordinate with mechanical & electrical drawings

22 47 13 002 Install single drinking fountain here; coordinate with mechanical & electrical drawings



Front of School



Womens 65

See Spec for Sizing

3'-0"

Hand Dryer

Porcelain tile, 4", white

__5.5" Light gauge steel framing, thermal air layer

Porcelain tile, 4", white

See Mech. 1'-6"

/ Prefabricated

_5.5" Light gauge steel framing, thermal air layer

/5/8" Tile Backer

Porcelain tile, 4", white

Wall Types

1/2" = 1'-0"

1.5" Concrete Topper

Add Dye for Color

@ Partial Height Walls

5/8" Gypsum Wall Board—

Typical Toilet Room Wall

3/4" = 1'-0"

SD (typical @ all toilet rooms)

TP Dispenser (typ. at all toilets)

3'-6"

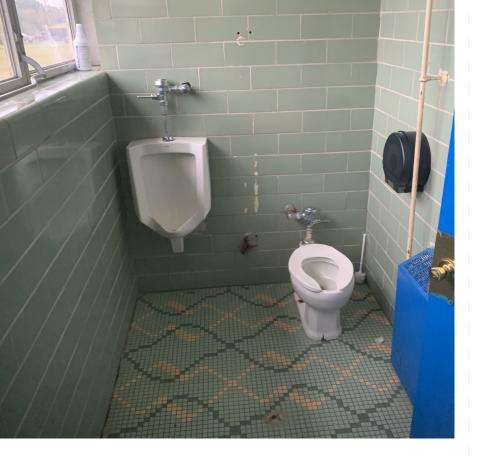
See Mech. 1'-6"

5.5" Light gauge steel framing, thermal air layer

5/8" Tile Backer

Porcelain tile, 4", white







Womens 119

Mens 118

Design

Development	
005	
June 2021	
Rev Date	
10/5/2021	
11/26/2021	

Sunflower

DALE

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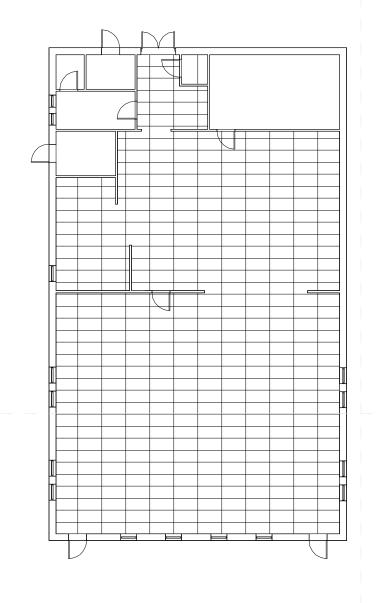
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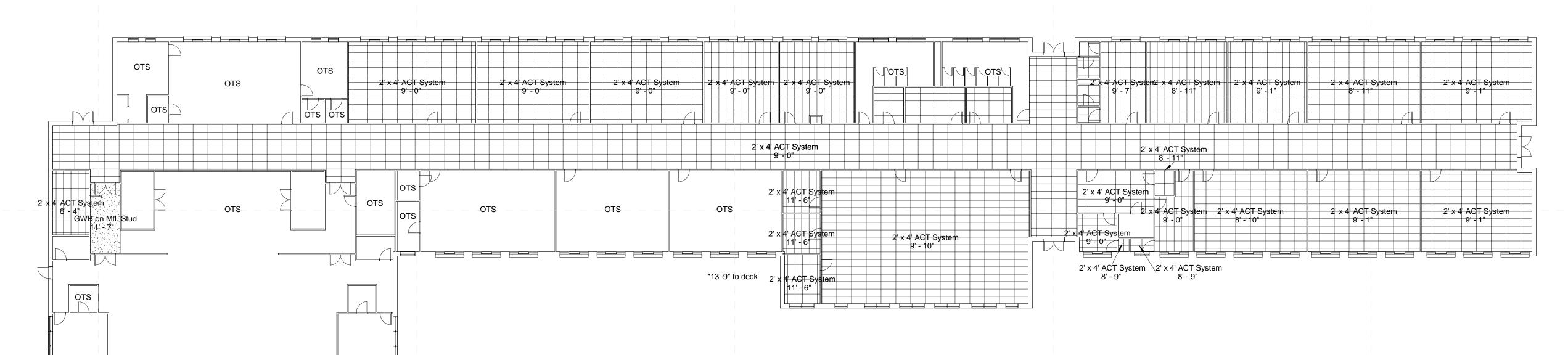
Not For

Construction

Distric



2' x 4' ACT System 2' x 4' ACT System 9' - 0" 13'-9" sloped down to 9'-1"



OTS

Not in Contract

General RCP Demolition Notes

- 1. Where ceiling transitions from new ceiling to existing
- ceiling, coordinate with Architect detail. 2. Remove all existing ceiling grid & tile unless noted otherwise, as well as any wall fasteners and/or mastics attached therein where shown to be replaced by new
- 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- 5. Burying or Burning of materials will not be permitted on
- 6. Repair any damage caused to building construction identified to remain.
- 7. Refer to other discipline drawings for additional demolition
- information as noted. 8. Existing loose school property to be the responsibility of the school district, removal of property by owner to be
- coordinated between the contractor and school district. 9. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- 10. No work in rooms with ceiling open to the structure above, unless noted otherwise.

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Distric

Ceiling Legend

Moisture Resistant Acoustical Lay In Ceiling

Colored Acoustical Lay In Ceiling

Vinyl Faced Acoustical Lay In Ceiling

2x2 Acoustical Lay In Ceiling

Concealed Fastender Painted Metal Soffit

2x2 Fluorescent Fixture

Surface-Mounted Fluorescent Light Fixture

Recessed Can Light Fixture

HVAC Supply Grille

HVAC Return Grille

Exterior Wall Light

Gypsum Board Ceiling

Plaster/Stucco

Interior Wall Light

Open to Structure (OTS)

Design Development

June 2021 Rev Date 10/5/2021

A-041

Composite RCP

Architects

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Not For Construction

District

Consolidated

Sunflower

Specific Notes

with mechanical & electrical drawings 22 47 13 002 Install single drinking fountain here; coordinate with mechanical & electrical drawings

22 47 13 001 Install double drinking fountain here; coordinate

Lounge 53 54 56 57 Room RoomRoom 109 108 _22 47 13 001 Stage 73 -Classroom 66 Storage 52 Storage 51 Locker Room Locker Room 46 50 Gym 43 Locker Room Locker Room 48 44 A-402/ Storage 47 Shower 49 22 47 13 002 1 Main Floor - New Construction

Classroom

No Work in this building

Kitchen

93

Storage 91

Storage 87

Classroom

84

-Classroom

79

Classroom

82

Classroom

81

Classroom

83

Classroom

80

Computer Lab

Classroom

Office 74

Vault Office

Office Vault Office
78 Rooktoom
76

101100

Cafeteria 92

1 A-401

Classroom

58

Classroom

67

Classroom

59

-Classroom

68

60

112

Storage

69

Storage 70

Storage 71

Classroom

2 A-401

Foyer Jan Storage Book Roombyer 114 62 63 64 113

Classroom

72

Design Development

June 2021 Rev Date 10/5/2021 11/26/2021

A-101

Composite Floor Plan

RCP - New Construction

1/16" = 1'-0"

2 Typical Ceiling
3/16" = 1'-0"

General RCP Notes

1. All ceiling heights shall be same as existing or lower, unless

noted otherwise. 2. Contractor shall paint all surfaces above 8'-8" at wall, roof, and ceiling, as well as anything attached therein at all exposed sections of ceilings where not covered by new 2x2

3. Repair/replace any and all ceiling damaged due to

4. Bent ceiling grid damaged due to construction activities shall be replaced or bent to appear as new in shape.

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Not For

Construction

Distric

Moisture Resistant Acoustical Lay In Ceiling

Colored Acoustical Lay In Ceiling

Concealed Fastender Painted Metal Soffit

2x2 Fluorescent Fixture

Recessed Can Light Fixture

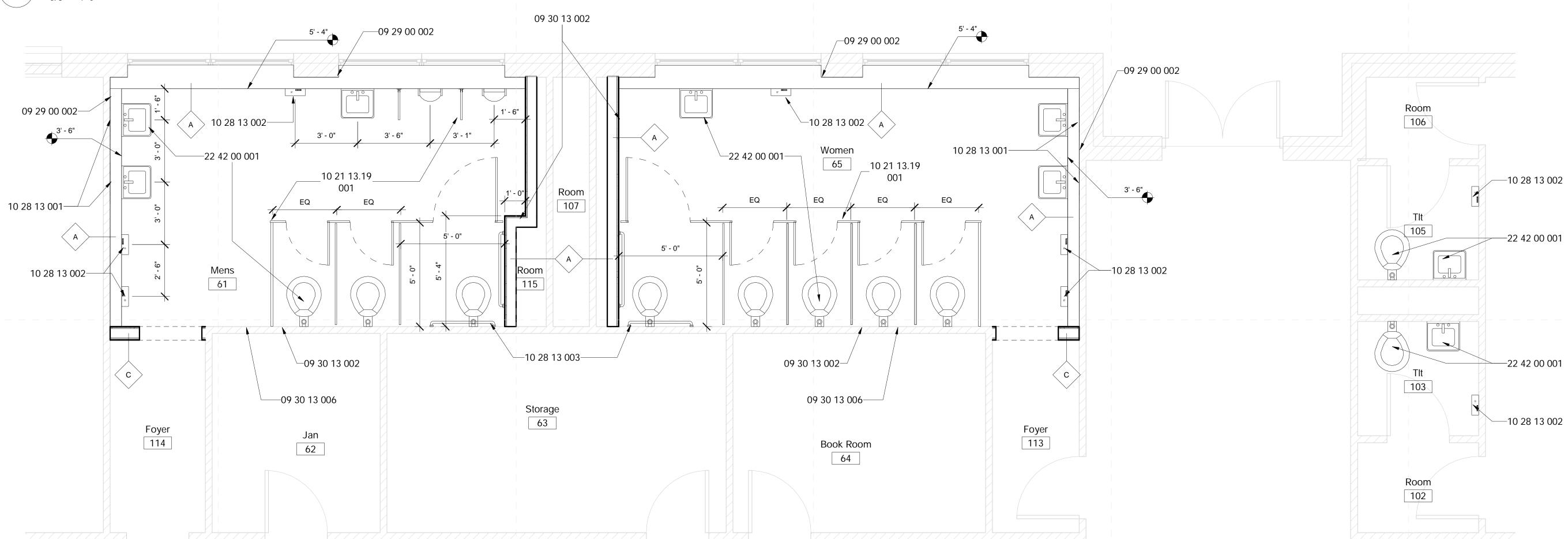
Ceiling Edge Trim Detail

Open to Structure (OTS)

June 2021 Rev Date 10/5/2021 11/26/2021

A-141

Composite RCP



Central Toilets - New Construction

General Demolition Notes

- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- 2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- 3. Owner has right of refusal for all demo work. If not retained,
- GC to be responsible for disposal. 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional

work required by any discrepancies to be included in this

- Contract. 5. Burying or Burning of materials will not be permitted on
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- 7. Refer to other discipline drawings for additional demolition information as noted
- 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to
- 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- 10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

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Not For Construction

District

<u>—</u>

unflow

Specific Notes

Dashed lines indicated extent of demoed work Remove floor tile and substrate Remove window sill tile and substrate Overlay existing with 1/2" MR drywall, glued and

screwed, finished to level 4, primed, & painted (typical above partial height wall at toilet room

09 30 13 002 Install new wall tile flush and straight, floor to 09 30 13 006 Install accent tile at this wall

10 21 13.19 001 Install new toilet partitions (typical) Install wall hung mirror here; center over fixture unless noted otherwise

Install hand dryer here; coordinate with 10 28 13 002 electrical & mechanical

Install new ADA/AMD Grab bars here Coordinate new fixture installations with mechanical, typical for new

> Design Development

> > June 2021

Rev Date 10/5/2021

11/26/2021

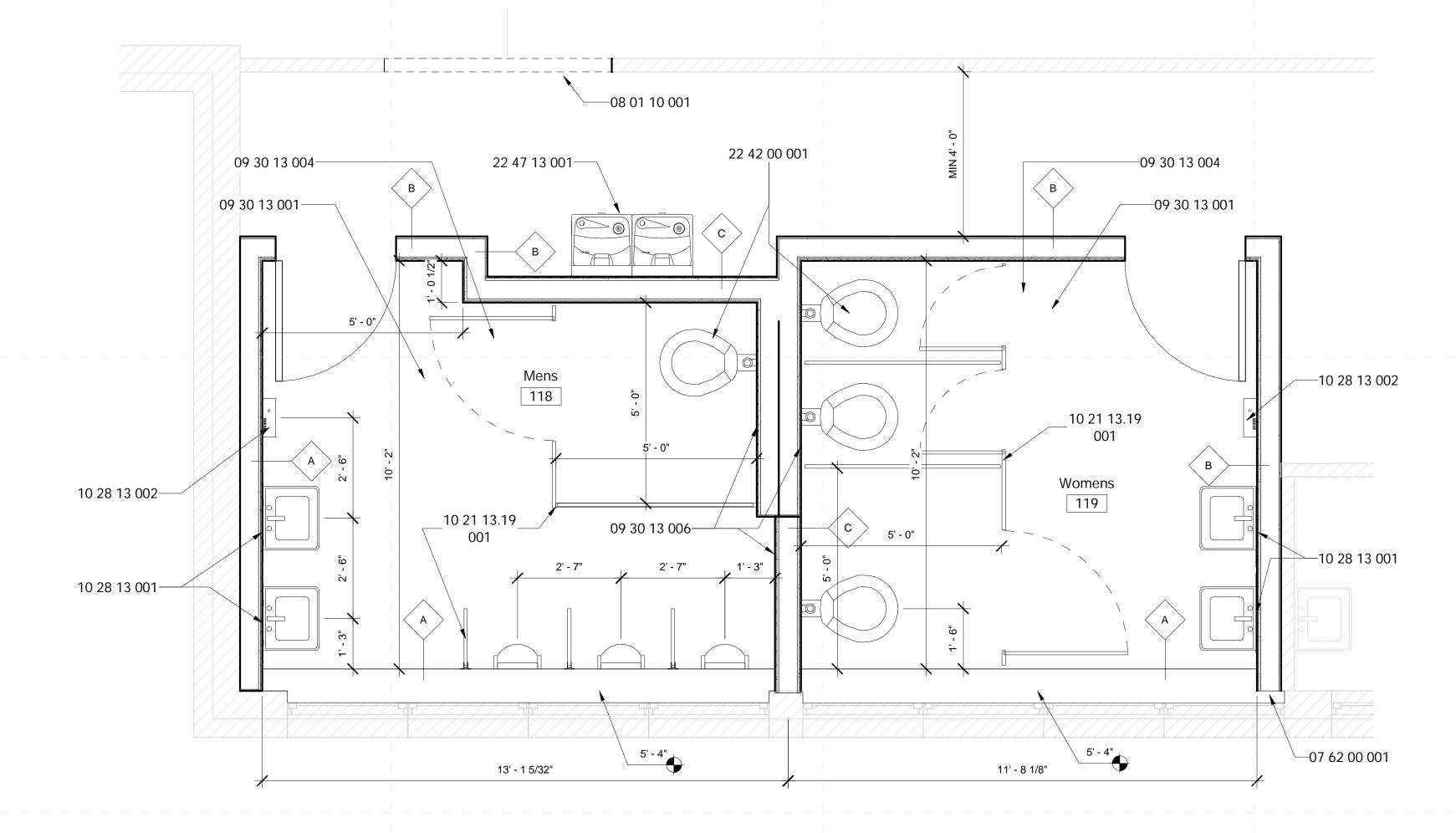
General Finish Plan Notes

- 1. All flooring transitions are to occur at center line of door
- 2. Install new tile at floors.
- 3. New Fixture locations shall be coordinated with mechanical
- 4. Install new wall tile flush and straight floor to ceiling; typical at bathroom interior unless noted otherwise
- 5. Install new tile base at all walls in bathrooms
- 6. Install new grab bars at all ADA & AMB toilets 7. Install moisture resistant back board at all new tile.
- 8. Repair damaged glass at toilet room renovations with like material

Central Toilets

—02 41 19 008-

Gym Toilets - Demolition 1/2" = 1'-0"



2 Gym Toilets - New Construction

General Demolition Notes

- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- 2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- 5. Burying or Burning of materials will not be permitted on
- 6. Repair any damage caused to building construction identified to remain.
- 7. Refer to other discipline drawings for additional demolition information as noted
- 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to
- 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be
- coordinated between the contractor and school district. 10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

DALE AN ASSOCIATION

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201 Park Court Suite B Ridgeland, MS 39157 p 601.790.9432

161 Lameuse St. Suite 201 Biloxi, MS 39530 p 228.374.1409

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Not For Construction

District

Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 004	Remove floor tile and substrate
02 41 19 008	Remove window sill tile and substrate
07 62 00 001	Cap wall end with prefinished flashing trim prior to finish tile install; overlay trim with tile
08 01 10 001	Remove Door Leaves; patch hinges recessions with plate covers & paint to match jamb
09 30 13 001	Install new floor tile; slope to floor drain is drain provided
09 30 13 004	Prep surface for new tile install; contractor shall be repsonsible for issues concerning lack of adhesion between mortar and substrates as well as levelness of finished tile
09 30 13 006	Install accent tile at this wall
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new
22 47 13 001	Install double drinking fountain here; coordinate with mechanical & electrical drawings

General Finish Plan Notes

- 1. All flooring transitions are to occur at center line of door
- Install new tile at floors.
- 3. New Fixture locations shall be coordinated with mechanical
- 4. Install new wall tile flush and straight floor to ceiling; typical at bathroom interior unless noted otherwise 5. Install new tile base at all walls in bathrooms
- Install new grab bars at all ADA & AMB toilets Install moisture resistant back board at all new tile.
- Repair damaged glass at toilet room renovations with like material

Design Develonment

De	Development	
Project	No	005
Date		June 2021
Revisio	ons	Rev Date
1		10/5/2021
2		11/26/2021

floor tile 09 30 13 001 Install new floor tile; slope to floor drain is

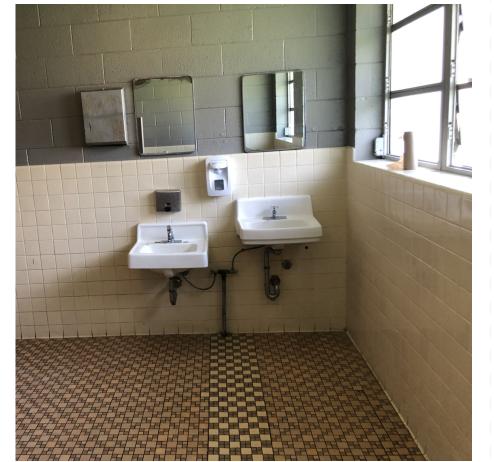
drain provided 09 30 13 003 Install new wall tile flush and straight with accent top piece, floor to highest partial wall or window sill height; typical at bathroom interior unless noted otherwise

09 30 13 005 Install new wall tile flush and straight, floor to ceiling at this plumbing wall only 09 30 13 006 Install accent tile at this wall

10 21 13.19 001 Install new toilet partitions (typical) 10 28 13 001 Install wall hung mirror here; center over fixture unless noted otherwise 10 28 13 002 Install hand dryer here; coordinate with electrical & mechanical

22 42 00 001 Coordinate new fixture installations with mechanical, typical for new

Front of School



Toilets South

See Spec for Sizing

Hand Dryer

See Mech. 1'-6"

Typical Toilet Room Wall

3/4" = 1'-0"

