

General RCP Demolition Notes

1. Where ceiling transitions from new ceiling to existing

ceiling, coordinate with Architect detail.
Remove all existing ceiling grid & tile unless noted otherwise, as well as any wall fasteners and/or mastics attached therein where shown to be replaced by new materials.

 Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.

Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this Contract.

5. Burying or Burning of materials will not be permitted on

Repair any damage caused to building construction identified to remain.

Refer to other discipline drawings for additional demolition information as noted.

8. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.

 Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

10. No work in rooms with ceiling open to the structure above, unless noted otherwise.

Not For Construction

DALE Bailey

AN ASSOCIATION

Architects

One Jackson Place 250

188 East Capitol Street

Jackson, MS 39201

p 601.352.5411

201 Park Court Suite B

Ridgeland, MS 39157

p 601.790.9432

161 Lameuse St. Suite 201

Biloxi, MS 39530

p 228.374.1409

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Ceiling Legend

Moisture Resistant Acoustical Lay In Ceiling

Colored Acoustical Lay In Ceiling

Vinyl Faced Acoustical Lay In Ceiling

2x2 Acoustical Lay In Ceiling

Gypsum Board Ceiling

Plaster/Stucco

Concealed Fastender Painted Metal Soffit

2x2 Fluorescent Fixture

Surface-Mounted Fluorescent Light Fixture

Recessed Can Light Fixture

HVAC Supply Grille

HVAC Return Grille

Exterior Wall Light

Interior Wall Light

Open to Structure (OTS)