Prefabricated
1.5" Concrete Topper
Add Dye for Color

@ Partial Height Walls

___5.5" Light gauge steel framing, thermal air layer

—Gypsum Wall Board

Porcelain Tile

Wall Types

1/2" = 1'-0"

SD (typical @ all toilet rooms)

TP Dispenser (typ. at all toilets)

Tile Backer—

Porcelain Tile-

Concrete masonry units

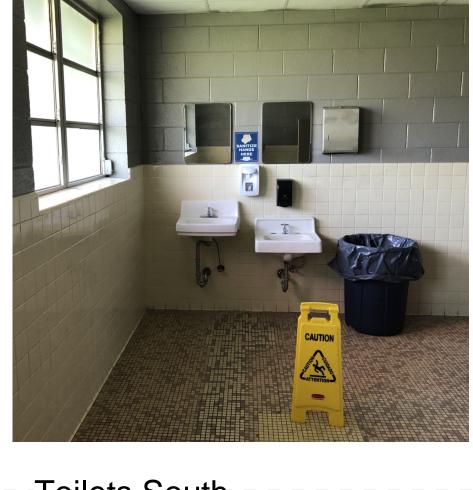
3'-6"

See Mech. 1'-6"

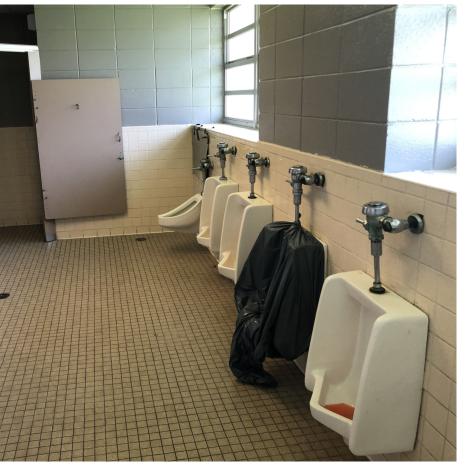
-Porcelain Tile

-Tile Backer

_5.5" Light gauge steel framing, thermal air layer



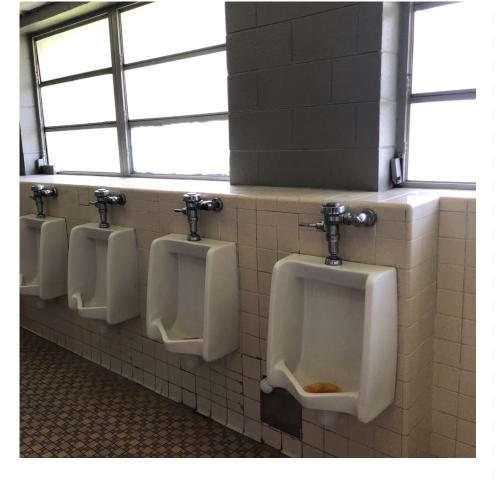
Toilets South



Toilets Central



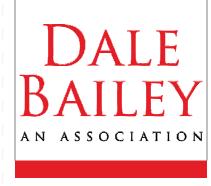
Toilets Central



Toilets North



Toilets North



Architects

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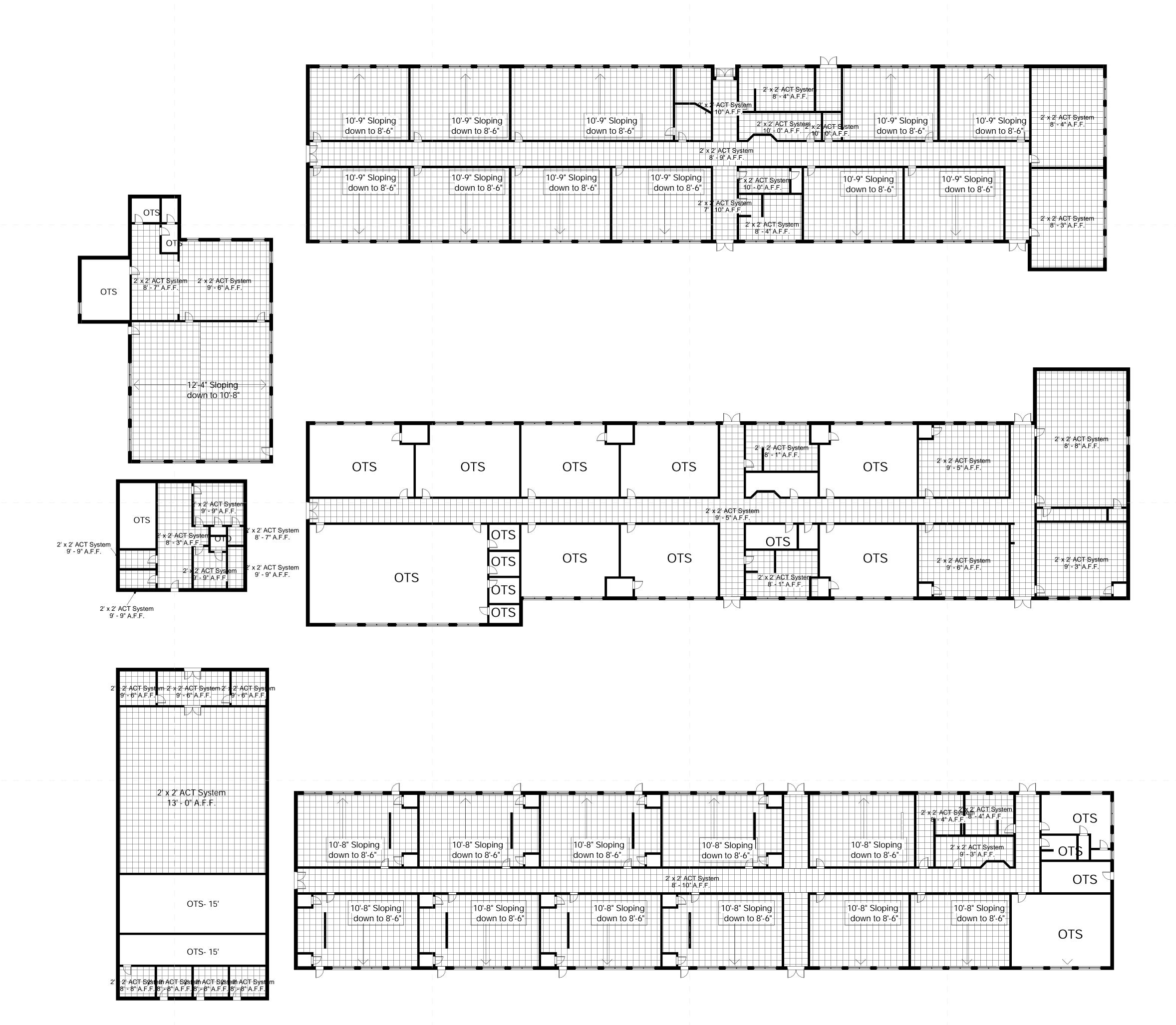
Not For Construction

> District a, MS 38751 onsolidated

Design Development

Issue Date Rev Date 10/5/2021 11/26/2021

G-000



RCP - Demolition

General RCP Demolition Notes

- 1. Where ceiling transitions from new ceiling to existing ceiling, coordinate with Architect detail.
- 2. Remove all existing ceiling grid & tile unless noted otherwise, as well as any wall fasteners and/or mastics attached therein where shown to be replaced by new
- 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract. 5. Burying or Burning of materials will not be permitted on
- 6. Repair any damage caused to building construction identified to remain.
- 7. Refer to other discipline drawings for additional demolition information as noted.
- 8. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- 9. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

10. No work in rooms with ceiling open to the structure above, unless noted otherwise.

Not For Construction

Ceiling Legend

Moisture Resistant Acoustical Lay In Ceiling

Colored Acoustical Lay In Ceiling

Vinyl Faced Acoustical Lay In Ceiling

Gypsum Board Ceiling

Plaster/Stucco

Concealed Fastender Painted Metal Soffit

2x2 Acoustical Lay In Ceiling

2x2 Fluorescent Fixture

Surface-Mounted Fluorescent Light Fixture

Recessed Can Light Fixture

HVAC Supply Grille

HVAC Return Grille

Exterior Wall Light

Interior Wall Light

Open to Structure (OTS)

AN ASSOCIATION **Architects** One Jackson Place 250

DALE

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District a, MS 38751 Consolidated Sunflower

Design Development

Issue Date Rev Date 10/5/2021 11/26/2021

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Not For Construction

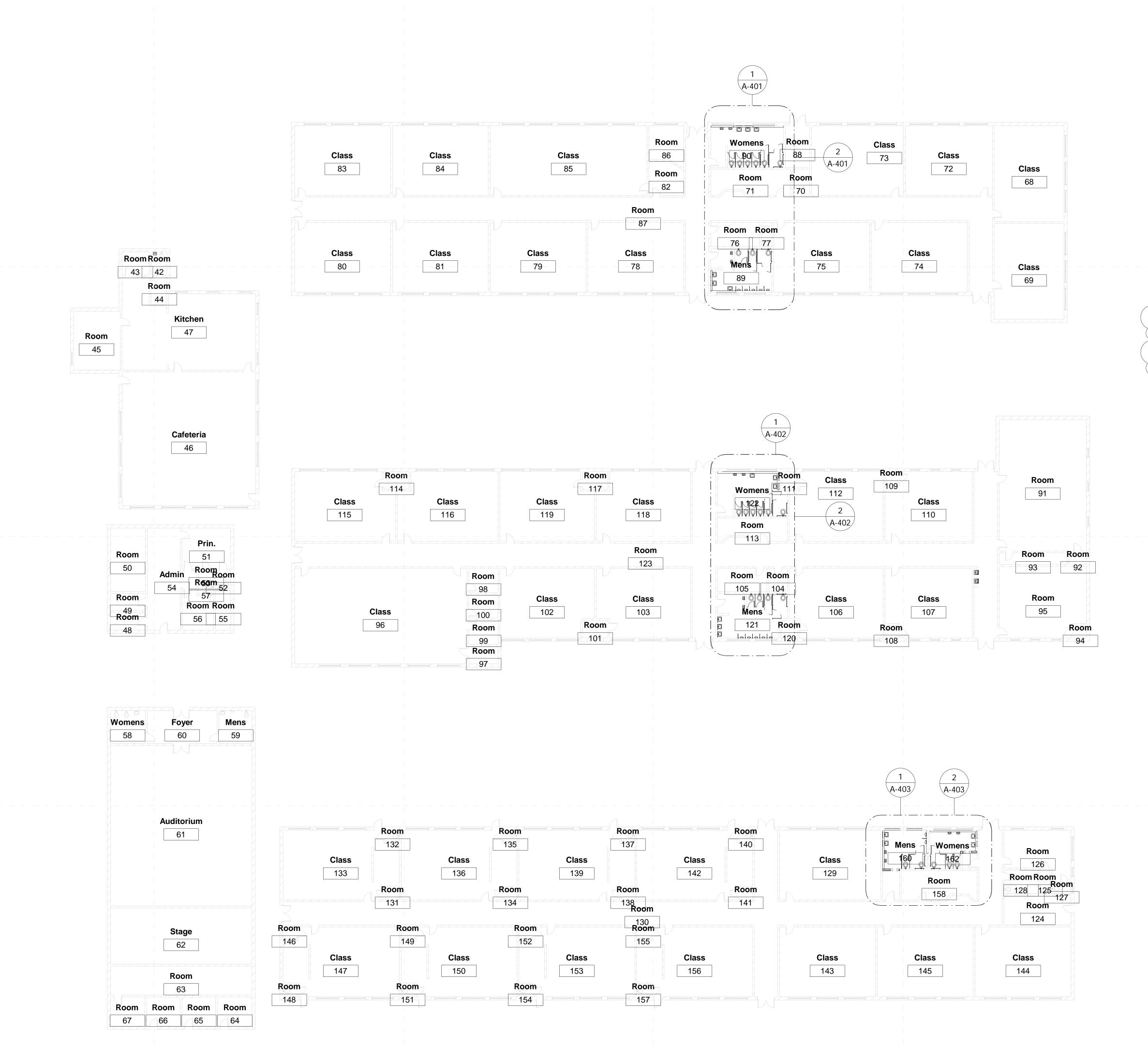
LOCATE WATER FOUNTAINS AND REPLACE

District a, MS 38751 Consolidated

Design

Development	
Project No	00000
Date	Issue Date
Revisions	Rev Date
1	10/5/2021
2	11/26/2021

A-101



1 Main Floor - New Construction

AN ASSOCIATION

Architects

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Not For Construction

Design Development

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A-141

Composite RCP

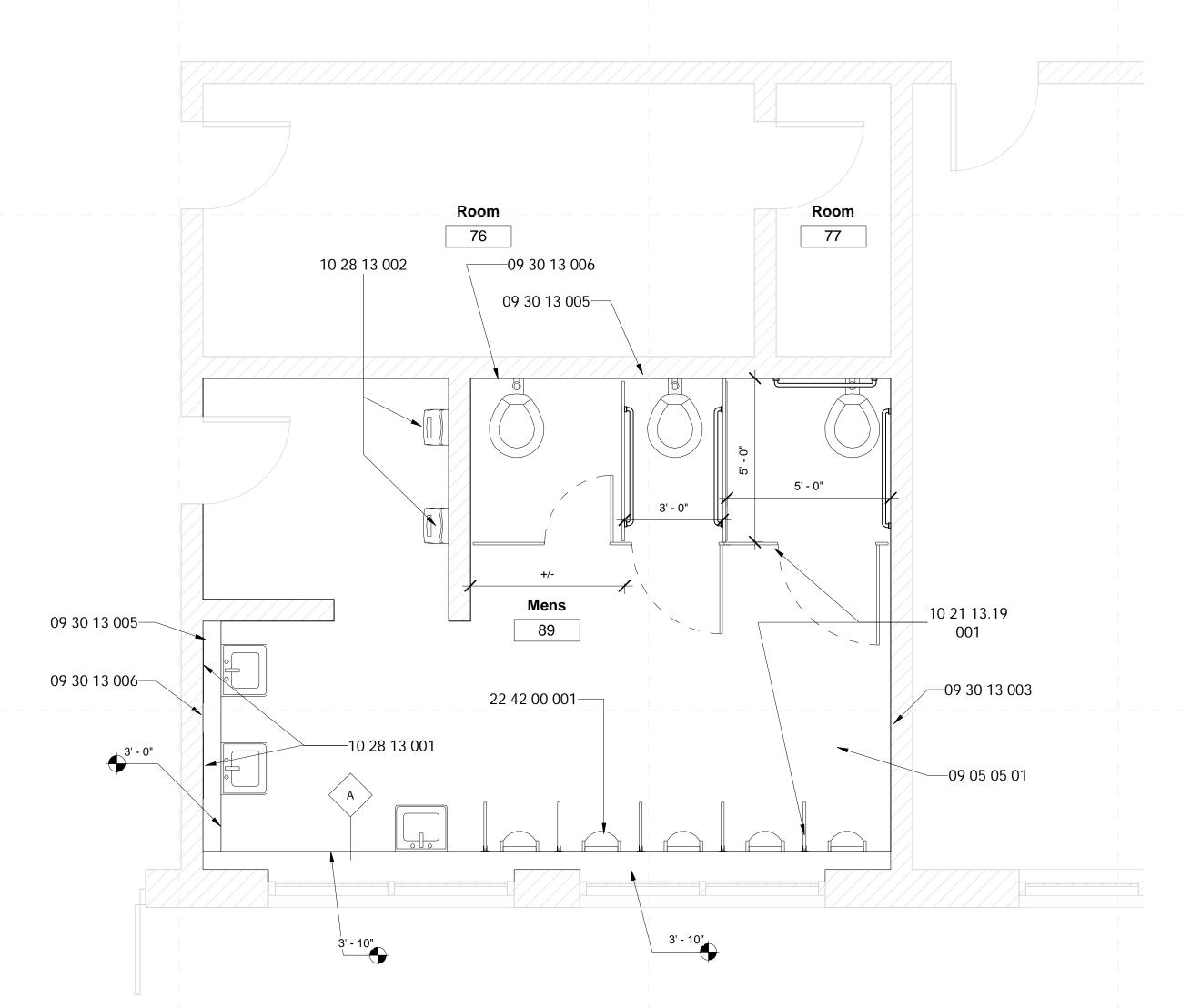
02 41 19 005—

-02 41 19 002

Womens

90

Room 71



Toilets (North) - Existing

Toilets (North) - New Construction

10 28 13 002-

3' - 0"

General Demolition Notes

- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- 2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- 5. Burying or Burning of materials will not be permitted on
- 6. Repair any damage caused to building construction identified to remain.
- 7. Refer to other discipline drawings for additional demolition information as noted
- 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to
- 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- 10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

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District a, MS 38751

Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed
02 41 19 002	work
02 41 19 005	Demo tile wainscot; patch & repair substrate as need for new tile install
09 05 05 01	Install leveling compound as needed for smooth appearance of new tile & a flush threshold to adjacent floors, typical on new floor tile
09 30 13 003	Install new wall tile flush and straight with accent top piece, floor to highest partial wall or window sill height; typical at bathroom interior unless noted otherwise
09 30 13 005	Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
09 30 13 006	Install accent tile at this wall
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

Design

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Project No	00000	
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1	10/5/2021	

4. Install new wall tile flush and straight with accent top piece, floor to 3'-10" AFF; typical at bathroom interior unless noted

3. New Fixture locations shall be coordinated with mechanical

1. All flooring transitions are to occur at center line of door

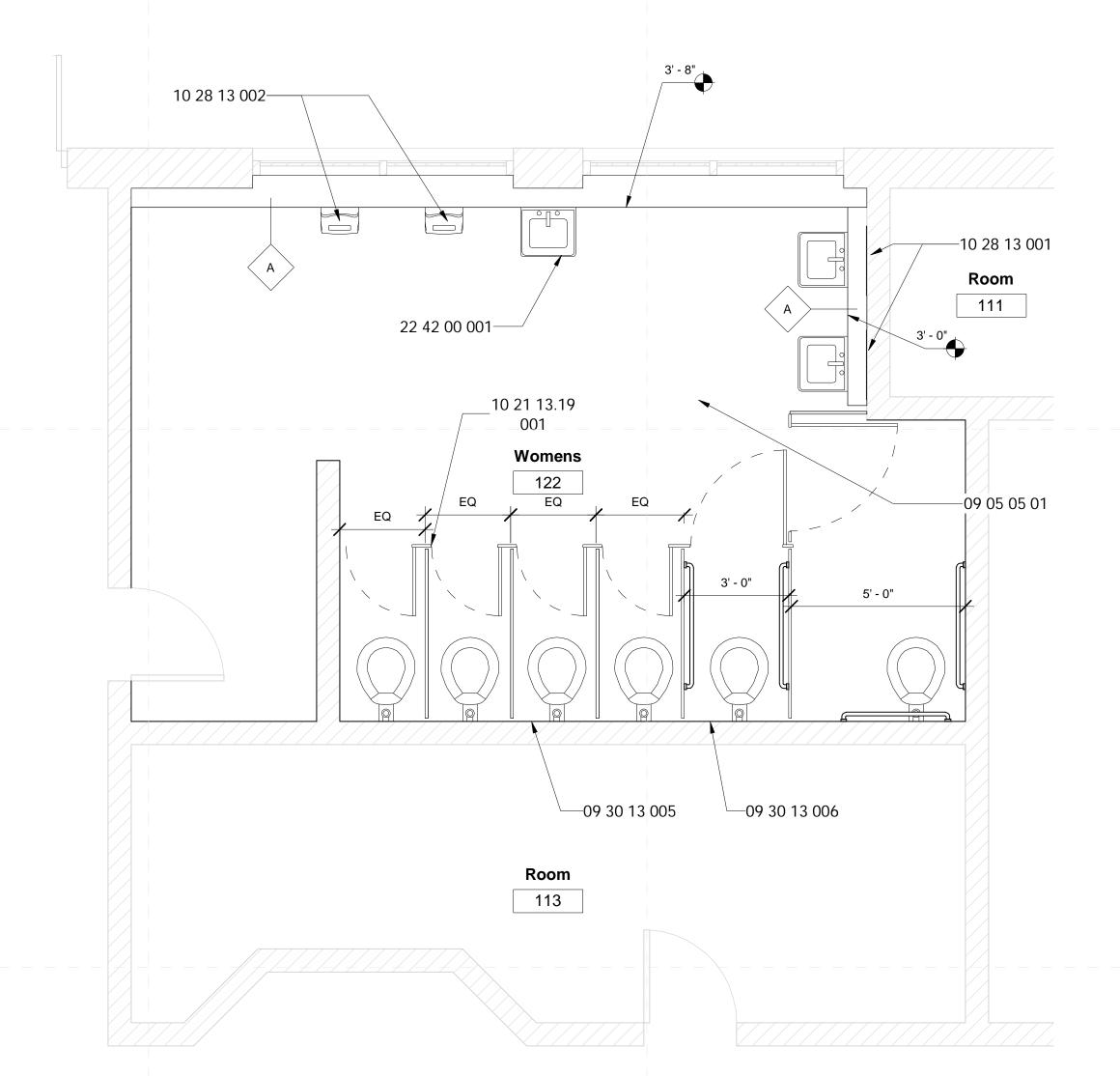
5. Install new tile base at all walls in bathrooms

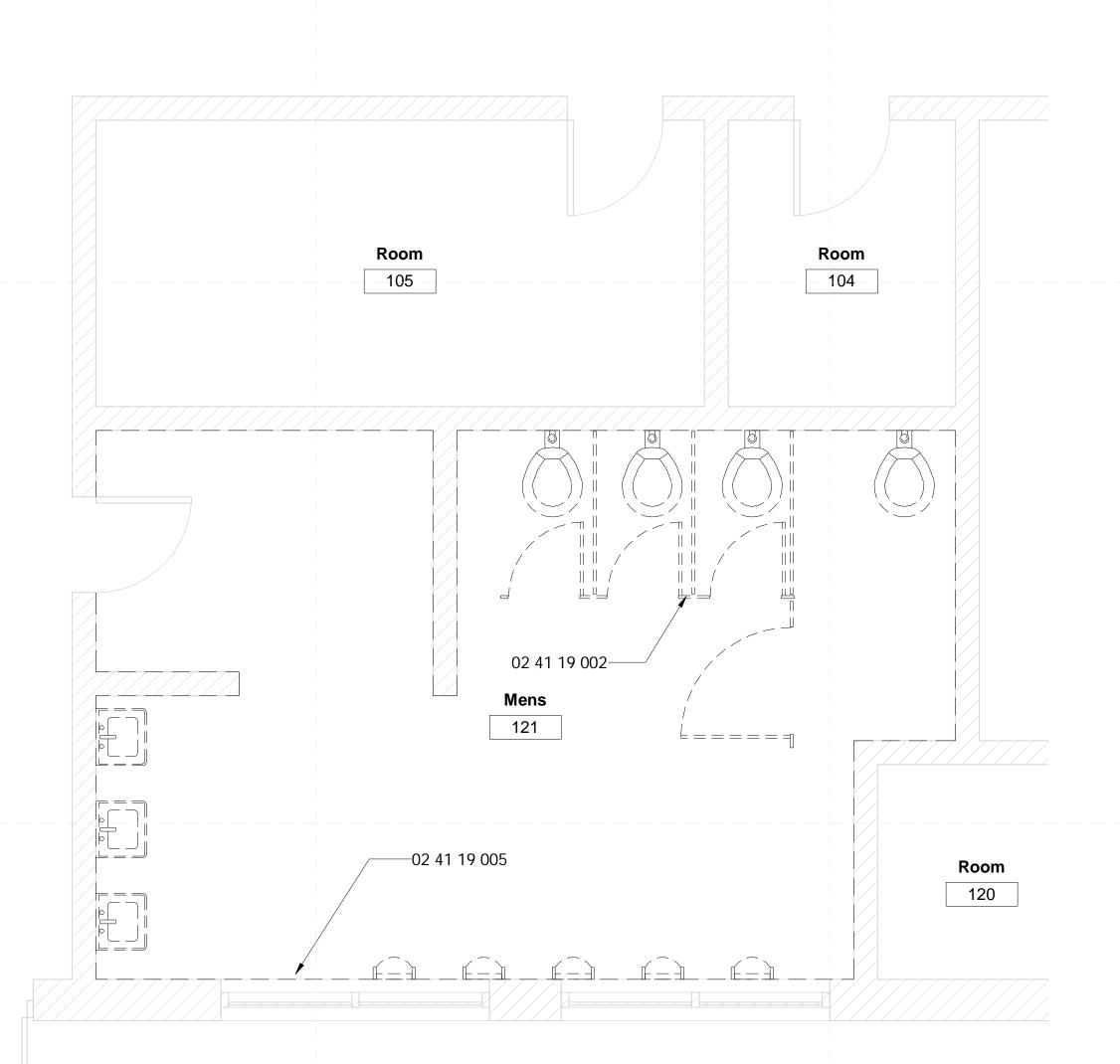
General Finish Plan Notes

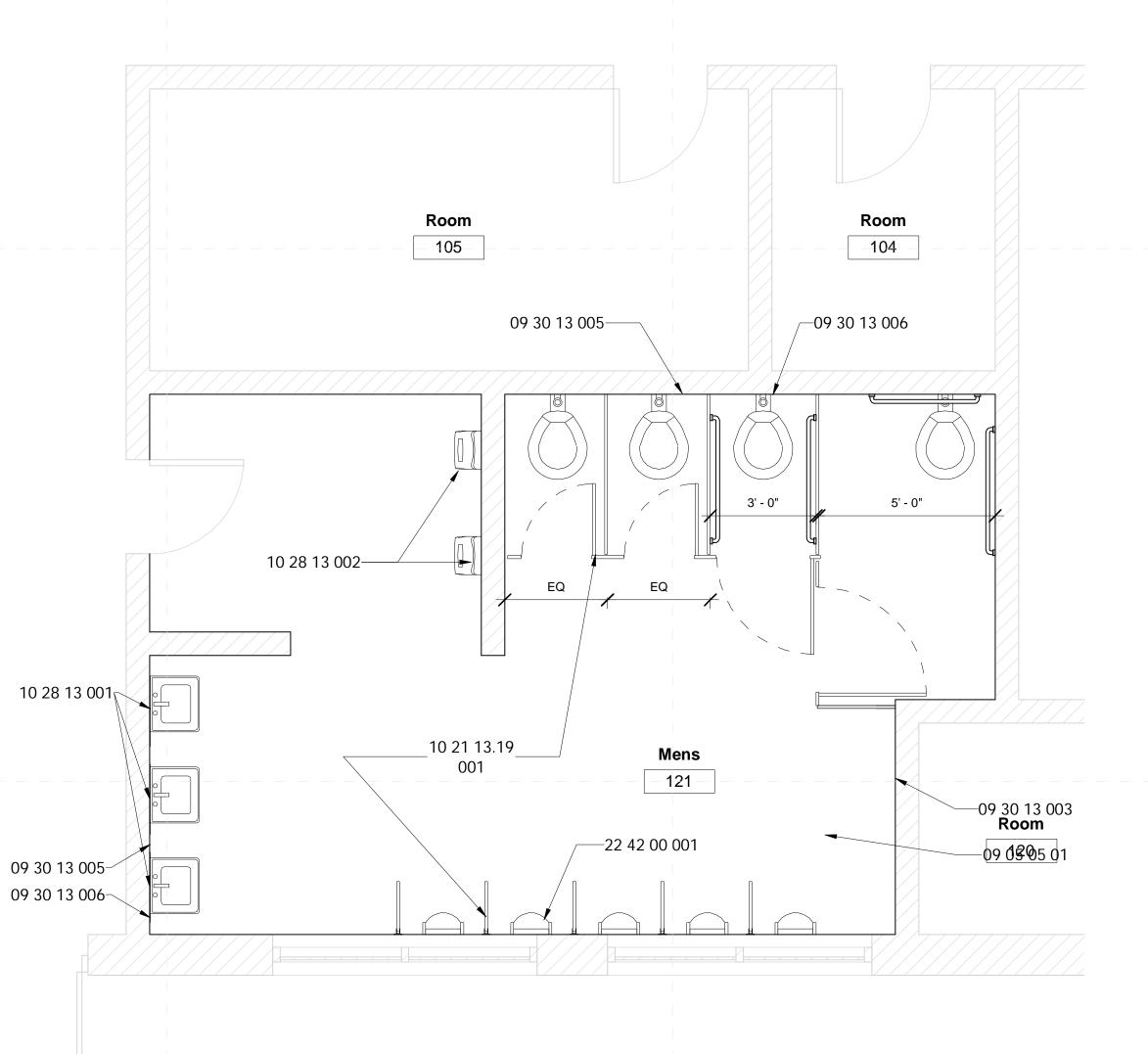
panel.Install new tile at floors.

- 6. Install new grab bars at all ADA & AMB toilets
- 7. Install moisture resistant back board at all new tile.

8. Paint all exposed CMU at renovated toilets.







Toilets (Central) - Existing

2 Toilets (Central) - New Construction

General Demolition Notes

1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.

2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule

3. Owner has right of refusal for all demo work. If not retained,

GC to be responsible for disposal. 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this

5. Burying or Burning of materials will not be permitted on

6. Repair any damage caused to building construction identified to remain.

7. Refer to other discipline drawings for additional demolition information as noted

8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to

9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.

10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

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Not For Construction

District a, MS 38751

Specific Notes

Demo tile wainscot; patch & repair substrate as need for new tile install Install leveling compound as needed for smooth appearance of new tile & a flush threshold to adjacent floors, typical on new floor tile
smooth appearance of new tile & a flush threshold to adjacent floors, typical on new
noor the
Install new wall tile flush and straight with accent top piece, floor to highest partial wall or window sill height; typical at bathroom interior unless noted otherwise
Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
Install accent tile at this wall
Install new toilet partitions (typical)
Install wall hung mirror here; center over fixture unless noted otherwise
Install hand dryer here; coordinate with electrical & mechanical
Coordinate new fixture installations with mechanical, typical for new

Dashed lines indicated extent of demoed work

Design Development

Issue Date

Rev Date

10/5/2021

11/26/2021

General Finish Plan Notes

1. All flooring transitions are to occur at center line of door 2. Install new tile at floors.

3. New Fixture locations shall be coordinated with mechanical

4. Install new wall tile flush and straight with accent top piece, floor to 3'-10" AFF; typical at bathroom interior unless noted

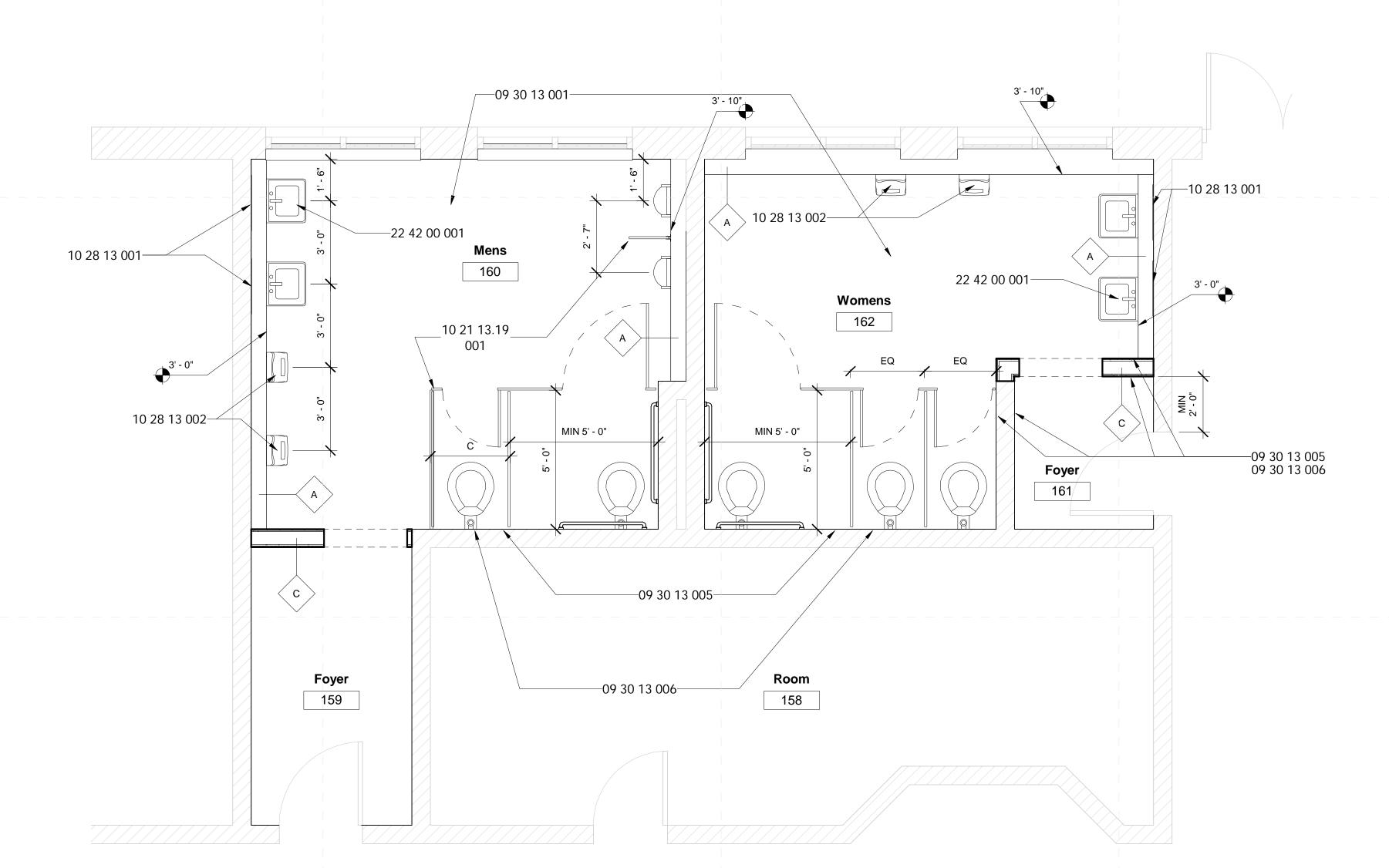
5. Install new tile base at all walls in bathrooms 6. Install new grab bars at all ADA & AMB toilets

7. Install moisture resistant back board at all new tile. 8. Paint all exposed CMU at renovated toilets.

A-402

Toilets (Central)

Toilets (South) - Existing



2 Toilets (South) - New Construction

General Demolition Notes

- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- 2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- 5. Burying or Burning of materials will not be permitted on
- 6. Repair any damage caused to building construction
- identified to remain. 7. Refer to other discipline drawings for additional demolition
- information as noted 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to remain.
- 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- 10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

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Not For Construction

District a, MS 38751

onsolidated

Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 005	Demo tile wainscot; patch & repair substrate as need for new tile install
09 30 13 001	Install new floor tile; slope to floor drain is drain provided
09 30 13 005	Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
09 30 13 006	Install accent tile at this wall
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

Design Development

Issue Date

Rev Date

10/5/2021 11/26/2021

General Finish Plan Notes

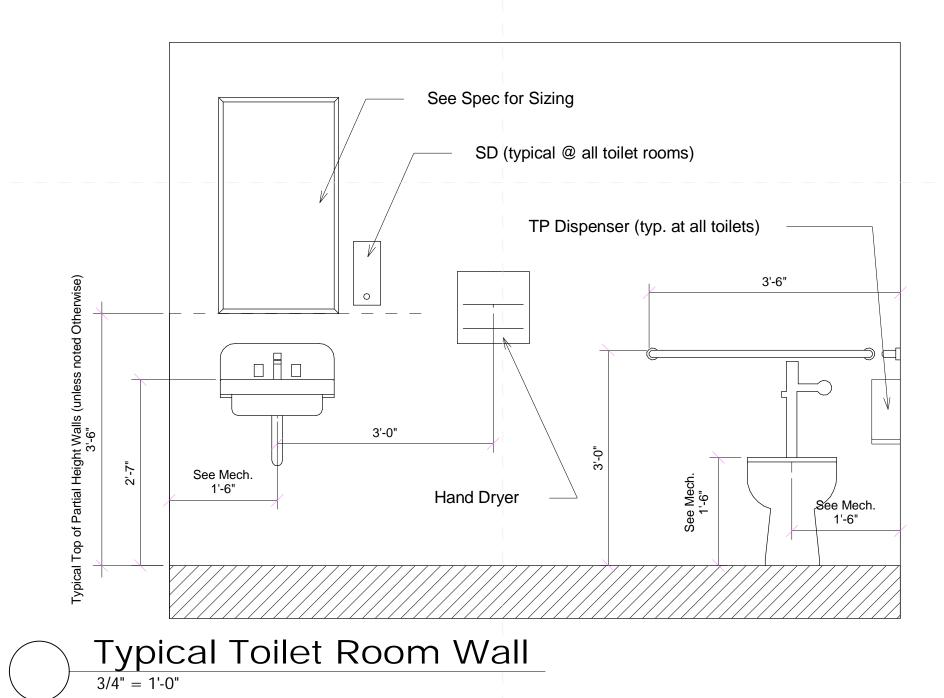
- All flooring transitions are to occur at center line of door panel.
 Install new tile at floors.
- 3. New Fixture locations shall be coordinated with mechanical
- 4. Install new wall tile flush and straight with accent top piece, floor to 3'-10" AFF; typical at bathroom interior unless noted
- 5. Install new tile base at all walls in bathrooms
- 6. Install new grab bars at all ADA & AMB toilets 7. Install moisture resistant back board at all new tile.
- 8. Paint all exposed CMU at renovated toilets.

09 30 13 005 Install new wall tile flush and straight, floor to

ceiling at this plumbing wall only 10 21 13.19 001 Install new toilet partitions (typical) 10 28 13 001 Install wall hung mirror here; center over fixture unless noted otherwise

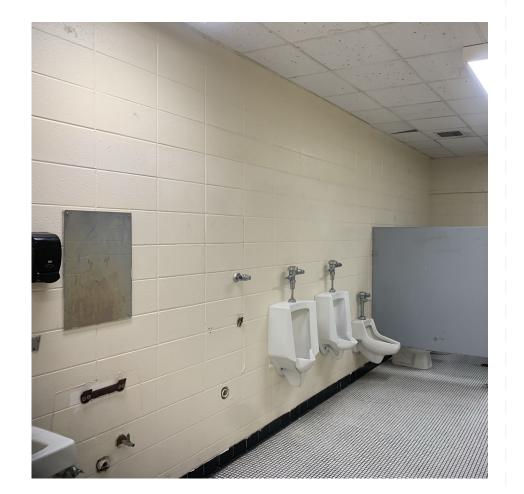
10 28 13 002 Install hand dryer here; coordinate with electrical & mechanical

22 05 05 02 New rough plumbing; see plumbing 22 42 00 001 Coordinate new fixture installations with mechanical, typical for new

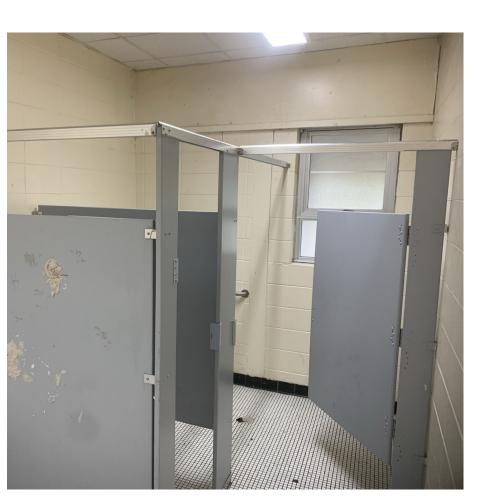




Front of School



-Typical Toilet Room



-Typical Toilet Room

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District S 38751

21027 3 January 2018 Rev Date 10/5/2021

5 A-441

A-405

4 A-441

RCP - Demo

A-404

General RCP Demolition Notes

GC to be responsible for disposal.