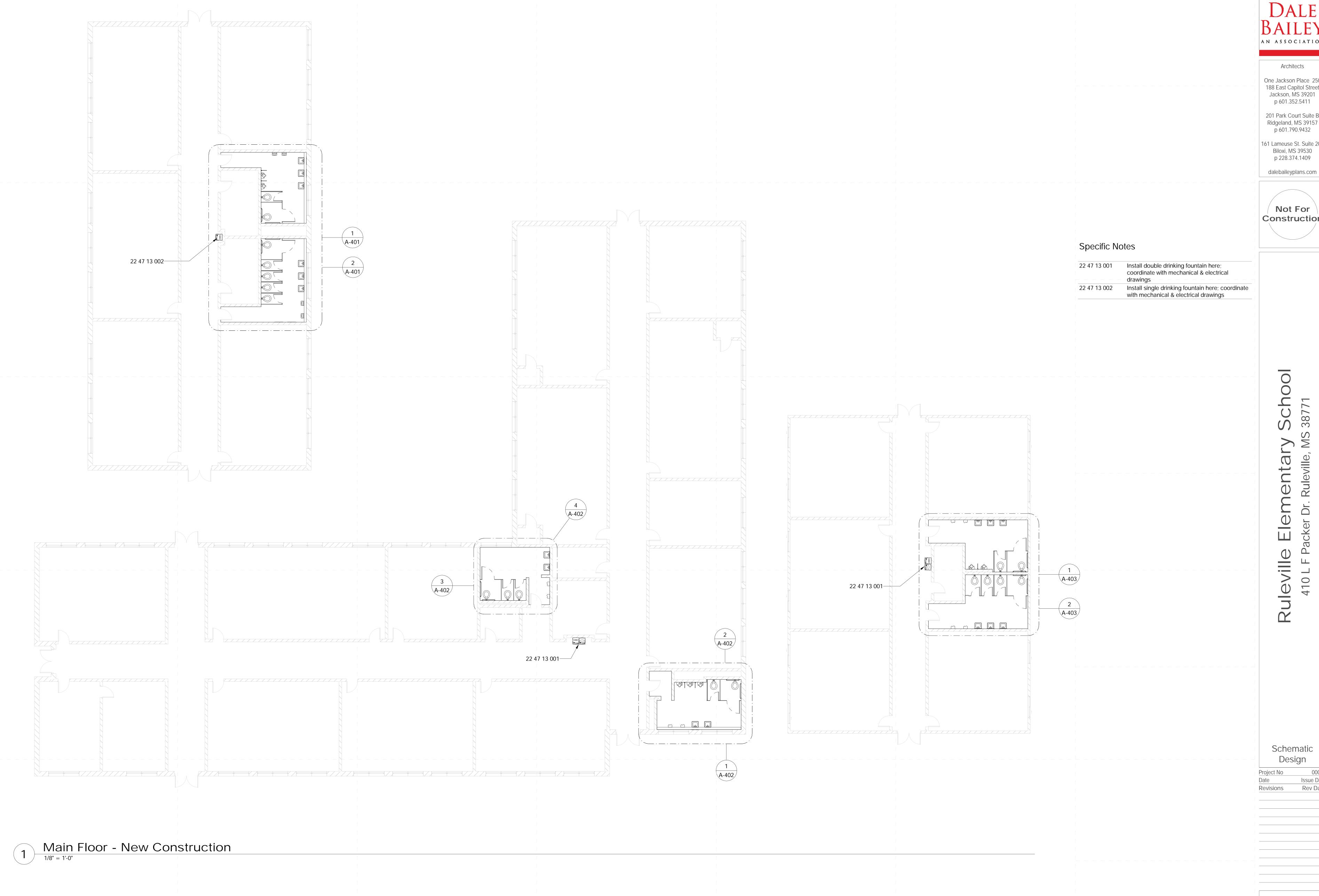
Schematic Design

Ruleville

Project No00000DateIssue DateRevisionsRev Date

A-041

Composite RCP



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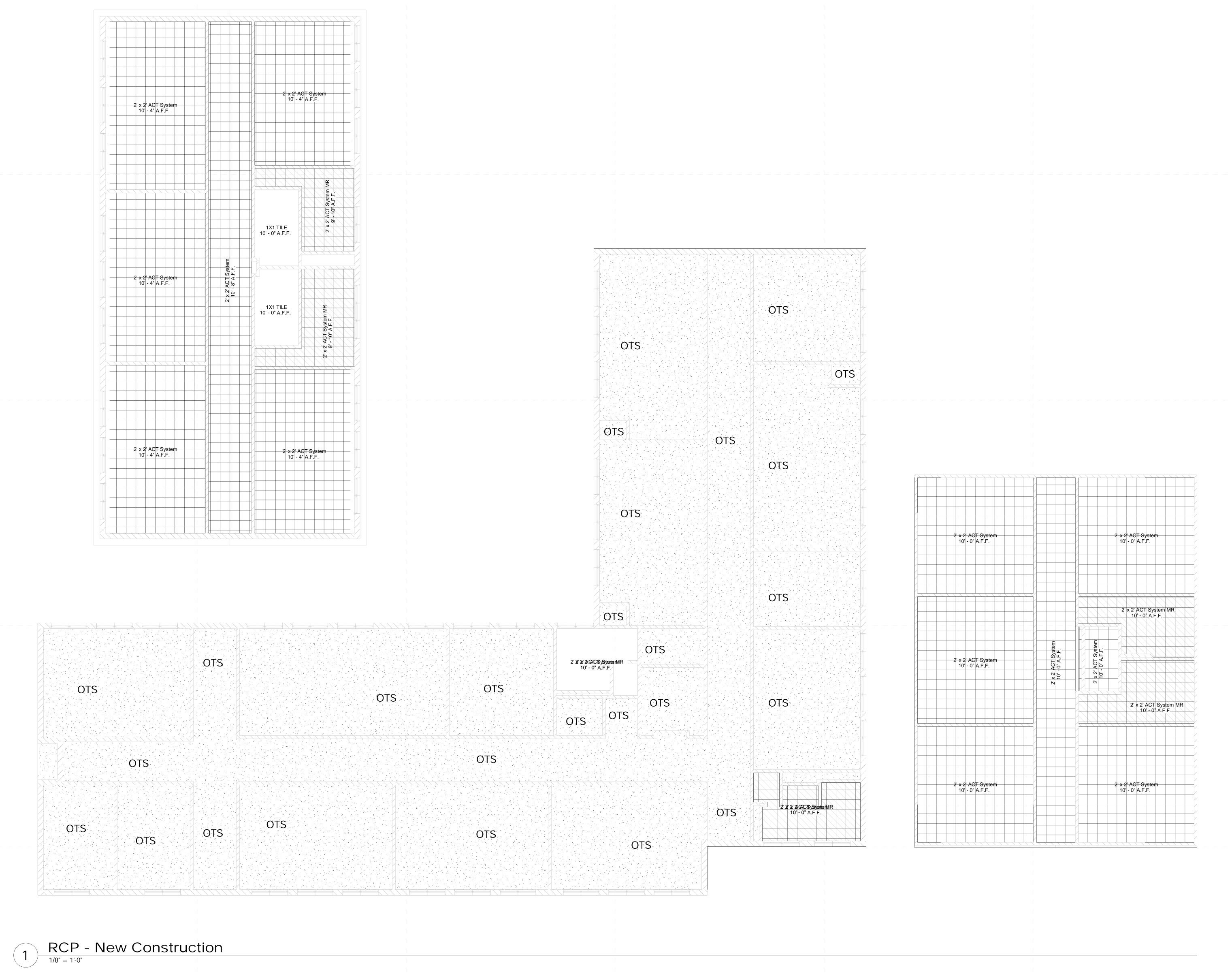
161 Lameuse St. Suite 201 Biloxi, MS 39530 p 228.374.1409