- 1. Where ceiling transitions from new ceiling to existing ceiling, coordinate with Architect detail.
- 2. Remove existing ceiling grid & tile at all bathrooms to be renovated, as well as any wall fasteners and/or mastics
- attached therein. 3. Owner has right of refusal for all demo work. If not retained,
- 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this
- 5. Burying or Burning of materials will not be permitted on 6. Repair any damage caused to building construction
- identified to remain. 7. Refer to other discipline drawings for additional demolition
- information as noted. 8. Existing loose school property to be the responsibility of the school district, removal of property by owner to be
- coordinated between the contractor and school district. 9. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

DALE AN ASSOCIATION

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Not For Construction

District

Consolidated

Ceiling Legend

Moisture Resistant Acoustical Lay In Ceiling

Colored Acoustical Lay In Ceiling

Vinyl Faced Acoustical Lay In Ceiling

Gypsum Board Ceiling

2x2 Acoustical Lay In Ceiling

Plaster/Stucco

Concealed Fastender Painted Metal Soffit

Recessed Can Light Fixture

HVAC Supply Grille

HVAC Return Grille

Exterior Wall Light

Interior Wall Light

2x2 Fluorescent Fixture

Surface-Mounted Fluorescent Light Fixture

Open to Structure (OTS)

Design Development

21027 3 January 2018 Rev Date 10/5/2021

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Not For Construction

| District MS 38751

Design Development

Consolidated

 Project No
 21027

 Date
 3 January 2018

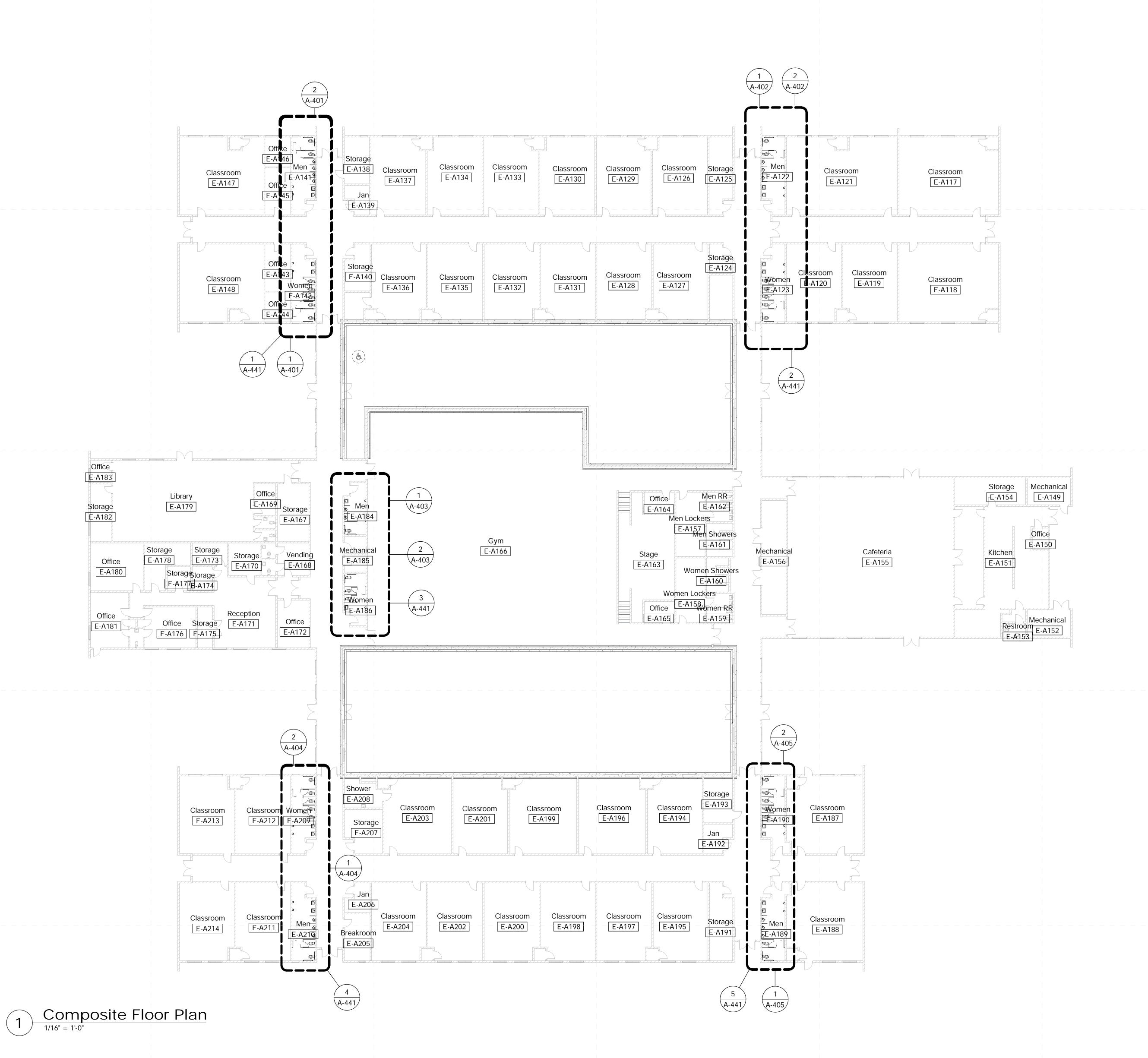
 Revisions
 Rev Date

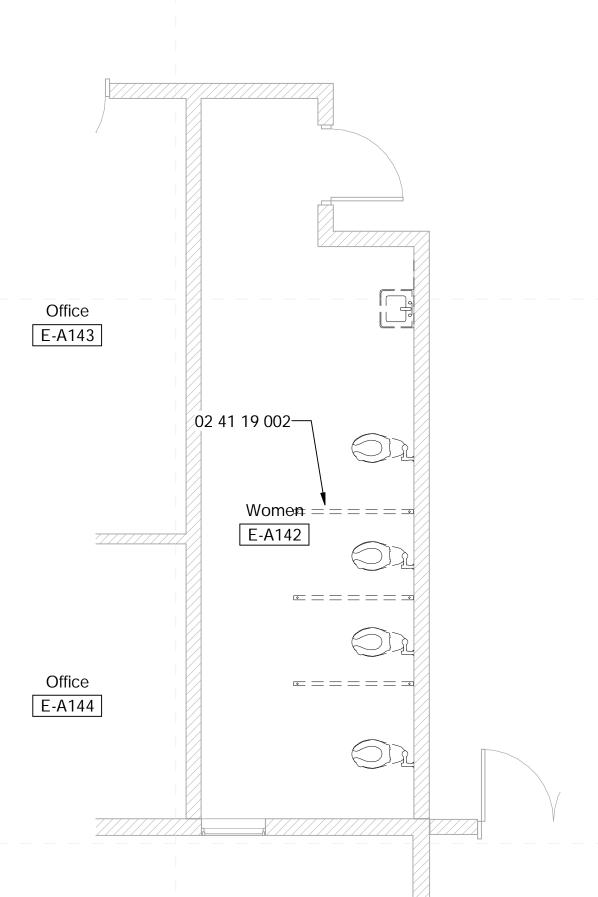
 1
 10/5/2021

 2
 11/26/2021

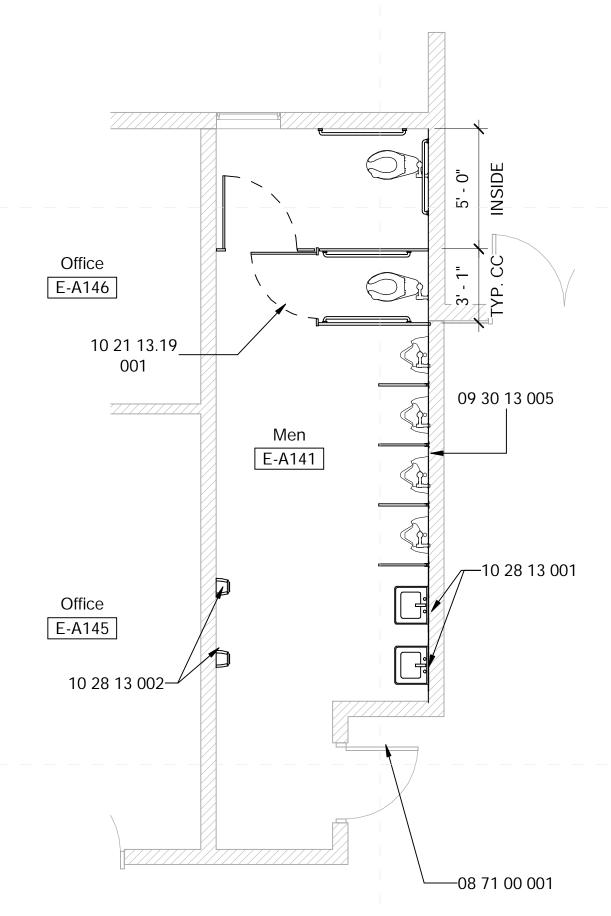
A-101

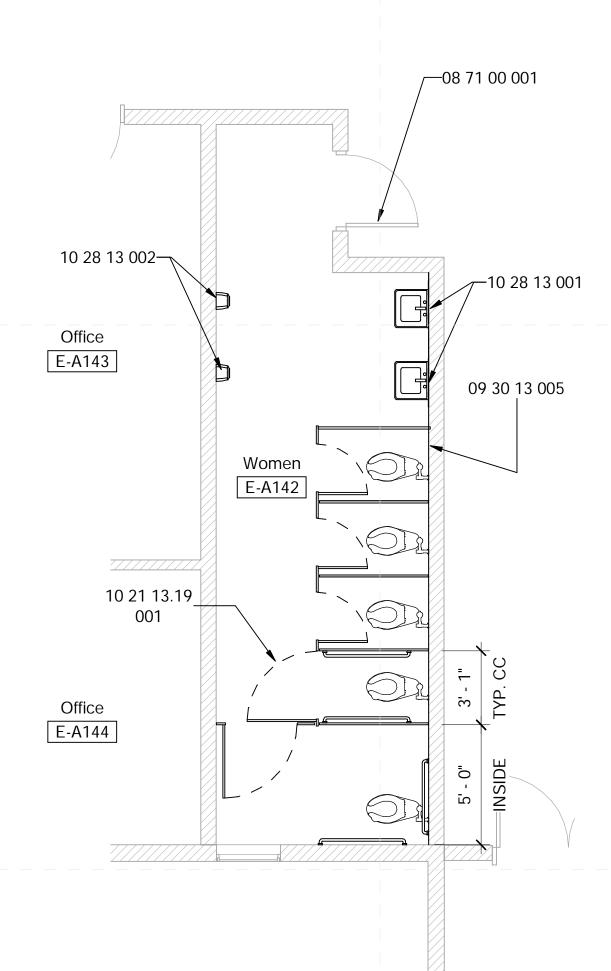
Composite Floor Plan





Main Floor - NW Toilets - Existing





Main Floor - NW Toilets - New Construction

1/4" = 1'-0"

General Demolition Notes

- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- 2. Remove all existing flooring, ceiling tile, rubber base, etc... where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- 5. Burying or Burning of materials will not be permitted on
- 6. Repair any damage caused to building construction
- identified to remain. 7. Refer to other discipline drawings for additional demolition
- information as noted 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to
- 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be
- coordinated between the contractor and school district. 10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- 11. Remove all tile within bathrooms (floor & wall).
- 12. Remove partitions and existing fixtures.

DALE AN ASSOCIATION

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p 228.374.1409

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District

Specific Notes

02 41 19 002 Dashed lines indicated extent of demoed work 08 71 00 001 Replace all door hardware with new at existing leaf 09 30 13 005 Install new wall tile flush and straight, floor to

ceiling at this plumbing wall only 10 21 13.19 Install new toilet partitions (typical)

10 28 13 001 Install wall hung mirror here; center over fixture unless noted otherwise

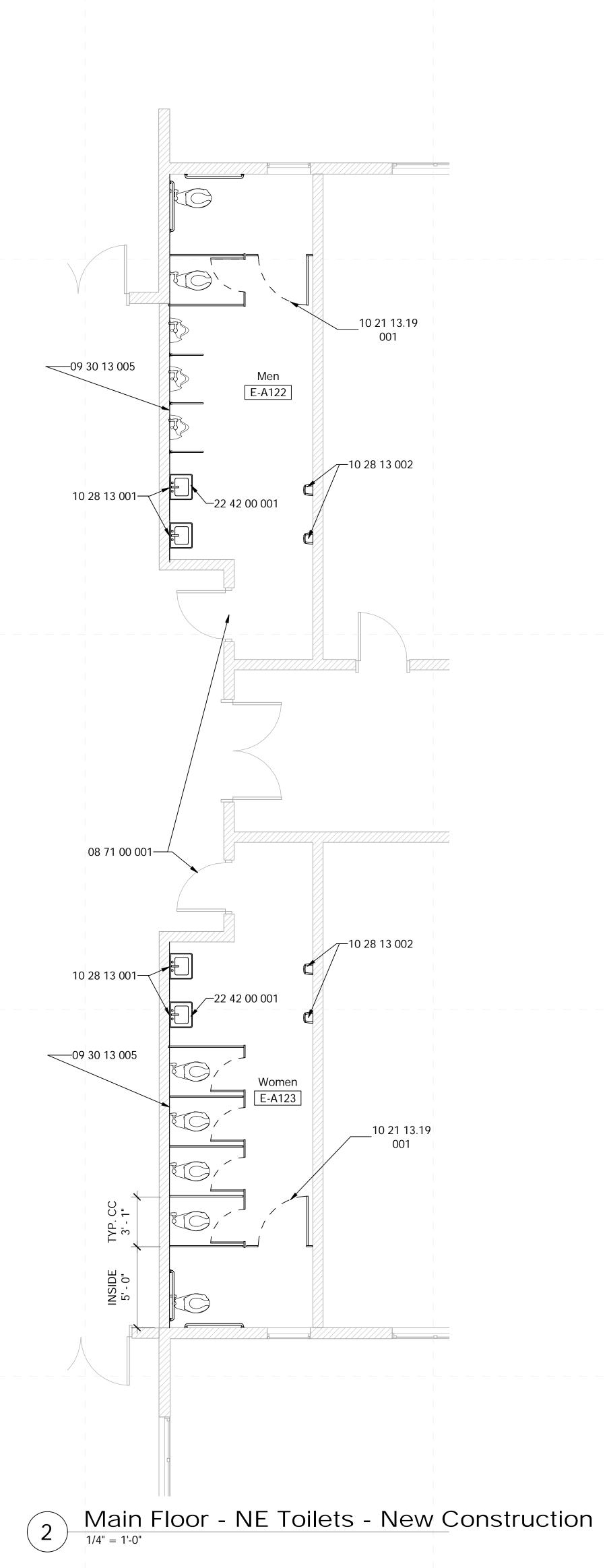
10 28 13 002 Install hand dryer here; coordinate with electrical & mechanical

General Finish Plan Notes

- 1. All flooring transitions are to occur at center line of door
- 2. Protect existing floor tile during construction; Clean floor tile
- 3. New Fixture locations shall be coordinated with mechanical
- 4. Install new tile base at all walls in bathrooms
- 5. Install new grab bars at all ADA & AMB toilets
- 6. Paint all Exposed CMU at bathroom interiors with epoxy
- 7. Install moisture resistant back board at all new tile.

Design Development

21027 3 January 2018 Rev Date 10/5/2021 11/26/2021



General Demolition Notes

- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- 2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- 5. Burying or Burning of materials will not be permitted on
- 6. Repair any damage caused to building construction
- identified to remain. 7. Refer to other discipline drawings for additional demolition
- information as noted 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to
- 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be
- coordinated between the contractor and school district. 10. Where areas are removed or altered, patch, repair, & paint
- to match adjacent surface material and finish. 11. Remove all tile within bathrooms (floor & wall).
- 12. Remove partitions and existing fixtures.

DALE AN ASSOCIATION

Architects

One Jackson Place 250 188 East Capitol Street Jackson, MS 39201 p 601.352.5411

201 Park Court Suite B Ridgeland, MS 39157 p 601.790.9432

161 Lameuse St. Suite 201 Biloxi, MS 39530

p 228.374.1409

dalebaileyplans.com

Not For Construction

District

Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
08 71 00 001	Replace all door hardware with new at existing leaf
09 30 13 005	Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

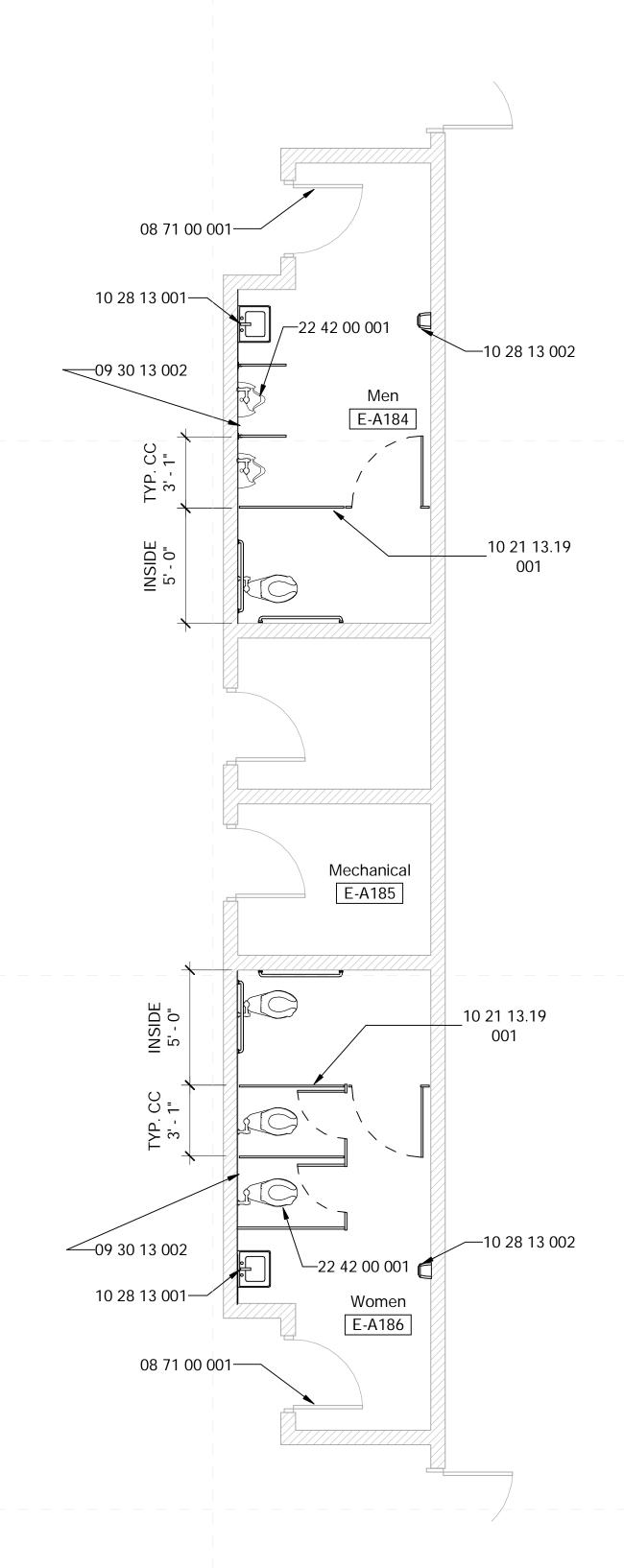
General Finish Plan Notes

- 1. All flooring transitions are to occur at center line of door
- 2. Protect existing floor tile during construction; Clean floor tile
- 3. New Fixture locations shall be coordinated with mechanical
- 4. Install new tile base at all walls in bathrooms
- 5. Install new grab bars at all ADA & AMB toilets6. Paint all Exposed CMU at bathroom interiors with epoxy
- paint.Install moisture resistant back board at all new tile.