Not For Construction

Schematic

Rev Date

Composite Floor Plan



General RCP Notes

1. All ceiling heights shall be same as existing or lower, unless

noted otherwise.

2. Contractor shall paint all surfaces above 8'-8" at wall, roof, and ceiling, as well as anything attached therein at all rooms

labeled OTS, unless noted otherwise
3. Repair/replace any and all ceiling damaged due to

construction activities.

4. Bent ceiling grid damaged due to construction activities shall

be replaced or bent to appear as new in shape.

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Not For Construction

Ceiling Legend

Moisture Resistant Acoustical Lay In Ceiling

Colored Acoustical Lay In Ceiling

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2x2 Acoustical Lay In Ceiling

Plaster/Stucco

Concealed Fastender Painted Metal Soffit

2x2 Fluorescent Fixture

Surface-Mounted Fluorescent Light Fixture

Recessed Can Light Fixture

HVAC Supply Grille

HVAC Return Grille

Exterior Wall Light

Interior Wall Light

Open to Structure (OTS)

Schematic Design

Ruleville

Project No 00000
Date Issue Date
Revisions Rev Date

Revisions Rev Da

A-141

Composite RCP

10 28 13 002[/]

----09 30 13 003

---08 71 00 001

- 1. All flooring transitions are to occur at center line of door
- 2. New Fixture locations shall be coordinated with mechanical
- 3. Install new tile base at all walls in bathrooms 4. Install new grab bars at all ADA toilets
- 5. Install 1/2" drywall at upper wall (4'-0" AFF To 2" Above Ceiling) with adhesive and mechanical fasteners; finish and paint with epoxy
- 6. Install moisture resistant back board at all new tile.

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Specific Notes

02 00 00 001 Floor tile to remain; patch and repair as 02 41 19 002 Dashed lines indicated extent of demoed 02 41 19 003 Demo FRP & Base at walls; typical at all bathroom interiors unless otherwise noted 08 71 00 001 Replace all door hardware with new at existing leaf Install new wall tile flush and straight with 09 30 13 003 accent top piece, floor to partial wall/window sill height; typical at bathroom interior unless noted otherwise Install wall hung mirror here; center over fixture unless noted otherwise Install hand dryer here; coordinate with 10 28 13 002 electrical & mechanical 22 42 00 001 Coordinate new fixture installations with

- 1. Where floor transitions from new floor to existing floor, a floor transition strip is to be provided. A knock-down frame is to be provided in place of the existing frame where the opening is a part of corridor. 2. Remove all existing flooring, ceiling tile, rubber base, etc..
- where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule 3. Owner has right of refusal for all demo work. If not retained, GC to be responsible for disposal.
- 4. Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this
- 5. Burying or Burning of materials will not be permitted on
- 6. Repair any damage caused to building construction identified to remain.
- 7. Refer to other discipline drawings for additional demolition information as noted
- 8. Schedule with the Owner any demolition that involves exposing to the weather the interior portions of building to remain. This work is to be performed during good, dry weather or temporary waterproof barrier walls shall be constructed at all occurrences where the demolition exposes weather to the interior of portions of buildings to
- 9. Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- 10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.
- 11. Remove partitions and existing fixtures.