Development 21027 3 January 2018 Rev Date 10/5/2021

Design





Main Floor - W Toilets - New Construction

General Demolition Notes

- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- 2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- 3. Owner has right of refusal for all demo work. If not retained,
- GC to be responsible for disposal. 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this
- 5. Burying or Burning of materials will not be permitted on
- 6. Repair any damage caused to building construction identified to remain.
- 7. Refer to other discipline drawings for additional demolition information as noted
- 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to
- 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- 10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- 11. Remove all tile within bathrooms (floor & wall).
- 12. Remove partitions and existing fixtures.

DALE AN ASSOCIATION

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Not For Construction

District

olidate

Specific Notes

08 71 00 001	Replace all door hardware with new at existing leaf
02 41 19 002	Dashed lines indicated extent of demoed work

09 30 13 002 Install new wall tile flush and straight, floor to

10 21 13.19 001 Install new toilet partitions (typical) 10 28 13 001 Install wall hung mirror here; center over fixture unless noted otherwise

10 28 13 002 Install hand dryer here; coordinate with electrical & mechanical 22 42 00 001 Coordinate new fixture installations with

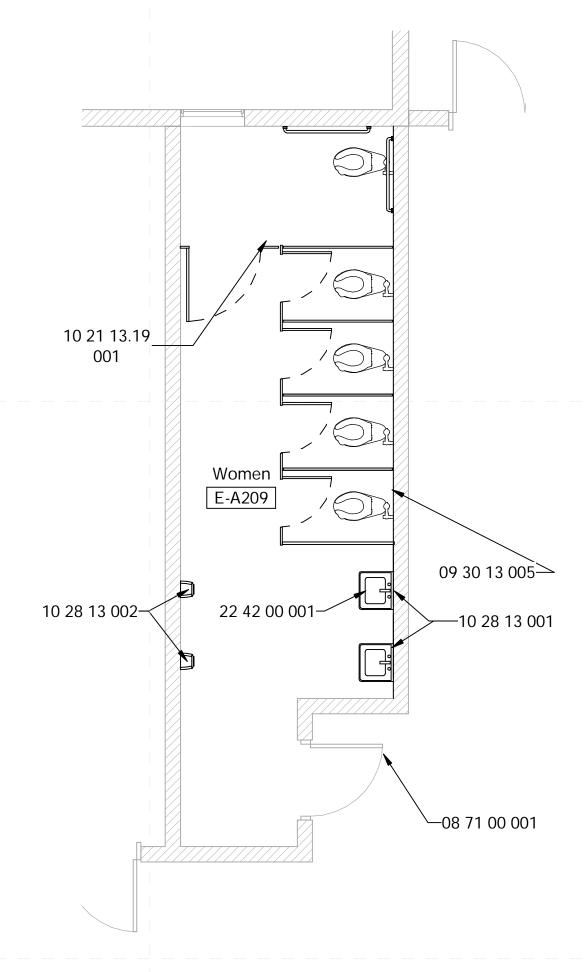
mechanical, typical for new

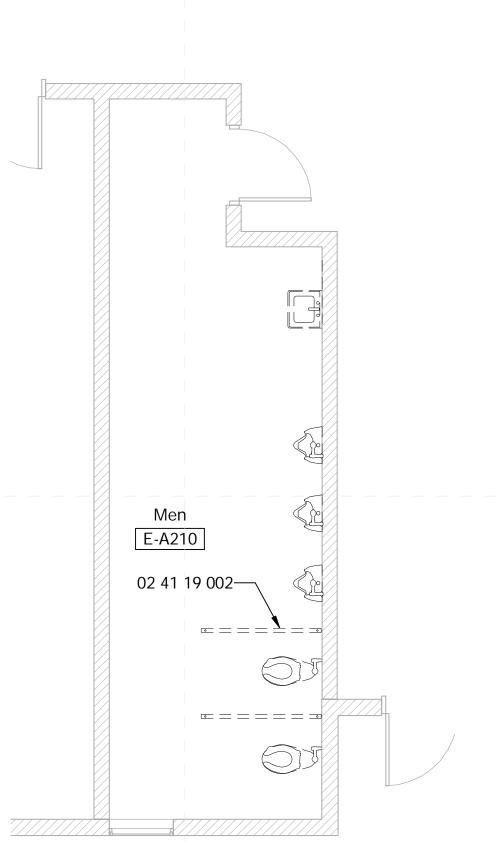
General Finish Plan Notes

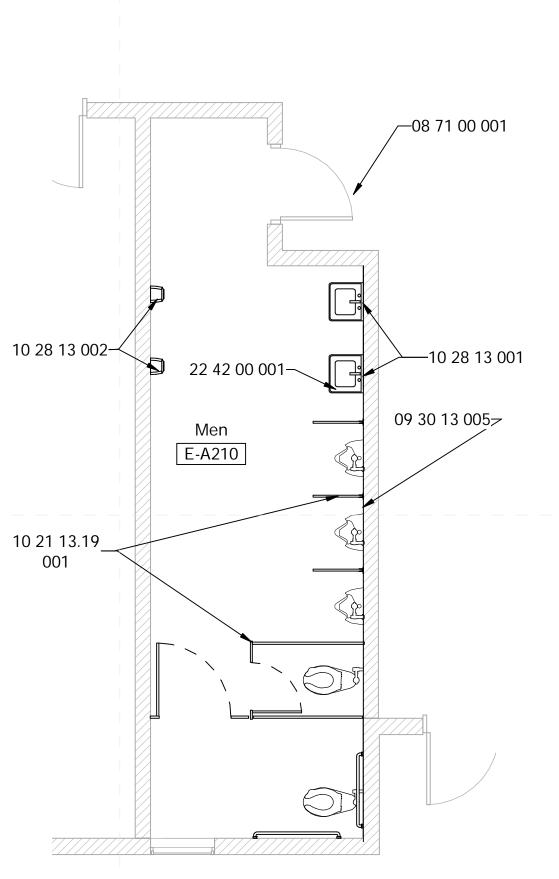
- 1. All flooring transitions are to occur at center line of door
- 2. Protect existing floor tile during construction; Clean floor tile and reseal.
- 3. New Fixture locations shall be coordinated with mechanical
- 4. Install new tile base at all walls in bathrooms 5. Install new grab bars at all ADA & AMB toilets
- 6. Paint all Exposed CMU at bathroom interiors with epoxy
- 7. Install moisture resistant back board at all new tile.

Design Development

21027 3 January 2018 Rev Date 10/5/2021







Main Floor - SW Toilets - Existing

Main Floor - SW Toilets - New Construction

General Demolition Notes

- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- Remove all existing flooring, ceiling tile, rubber base, etc..
 where shown to be replaced by new materials in the finish schedule. RE: Floors plans. RCP, and Finish Schedule.
- schedule. RE: Floors plans, RCP, and Finish Schedule
 3. Owner has right of refusal for all demo work. If not retained,
- GC to be responsible for disposal.Verify all existing conditions. Notify architect of any
- discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- 5. Burying or Burning of materials will not be permitted on site
- 6. Repair any damage caused to building construction identified to remain.
- Refer to other discipline drawings for additional demolition information as noted
- 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to
- 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district
- coordinated between the contractor and school district.

 10. Where areas are removed or altered, patch, repair, & paint
- to match adjacent surface material and finish.

 11. Remove all tile within bathrooms (floor & wall).
- 12. Remove partitions and existing fixtures.

DALE BAILEY AN ASSOCIATION

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Not For Construction

District

Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
08 71 00 001	Replace all door hardware with new at existing leaf
09 30 13 005	Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

General Finish Plan Notes

- All flooring transitions are to occur at center line of door panel.
- panel.2. Protect existing floor tile during construction; Clean floor tile and reseal.
- New Fixture locations shall be coordinated with mechanical
- sheets.4. Install new tile base at all walls in bathrooms
- Install new tile base at all walls in bathroomsInstall new grab bars at all ADA & AMB toilets
- 6. Paint all Exposed CMU at bathroom interiors with epoxy
- paint.

 7. Install moisture resistant back board at all new tile.

Design Development

 Project No
 21027

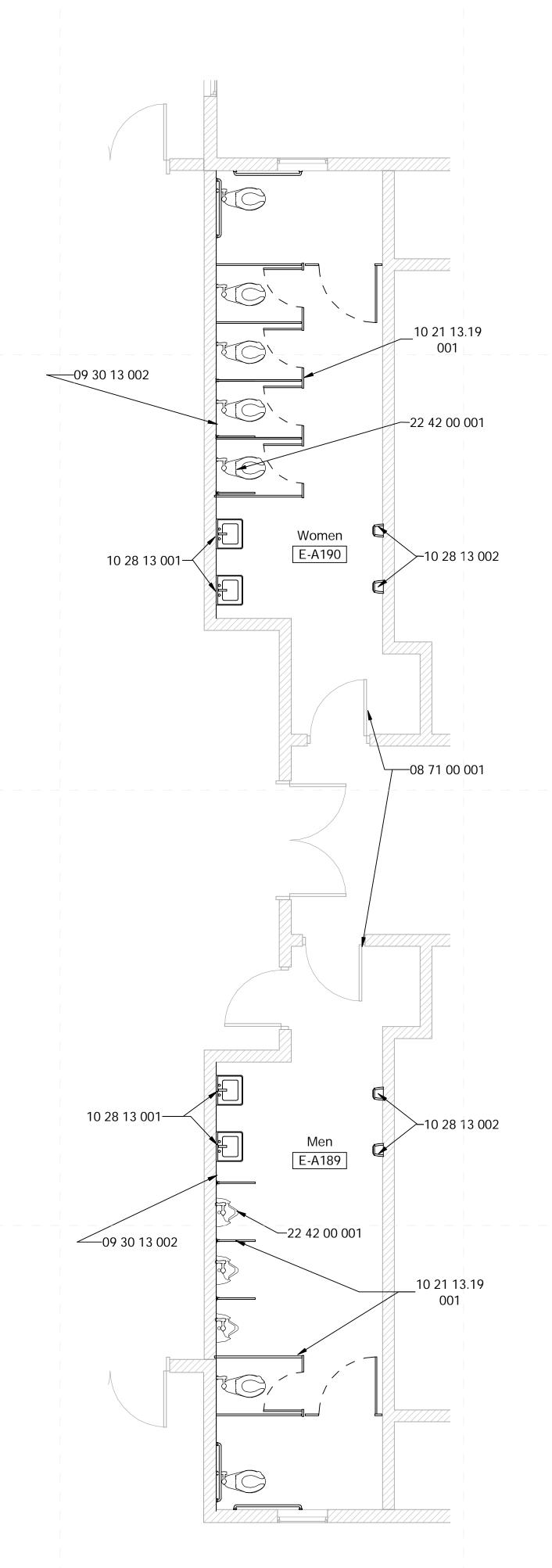
 Date
 3 January 2018

 Revisions
 Rev Date

 1
 10/5/2021

 2
 11/26/2021

A-404



Main Floor - SE Toilets - Existing

Main Floor - SE Toilets - New Construction

- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the
- opening is a part of corridor. 2. Remove all existing flooring, ceiling tile, rubber base, etc... where shown to be replaced by new materials in the finish
- schedule. RE: Floors plans, RCP, and Finish Schedule 3. Owner has right of refusal for all demo work. If not retained,
- GC to be responsible for disposal. 4. Verify all existing conditions. Notify architect of any
- discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this
- 5. Burying or Burning of materials will not be permitted on
- 6. Repair any damage caused to building construction identified to remain.
- 7. Refer to other discipline drawings for additional demolition
- information as noted 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to
- remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to
- 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- 10. Where areas are removed or altered, patch, repair, & paint
- to match adjacent surface material and finish. 11. Remove all tile within bathrooms (floor & wall).
- 12. Remove partitions and existing fixtures.

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Not For Construction

District

Specific Notes

02 41 19 002 Dashed lines indicated extent of demoed work 08 71 00 001 Replace all door hardware with new at existing

09 30 13 002 Install new wall tile flush and straight, floor to

10 21 13.19 Install new toilet partitions (typical)

10 28 13 001 Install wall hung mirror here; center over fixture

unless noted otherwise 10 28 13 002 Install hand dryer here; coordinate with electrical & mechanical

22 42 00 001 Coordinate new fixture installations with mechanical, typical for new

General Finish Plan Notes

- 1. All flooring transitions are to occur at center line of door
- 2. Protect existing floor tile during construction; Clean floor tile
- 3. New Fixture locations shall be coordinated with mechanical
- 4. Install new tile base at all walls in bathrooms
- 5. Install new grab bars at all ADA & AMB toilets
- 6. Paint all Exposed CMU at bathroom interiors with epoxy
- 7. Install moisture resistant back board at all new tile.

Design Development

21027 3 January 2018 Rev Date 10/5/2021

Office -E-A146

Office

E-A145

Office E-A143

Office E-A144

General RCP Notes

- 1. All ceiling heights shall be same as existing or lower, unless noted otherwise.
- 2. Repair/replace any and all ceiling damaged due to
- construction activities.
- 3. Bent ceiling grid damaged due to construction activities shall be replaced or bent to appear as new in shape.

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dalebaileyplans.com

p 228.374.1409

Not For Construction

District

Ceiling Legend

Moisture Resistant Acoustical Lay In Ceiling

Colored Acoustical Lay In Ceiling

Vinyl Faced Acoustical Lay In Ceiling

Plaster/Stucco

Concealed Fastender Painted Metal Soffit

2x2 Fluorescent Fixture

Exterior Wall Light

Interior Wall Light

Gypsum Board Ceiling

2x2 Acoustical Lay In Ceiling

Recessed Can Light Fixture

HVAC Supply Grille

HVAC Return Grille

Open to Structure (OTS)

Design Development

21027 3 January 2018 Rev Date

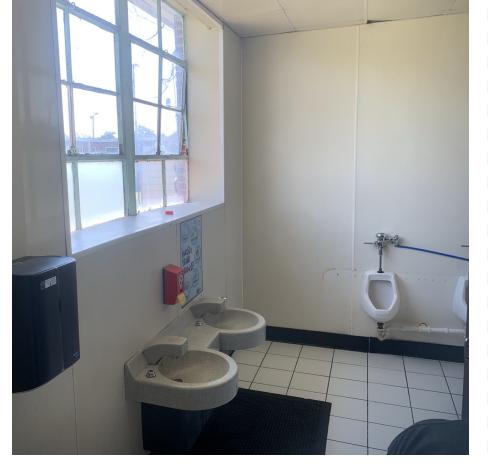
A-441

All School's Specific Notes

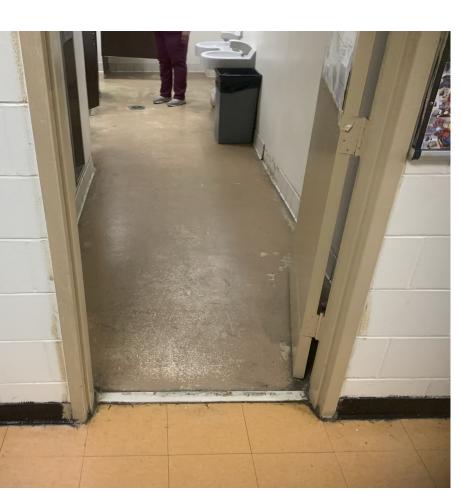
	•
02 00 00 001	Floor tile to remain; patch and repair as needed
02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 003	Demo FRP & Base at walls; typical at all bathroom interiors unless otherwise noted
08 11 13 001	Install metall door and frame to match existing for corrected swing
08 71 00 001	Replace all door hardware with new at existing leaf
09 30 13 001	Install new floor tile; slope to floor drain is drain provided
09 30 13 003	Install new wall tile flush and straight with accent top piece, floor to highest partial wall or window sill height; typical at bathroom interior unless noted otherwise
09 30 13 004	Prep surface for new tile install; contractor shall be repsonsible for issues concerning lack of adhesion between mortar and substrates as well as levelness of finished tile
09 30 13 005	Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
09 30 13 006	Install accent tile at this wall
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new
22 47 13 001	Install double drinking fountain here; coordinate with mechanical & electrical drawings
22 47 13 002	Install single drinking fountain here; coordinate with mechanical & electrical drawings



Front of School

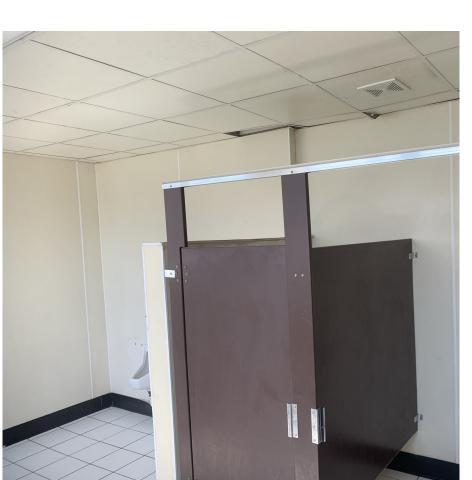






Boys 57

Boys 86





Boys 49



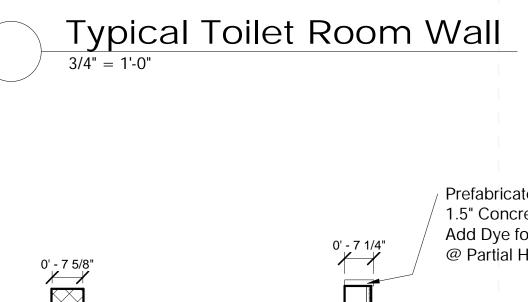




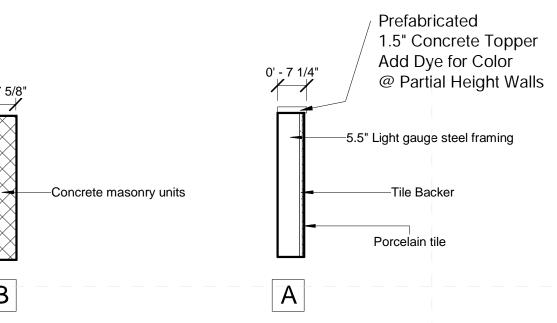
Girls 50



Girls 85



See Mech. 1'-6"



3'-0"

See Spec for Sizing

Hand Dryer

SD (typical @ all toilet rooms)

TP Dispenser (typ. at all toilets)

3'-6"

See Mech. 1'-6"

Wall Types

AN ASSOCIATION

Architects

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p 228.374.1409

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Not For Construction

District e, MS 38771

onsolidated

Sunflower

Issue Date Rev Date 10/5/2021 11/26/2021

Design Development

General RCP Demolition Notes

- 1. Where ceiling transitions from new ceiling to existing
- ceiling, coordinate with Architect detail.
 Remove all existing ceiling grid & tile unless noted otherwise, as well as any wall fasteners and/or mastics attached therein where shown to be replaced by new materials.
- 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.
- 5. Burying or Burning of materials will not be permitted on
- Repair any damage caused to building construction identified to remain.
- 7. Refer to other discipline drawings for additional demolition information as noted.
- 8. Existing loose school property to be the responsibility of the school district, removal of property by owner to be
- coordinated between the contractor and school district.9. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- 10. No work in rooms with ceiling open to the structure above, unless noted otherwise.

Not For Construction

District

DALE

AN ASSOCIATION

Architects

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188 East Capitol Street

Jackson, MS 39201 p 601.352.5411

201 Park Court Suite B

Ridgeland, MS 39157

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161 Lameuse St. Suite 201

Biloxi, MS 39530

p 228.374.1409

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Ceiling Legend

Moisture Resistant Acoustical Lay In Ceiling

Colored Acoustical Lay In Ceiling

Vinyl Faced Acoustical Lay In Ceiling

Gypsum Board Ceiling

Plaster/Stucco

Concealed Fastender Painted Metal Soffit

2x2 Acoustical Lay In Ceiling

2x2 Fluorescent Fixture

Surface-Mounted Fluorescent Light Fixture

Recessed Can Light Fixture

HVAC Supply Grille

HVAC Return Grille

■ Exterior Wall Light

Interior Wall Light

Open to Structure (OTS)

Design Development

Project No 00000

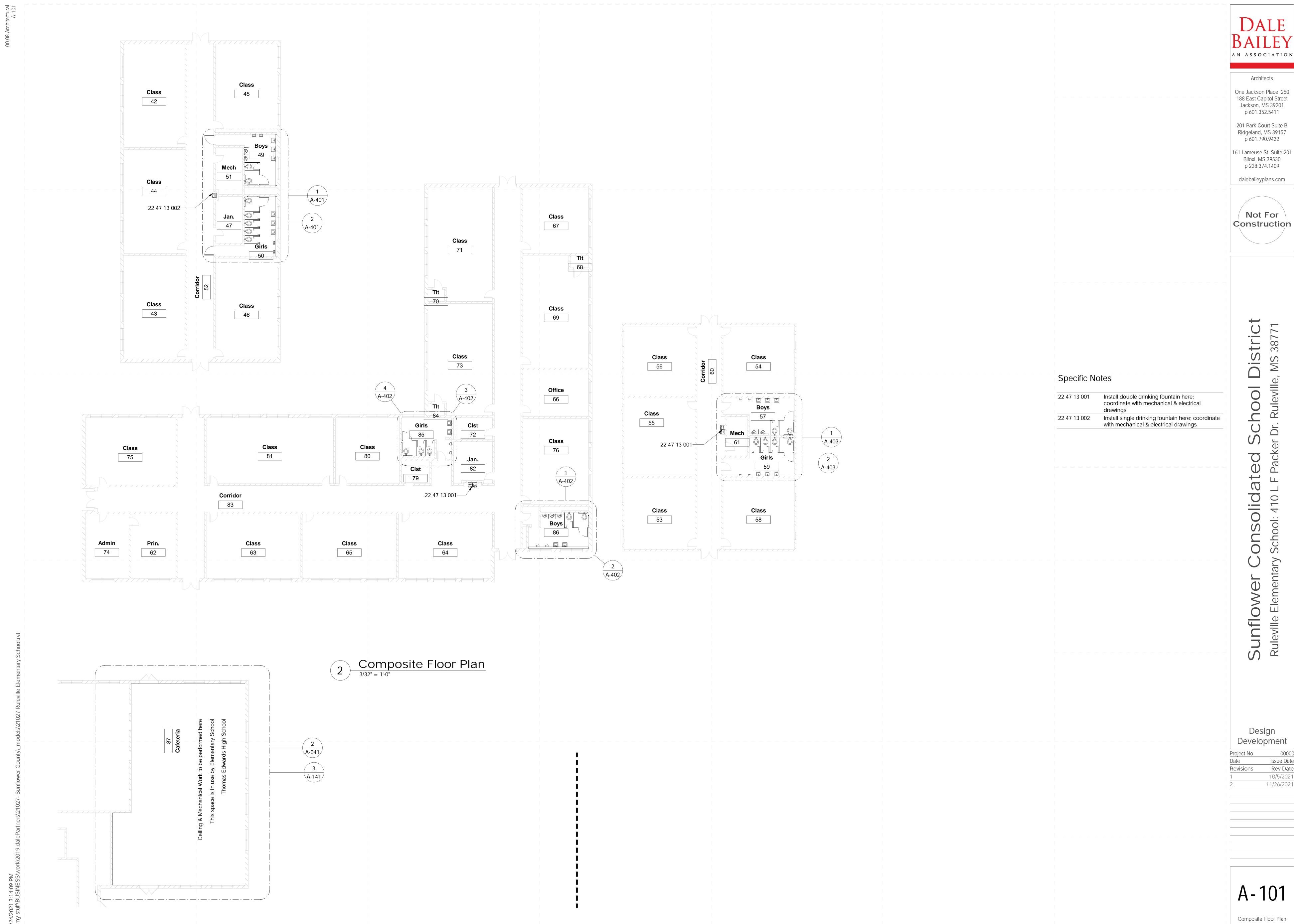
Date Issue Date

Revisions Rev Date

1 10/5/2021
2 11/26/2021

A-041

Composite RCP



AN ASSOCIATION

Architects

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Biloxi, MS 39530 p 228.374.1409

Not For Construction

Design Development

Issue Date Rev Date 10/5/2021 11/26/2021

A-101

Cafeteria - New Construction

2' x 2' ACT System 10' - 4" A.F.F.

OT2\$ 2' ACT System MR

2' x 2' ACT System 10' - 4" A.F.F.

2' x 2' ACT System 9' - 0" A.F.F.

2' x 2' ACT System 9' - 0" A.F.F.

1X1 TILE 10' - 0" A.F.F.

OTS

10' - 0" A.F.F.

ACT Syste

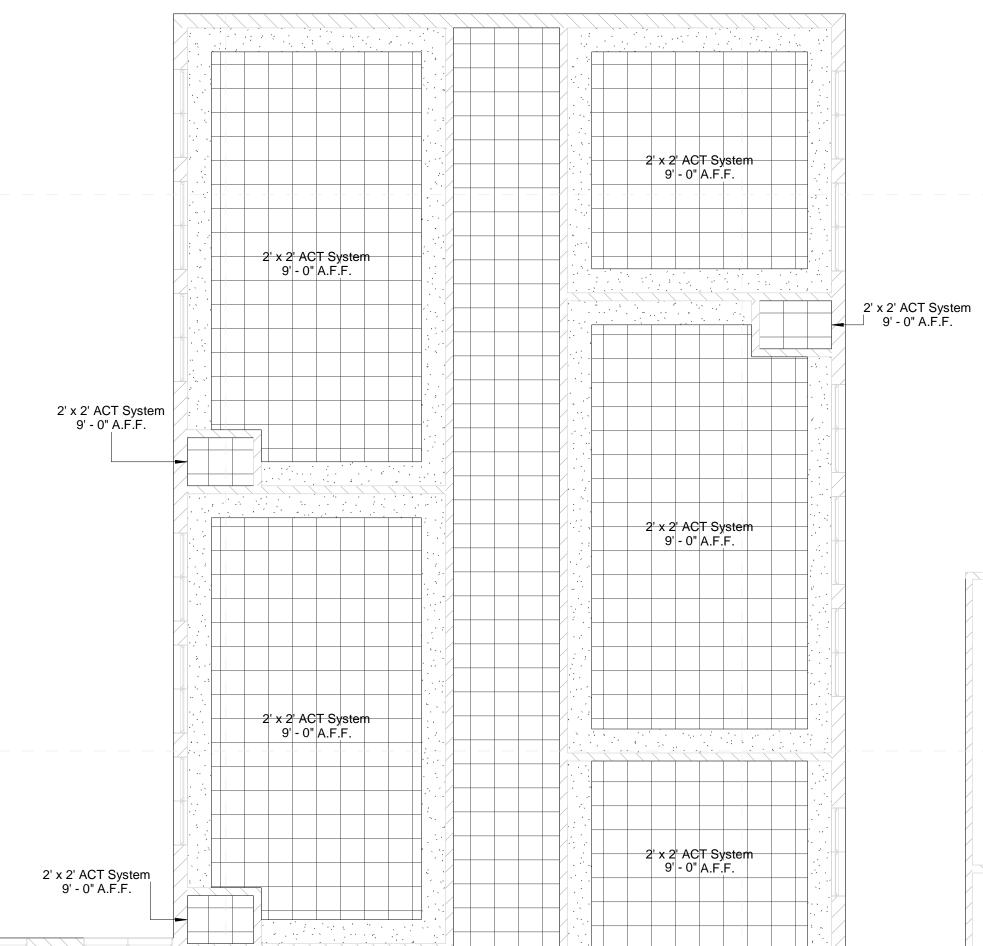
2 × 2 /

2' x 2' ACT System 10' - 4" A.F.F.

2' x 2' ACT System 10' - 4" A.F.F.

2' x 2' ACT System

10' - 4" A.F.F.



OTS

OTS

2' x 2' ACT System 9' - 0" A.F.F.

2' x 2' ACT System 9' - 0" A.F.F.

2' x 2' ACT System 9' - 0" A.F.F.

2' 2' 2' 2' 2' CATC Sty Styesther Ital R

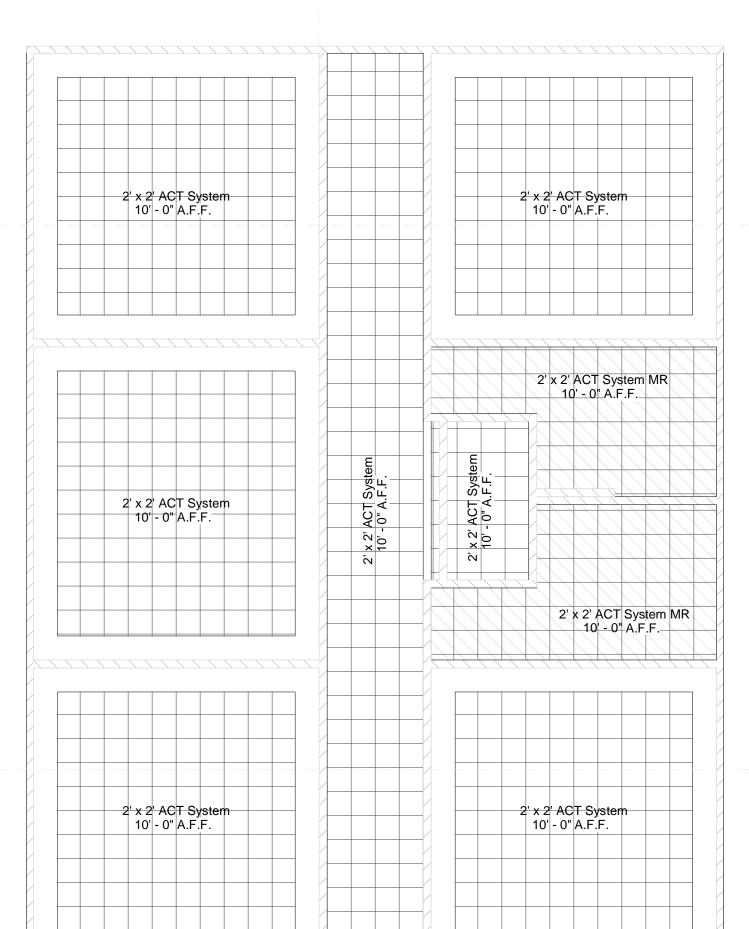
19' - 0" A.F.F.

2' 2' 2' 2' CATC \$ y Styenter Ital R

2' x 2' ACT System 9' - 0" A.F.F.

2' x 2' ACT System 9' - 0" A.F.F.

Typical Ceiling Layout



General RCP Notes

Extent of Paint @ Ceiling Surface

4' - 0"

Ceiling Legend

Moisture Resistant Acoustical Lay In Ceiling

Colored Acoustical Lay In Ceiling

Vinyl Faced Acoustical Lay In Ceiling

Concealed Fastender Painted Metal Soffit

Gypsum Board Ceiling

2x2 Fluorescent Fixture

Recessed Can Light Fixture

HVAC Return Grille

Open to Structure (OTS)

Exterior Wall Light

Interior Wall Light

Surface-Mounted Fluorescent Light Fixture

Plaster/Stucco

2x2 Acoustical Lay In Ceiling

- 1. All ceiling heights shall be same as existing or lower, unless noted otherwise.
- 2. Contractor shall paint all surfaces above 8'-8" at wall, roof, and ceiling, as well as anything attached therein at all
- ACT, unless noted otherwise. 3. Repair/replace any and all ceiling damaged due to
 - construction activities.
- 4. Bent ceiling grid damaged due to construction activities shall be replaced or bent to appear as new in shape.

AN ASSOCIATION exposed sections of ceilings where not covered by new 2x2

Architects

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Not For

Construction

District e, MS 38771 Olid

Design Development

Issue Date Rev Date 10/5/2021

11/26/2021

A-141

1 RCP - New Construction

2' x 2' ACT System 9' - 0" A.F.F.

2' x 2' ACT System 9' - 0" A.F.F.

2' x 2' ACT System 9' - 0" A.F.F.

Composite RCP

Corridor 52

50

02 00 00 001-

10 28 13 002

-09 30 13 003

- 1. All flooring transitions are to occur at center line of door
- New Fixture locations shall be coordinated with mechanical

 - 3. Install new tile base at all walls in bathrooms 4. Install new grab bars at all ADA toilets
- 5. Install 1/2" MR Drywall at upper wall (ABV tile To 2" Above Ceiling) with adhesive and mechanical fasteners; finish and
- 6. Install moisture resistant back board at all new tile.

AN ASSOCIATION

Architects

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Not For

Construction

General Demolition Notes

- 1. Where floor transitions from new floor to existing floor, a opening is a part of corridor.
- 2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule 3. Owner has right of refusal for all demo work. If not retained,
- 4. Verify all existing conditions. Notify architect of any documents. The Contractor is to consider the additional
- 5. Burying or Burning of materials will not be permitted on
- identified to remain.
- 7. Refer to other discipline drawings for additional demolition information as noted
- 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to
- 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- 10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- 11. Remove partitions and existing fixtures.

02 00 00 001	Floor tile to remain; patch and repair as needed
02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 003	Demo FRP & Base at walls; typical at all bathroom interiors unless otherwise noted
08 11 13 001	Install metall door and frame to match existing for corrected swing
09 30 13 003 —	Install new wall tile flush and straight with accent top piece, floor to highest partial wall or window sill height; typical at bathroom interior unless noted otherwise
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with

mechanical, typical for new

Sill Height 5' - 0"

---10 28 13 001

- floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the
- GC to be responsible for disposal.
- discrepancies between the existing conditions and these work required by any discrepancies to be included in this
- 6. Repair any damage caused to building construction

Design Development

<u>—</u>

	1
Project No	00000
Date	Issue Date
Revisions	Rev Date
1	10/5/2021
2	11/26/2021

Toilets - NW Bank -Existing

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---02 41 19 003

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|----

---02 41 19 003

51

47

—02 41 19 002

49

F=======

L=======

--02 41 19 002

50

Corridor

52

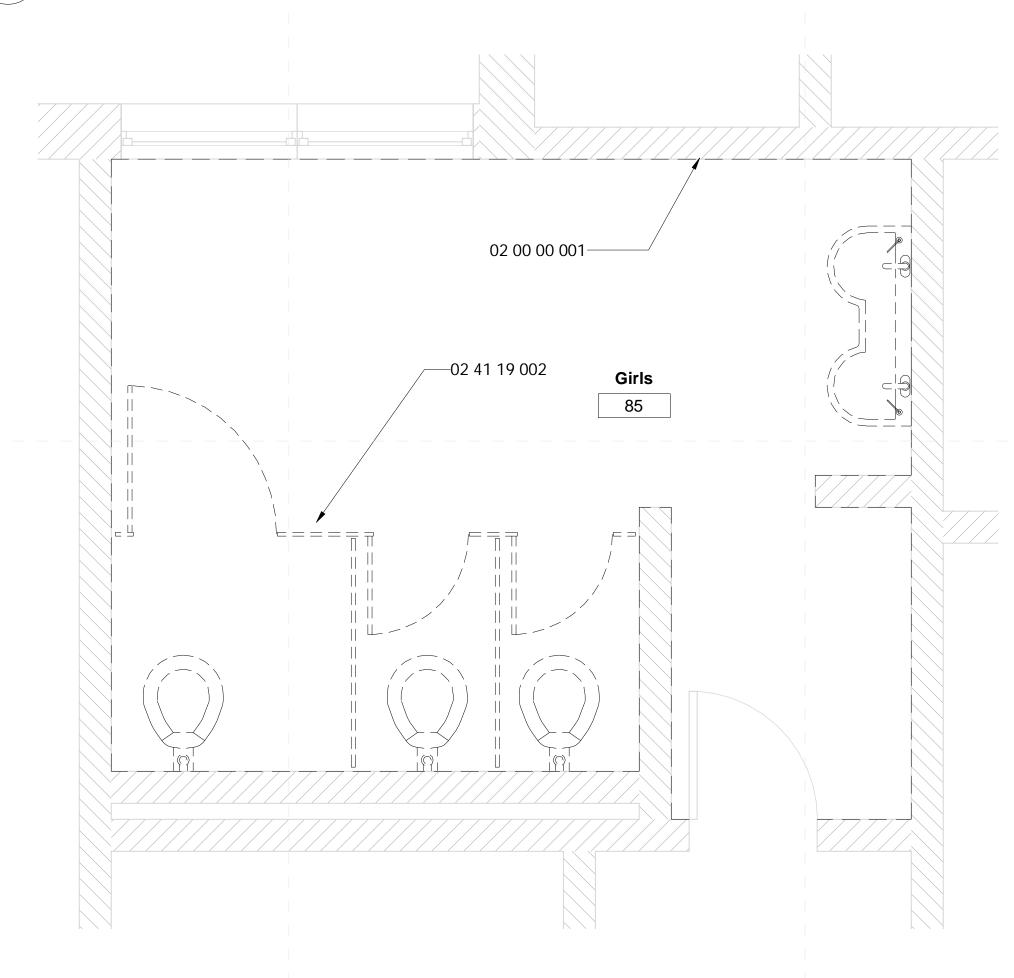
2 Toilets - NW Bank -New Construction

1/2" = 1'-0"