Not For Construction

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Rulevill

Schematic Design

Issue Date Rev Date

Bathrooms NW

Wall Types

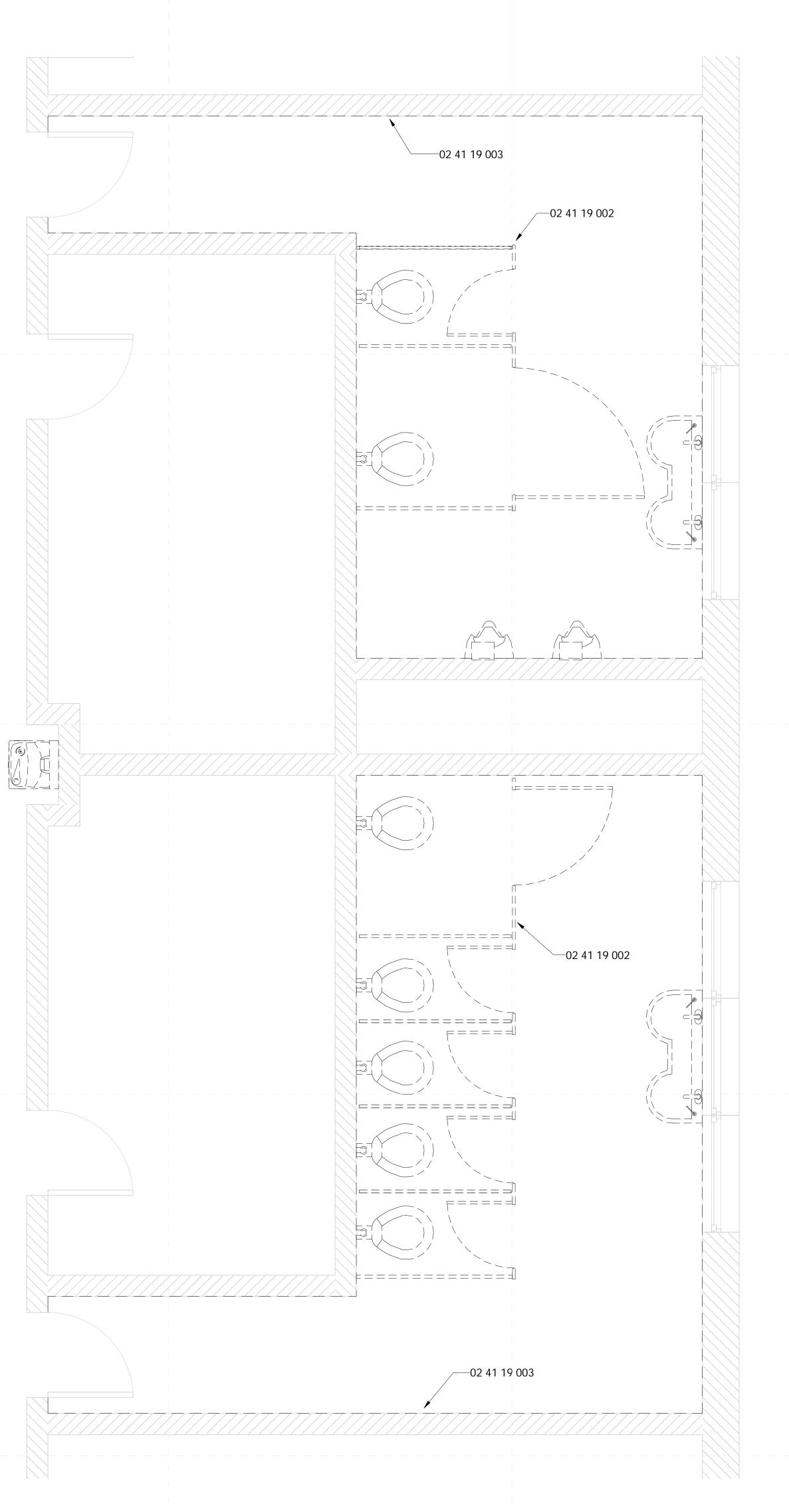
1/2" = 1'-0"