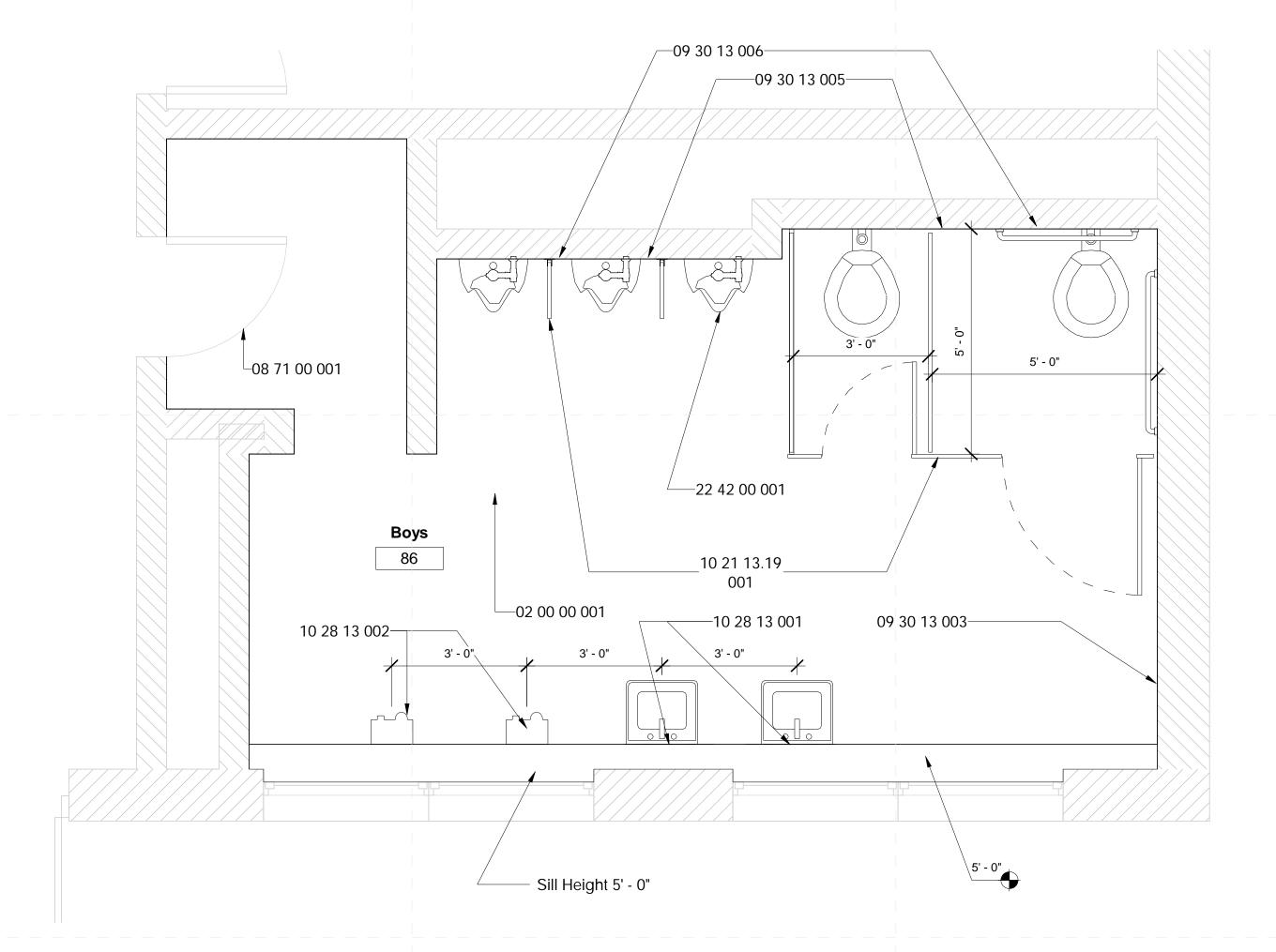
--08 11 13 001

Jan. 47



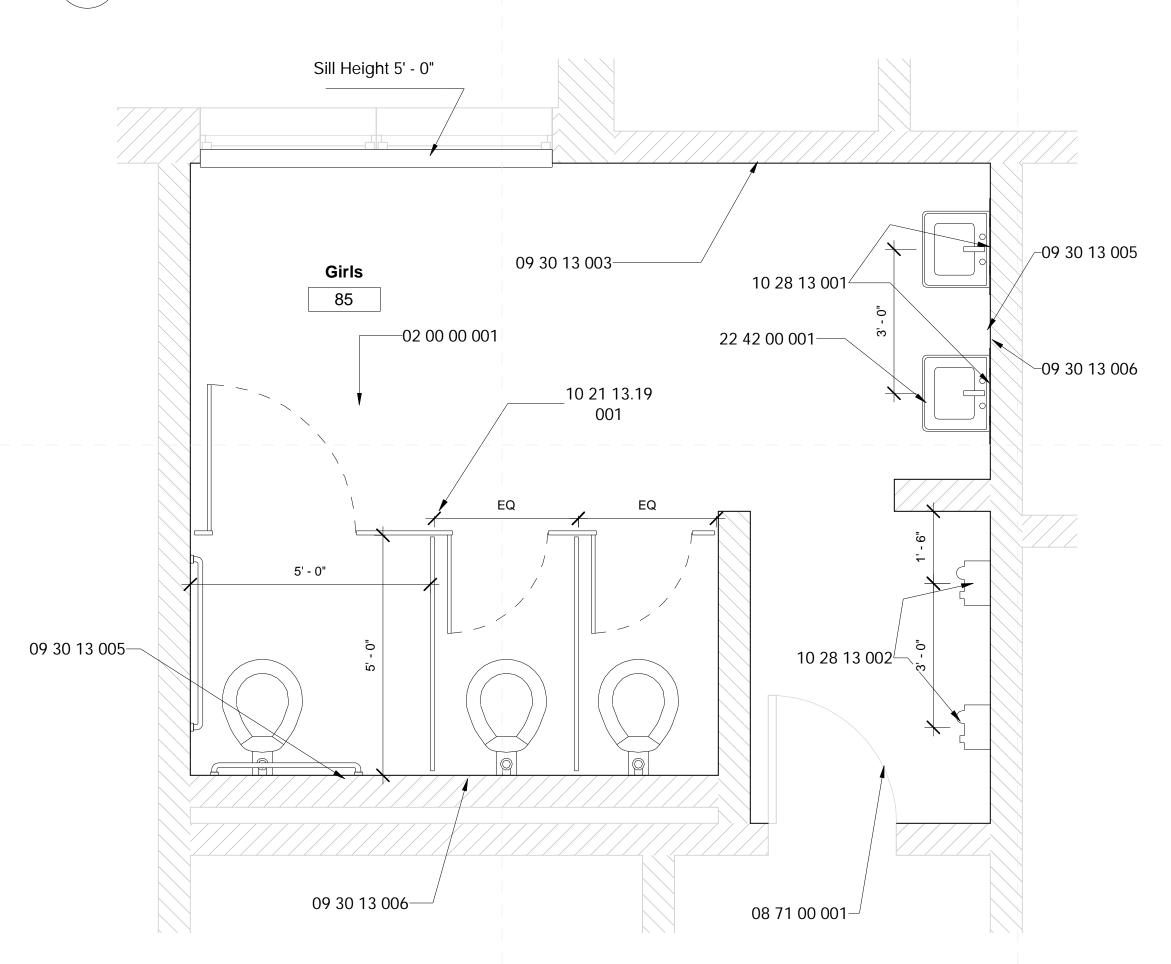


Toilets - Central Bank W - Existing



Toilets - Central Bank E - New Construction

1/2" = 1'-0"



Toilets - Central Bank W - New Construction

1/2" = 1'-0"

- 1. All flooring transitions are to occur at center line of door
- 2. New Fixture locations shall be coordinated with mechanical
- 3. Install new tile base at all walls in bathrooms
- 4. Install new grab bars at all ADA toilets
- 5. Install 1/2" MR Drywall at upper wall (ABV tile To 2" Above Ceiling) with adhesive and mechanical fasteners; finish and paint with epoxy
- 6. Install moisture resistant back board at all new tile.

AN ASSOCIATION

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Not For Construction

Specific Notes

02 00 00 001	Floor tile to remain; patch and repair as needed
02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 003	Demo FRP & Base at walls; typical at all bathroom interiors unless otherwise noted
08 71 00 001	Replace all door hardware with new at existing leaf
09 30 13 003	Install new wall tile flush and straight with accent top piece, floor to highest partial wall or window sill height; typical at bathroom interior unless noted otherwise
09 30 13 005	Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
09 30 13 006	Install accent tile at this wall
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical
22 42 00 001	Coordinate new fixture installations with mechanical, typical for new

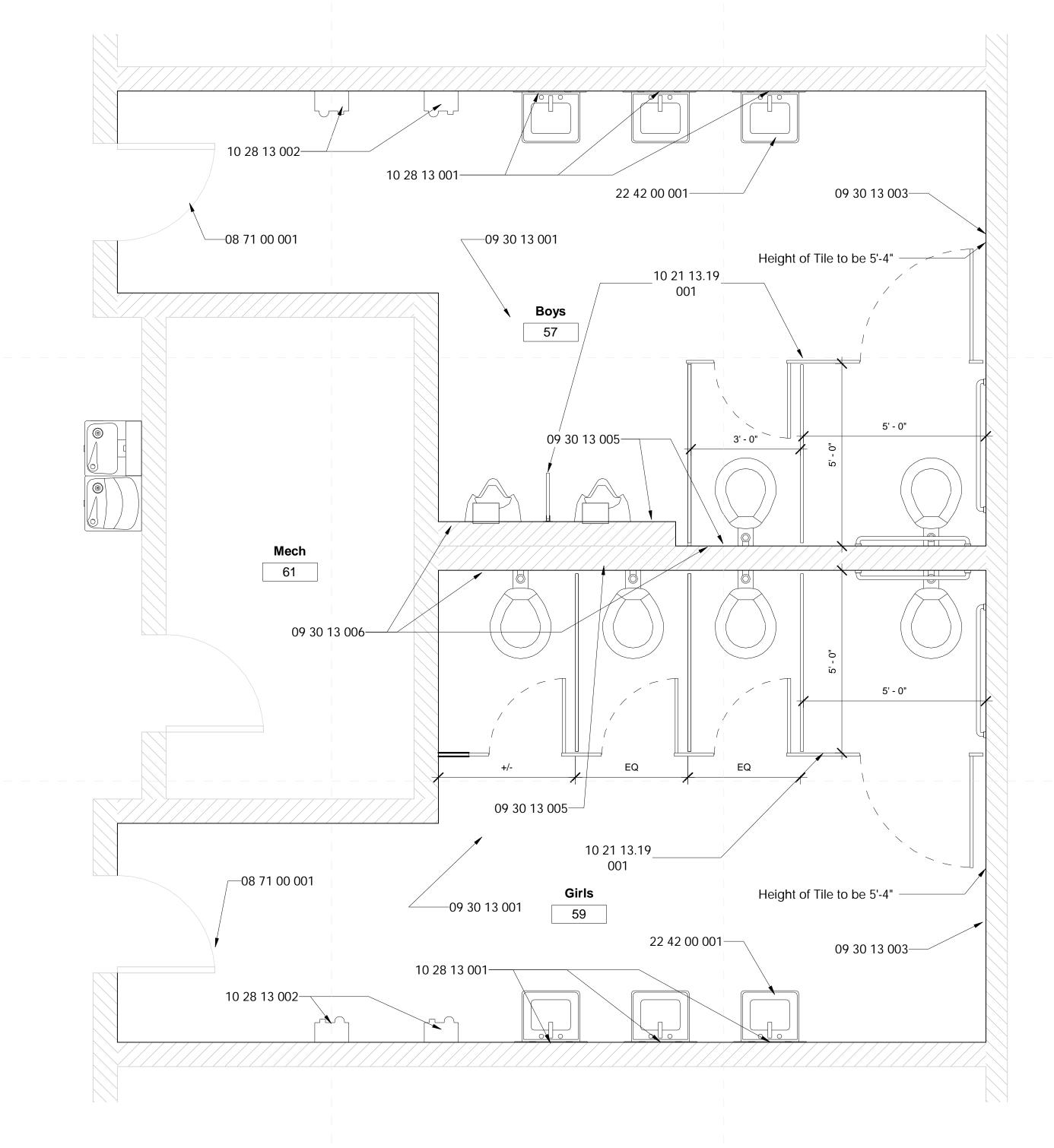
General Demolition Notes

- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- 2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this
- 5. Burying or Burning of materials will not be permitted on
- 6. Repair any damage caused to building construction
- 7. Refer to other discipline drawings for additional demolition information as noted
- 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to
- 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- 10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish. 11. Remove partitions and existing fixtures.

Design Development

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Toilets - East Bank - New Construction

General Finish Plan Notes

paint with epoxy

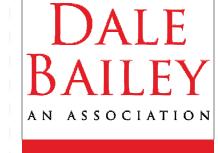
Specific Notes

02 41 19 002

10 28 13 002

22 42 00 001

- 1. All flooring transitions are to occur at center line of door
- 2. New Fixture locations shall be coordinated with mechanical
- 3. Install new tile base at all walls in bathrooms
- 4. Install new grab bars at all ADA toilets 5. Install 1/2" MR Drywall at upper wall (ABV tile To 2" Above Ceiling) with adhesive and mechanical fasteners; finish and
- 6. Install moisture resistant back board at all new tile.



Ridgeland, MS 39157

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Demo FRP & Base at walls; typical at all 02 41 19 003 bathroom interiors unless otherwise noted 08 71 00 001 Replace all door hardware with new at existing leaf Install new floor tile; slope to floor drain is 09 30 13 001 drain provided 09 30 13 003 Install new wall tile flush and straight with accent top piece, floor to highest partial wall or window sill height; typical at bathroom interior unless noted otherwise 09 30 13 004 Prep surface for new tile install; contractor shall be repsonsible for issues concerning lack of adhesion between mortar and substrates as well as levelness of finished 09 30 13 005 Install new wall tile flush and straight, floor to ceiling at this plumbing wall only 09 30 13 006 Install accent tile at this wall 10 21 13.19 001 Install new toilet partitions (typical) 10 28 13 001 Install wall hung mirror here; center over

fixture unless noted otherwise

electrical & mechanical

mechanical, typical for new

Install hand dryer here; coordinate with

Coordinate new fixture installations with

Dashed lines indicated extent of demoed

General Demolition Notes

- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.
- 2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this
- 5. Burying or Burning of materials will not be permitted on
- 6. Repair any damage caused to building construction identified to remain.
- 7. Refer to other discipline drawings for additional demolition information as noted
- 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be
- exposes weather to the interior of portions of buildings to 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be

constructed at all occurrences where the demolition

- coordinated between the contractor and school district. 10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- 11. Remove partitions and existing fixtures.

Design Development

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02 41 19 Demo FRP & Base at walls; typical at all bathroom 003 interiors unless otherwise noted 02 41 19 Remove floor tile and substrate

004 02 41 19 Remove Ceiling Tile Only in the Room; repair grid 006

Coordinate measurements with new construction 007

08 11 13 Install new 36" HM Door and Frame with new 002 Replace all door hardware with new at existing leaf

09 05 05 01 Install leveling compound as needed for smooth appearance of new tile & a flush threshold to

adjacent floors, typical on new floor tile 09 30 13 Install new floor tile; slope to floor drain is drain

09 30 13 Install new wall tile flush and straight with accent top piece, floor to highest partial wall or window sill height; typical at bathroom interior unless noted

09 30 13 Install new wall tile flush and straight, floor to ceiling at this plumbing wall only

09 30 13 Install accent tile at this wall

006 09 51 23 Install new ceiling tile into existing grid here

10 21 13.19 Install new toilet partitions (typical)

10 28 13 Install wall hung mirror here; center over fixture unless noted otherwise

Install hand dryer here; coordinate with electrical & 002 mechanical

Coordinate new fixture installations with 22 42 00

mechanical, typical for new 001

22 47 13 Install double drinking fountain here; coordinate with mechanical & electrical drawings



Front of School



Mens 67

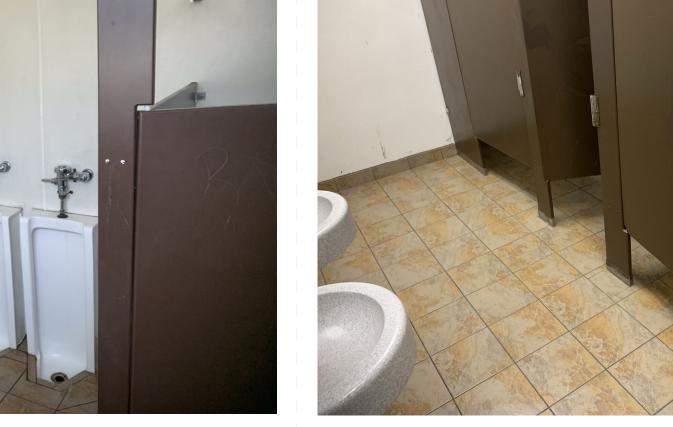


Womens 66

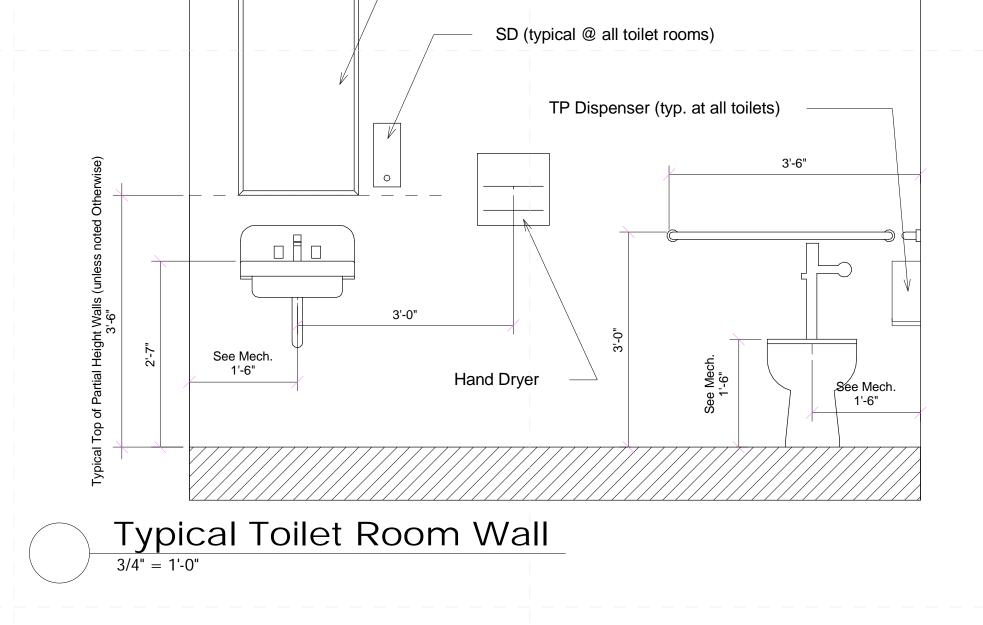


Mens 94

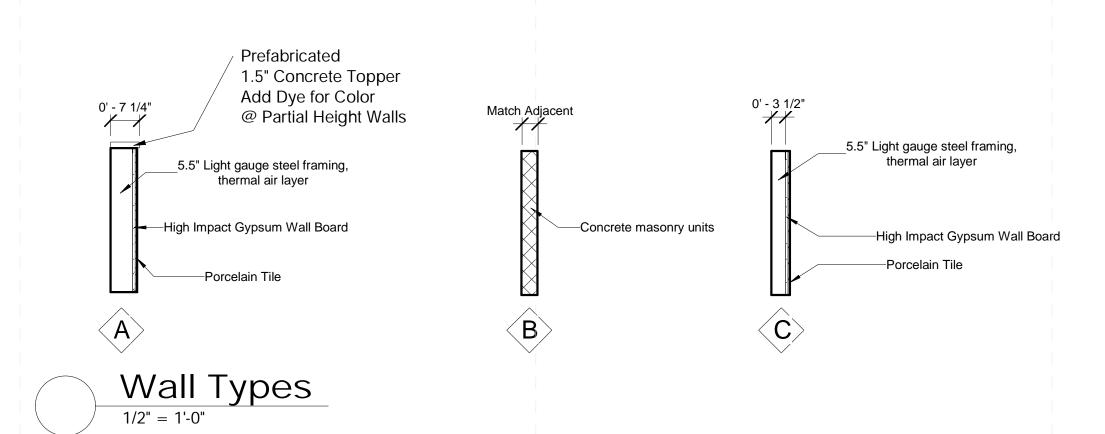
Womens 92







See Spec for Sizing



Design Development

DALE

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201 Park Court Suite B Ridgeland, MS 39157

p 601.790.9432

161 Lameuse St. Suite 201

Biloxi, MS 39530 p 228.374.1409

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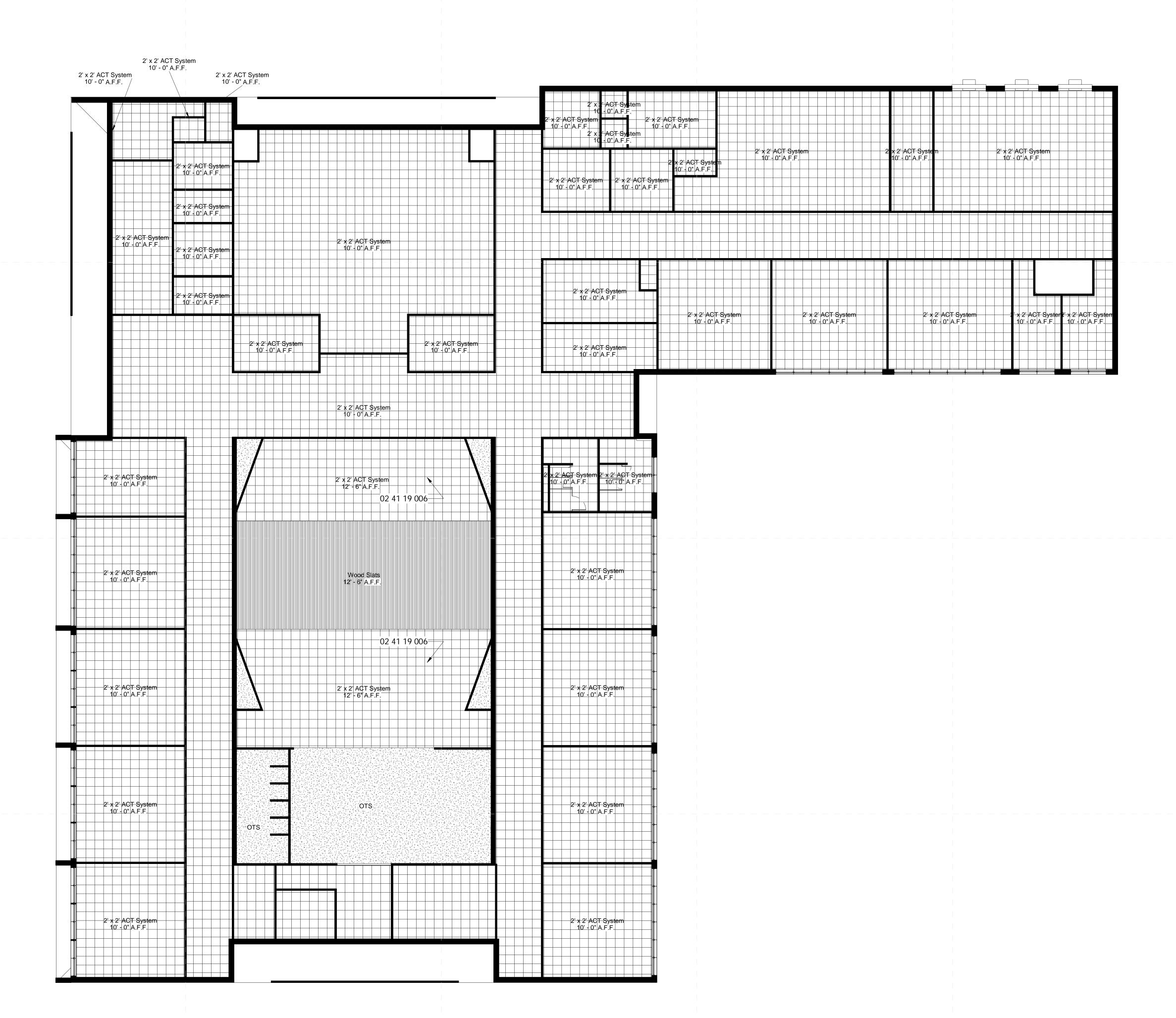
District

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Sunflower

Ruleville Middle

005
June 2021
Rev Date
10/5/2021
11/26/2021



1 RCP - Demolition
3/32" = 1'-0"

General Demolition Notes

1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor.

2. Remove all existing flooring, ceiling tile, rubber base, etc.. where shown to be replaced by new materials in the finish

schedule. RE: Floors plans, RCP, and Finish Schedule 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.

4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this

5. Burying or Burning of materials will not be permitted on

6. Repair any damage caused to building construction identified to remain.

7. Refer to other discipline drawings for additional demolition information as noted

8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to

9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.

10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

11. Remove partitions and existing fixtures.

Specific Notes

Ceiling Legend

Moisture Resistant Acoustical Lay In Ceiling Colored Acoustical Lay In Ceiling

Vinyl Faced Acoustical Lay In Ceiling

Gypsum Board Ceiling

2x2 Acoustical Lay In Ceiling

Plaster/Stucco

Concealed Fastender Painted Metal Soffit

Surface-Mounted Fluorescent Light Fixture

2x2 Fluorescent Fixture

Recessed Can Light Fixture

HVAC Supply Grille

HVAC Return Grille

Exterior Wall Light

Interior Wall Light

Open to Structure (OTS)

A-041

Composite RCP



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Construction

District

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Sunflower

Design

Development

June 2021 Rev Date

10/5/2021 11/26/2021

Architects

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Not For Construction

District 3 38771

Specific Notes

22 47 13 001 Install double drinking fountain here; coordinate with mechanical & electrical drawings

Room Room 138 Bookroom 80 Room ___22 47 13 001 Classroom 52 Classroom 53 Classroom 45 Auditorium

64 Classroom 54 Classroom 44 Classroom 43 Classroom 56 Dress Stage 149 Classroom 57 Office 58 Classroom 55 Classroom 42

Library 77 Teachers Lounge 144

Office 83

> Storage 88

145

Office 84

Room

Boiler 89

Lounge 86

Classroom

96

Classroom 90

Classroom 95

A-402

2 A-402

Storage 97

22 47 13 001

Classroom 91

Ruleville Middle Main Building - New Construction

3/32" = 1'-0"

Princ. A/C 143 98 70

Recept 71

Vault

75

Storage 74

Storage 73

Storage 72

Design Development

Ruleville Middle

Sunflower

 Project No
 005

 Date
 June 2021

 Revisions
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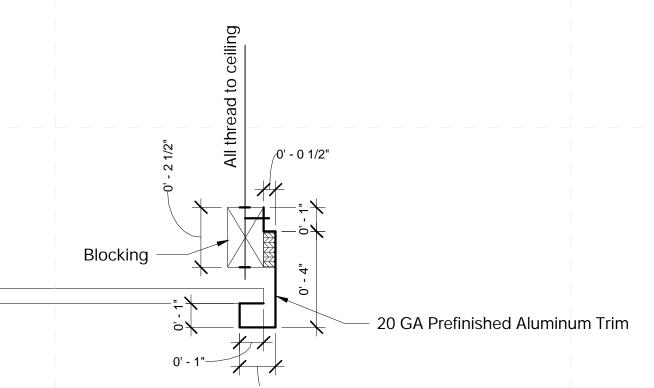
 2
 11/26/2021

A-101

Composite Floor Plan

1 RCP - New Construction

3/32" = 1'-0"



Ceiling Edge Trim Detail

General RCP Notes

- All ceiling heights shall be same as existing or lower, unless noted otherwise.
- noted otherwise.

 2. Contractor shall paint all surfaces above 10'-0" at wall, roof, and ceiling, as well as anything attached therein at all exposed sections of ceilings where not covered by new 2x2 ACT unless noted otherwise.
 - ACT, unless noted otherwise

 3. Repair/replace any and all ceiling damaged due to construction activities.
- 4. Bent ceiling grid damaged due to construction activities shall be replaced or bent to appear as new in shape.
- 5. ACT in auditorium to be reveal edged

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Specific Notes



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Ceiling Legend

Moisture Resistant Acoustical Lay In Ceiling

Colored Acoustical Lay In Ceiling

Vinyl Faced Acoustical Lay In Ceiling

Gypsum Board Ceiling

2x2 Acoustical Lay In Ceiling

Plaster/Stucco

Concealed Fastender Painted Metal Soffit

2x2 Fluorescent Fixture

Surface-Mounted Fluorescent Light Fixture

Recessed Can Light Fixture

HVAC Supply Grille

HVAC Return Grille

Exterior Wall Light

Open to Structure (OTS)

Design Development

 Project No
 005

 Date
 June 2021

 Revisions
 Rev Date

 1
 10/5/2021

 2
 11/26/2021

A-141

Composite RCP

- floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor. 2. Remove all existing flooring, ceiling tile, rubber base, etc..
- where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
- GC to be responsible for disposal.
- discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract. 5. Burying or Burning of materials will not be permitted on
- 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to
- 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- 10. Where areas are removed or altered, patch, repair, & paint
- 11. Remove partitions and existing fixtures.

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Project No	005
Date	June 2021
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1	10/5/2021
2	11/26/2021

General Finish Plan Notes

1. All flooring transitions are to occur at center line of door

2. New Fixture locations shall be coordinated with mechanical

sheets. 3. Install new tile base at all walls in bathrooms

4. Install new grab bars at all ADA toilets 5. Install 5/8" drywall at upper wall (3'-6" AFF To 2" Above Ceiling) with adhesive and mechanical fasteners; finish and paint with epoxy

6. Install moisture resistant back board at all new tile.

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Not For

Construction

Specific Notes

02 41 19 002	Dashed lines indicated extent of demoed work
02 41 19 003	Demo FRP & Base at walls; typical at all bathroom interiors unless otherwise noted
02 41 19 004	Remove floor tile and substrate
02 41 19 007	Coordinate measurements with new construction
08 11 13 002	Install new 36" HM Door and Frame with new hardware
08 71 00 001	Replace all door hardware with new at existing leaf
09 05 05 01	Install leveling compound as needed for smooth appearance of new tile & a flush threshold to adjacent floors, typical on new floor tile
09 30 13 001	Install new floor tile; slope to floor drain is drain provided
09 30 13 003	Install new wall tile flush and straight with accent top piece, floor to highest partial wall or window sill height; typical at bathroom interior unless noted otherwise
09 30 13 005	Install new wall tile flush and straight, floor to ceiling at this plumbing wall only
09 30 13 006	Install accent tile at this wall
10 21 13.19 001	Install new toilet partitions (typical)
10 28 13 001	Install wall hung mirror here; center over fixture unless noted otherwise
10 28 13 002	Install hand dryer here; coordinate with electrical & mechanical

General Demolition Notes

1. Where floor transitions from new floor to existing floor, a

22 42 00 001 Coordinate new fixture installations with

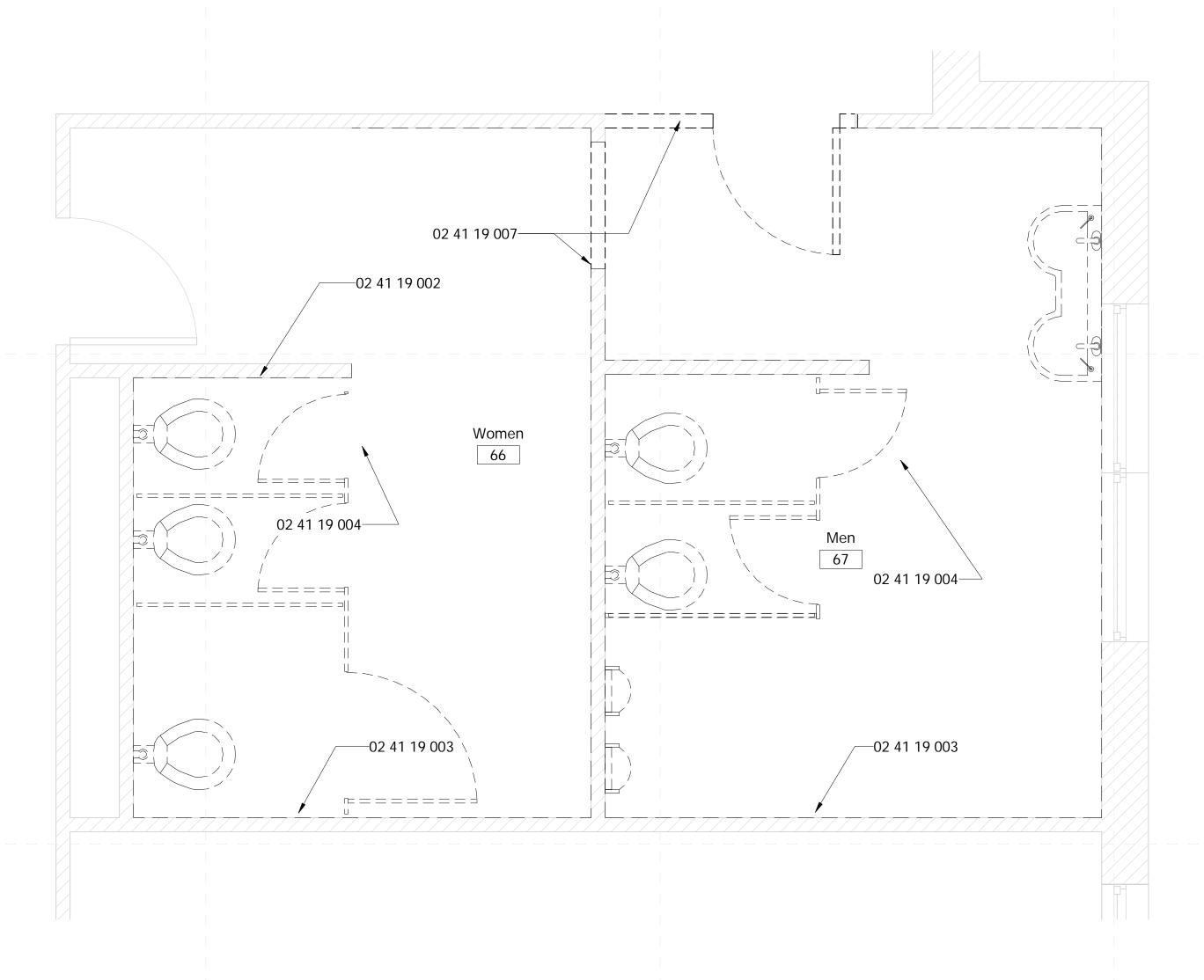
mechanical, typical for new

- 3. Owner has right of refusal for all demo work. If not retained,
- 4. Verify all existing conditions. Notify architect of any
- 6. Repair any damage caused to building construction identified to remain.
- 7. Refer to other discipline drawings for additional demolition information as noted
- to match adjacent surface material and finish.

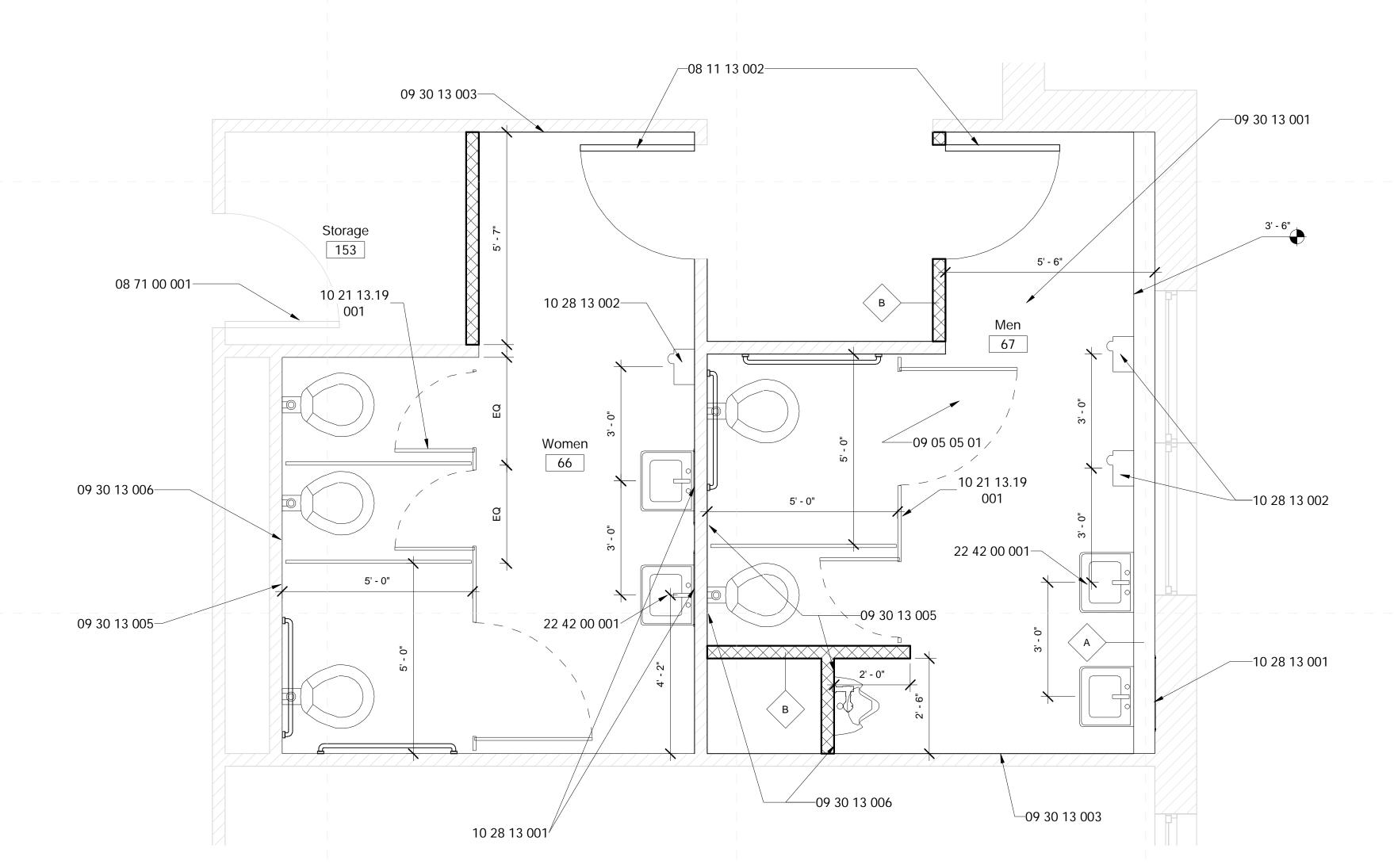
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Project No	005
Date	June 2021
Revisions	Rev Date
1	10/5/2021
2	11/26/2021

A-401



Central Toilets - Existing 1 1/2" = 1'-0"



2 Central Toilets - New Construction

1 West Toilets - Existing

—09 05 05 01 ·

General Finish Plan Notes

1. All flooring transitions are to occur at center line of door

2. New Fixture locations shall be coordinated with mechanical

3. Install new tile base at all walls in bathrooms

4. Install new grab bars at all ADA toilets

5. Install 5/8" drywall at upper wall (3'-6" AFF To 2" Above Ceiling) with adhesive and mechanical fasteners; finish and paint with epoxy

6. Install moisture resistant back board at all new tile.

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Specific Notes

Not For Construction

02 41 19 002 Dashed lines indicated extent of demoed work 02 41 19 003 Demo FRP & Base at walls; typical at all bathroom interiors unless otherwise noted

height; typical at bathroom interior unless noted

02 41 19 004 Remove floor tile and substrate 08 11 13 002 Install new 36" HM Door and Frame with new

_09 05 05 01 __Install leveling compound as needed for smooth appearance of new tile & a flush threshold to adjacent floors, typical on new floor tile 09 30 13 003 Install new wall tile flush and straight with accent top piece, floor to highest partial wall or window sill

otherwise 09 30 13 005 Install new wall tile flush and straight, floor to ceiling at this plumbing wall only

09 30 13 006 Install accent tile at this wall 10 21 13.19 Install new toilet partitions (typical)

10 28 13 001 Install wall hung mirror here; center over fixture -unless-noted otherwise

10 28 13 002 Install hand dryer here; coordinate with electrical & mechanical

22 42 00 001 Coordinate new fixture installations with mechanical, typical for new

West Toilets - New Construction

1/2" = 1'-0"

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Design Development

June 2021 Rev Date 10/5/2021