Add Dye for Color

—Light gauge steel framing

-Gypsum Wall Board

Porcelain tile



Bathrooms - NW Bank -Existing

1/2" = 1'-0"

Bathrooms - NW Bank -New Construction

1/2" = 1'-0"

---08 71 00 001



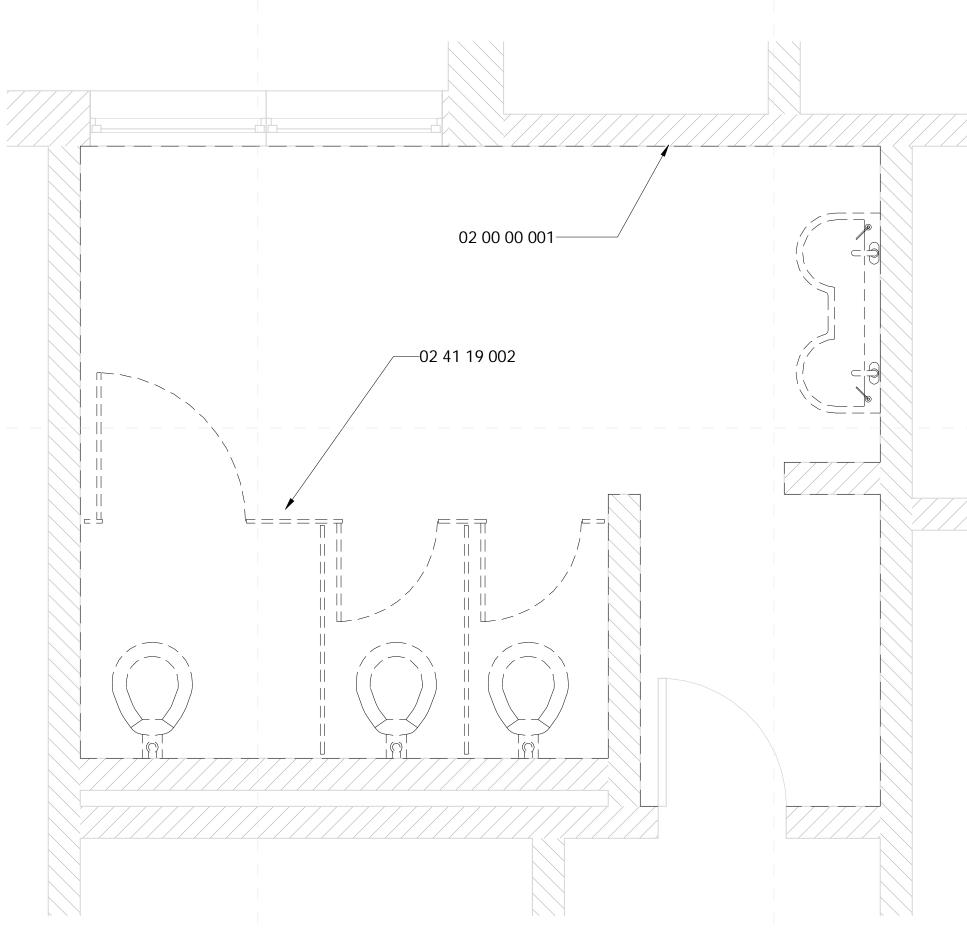
10 28 13 002

3' - 0"

10 28 13 001

--09 30 13 003

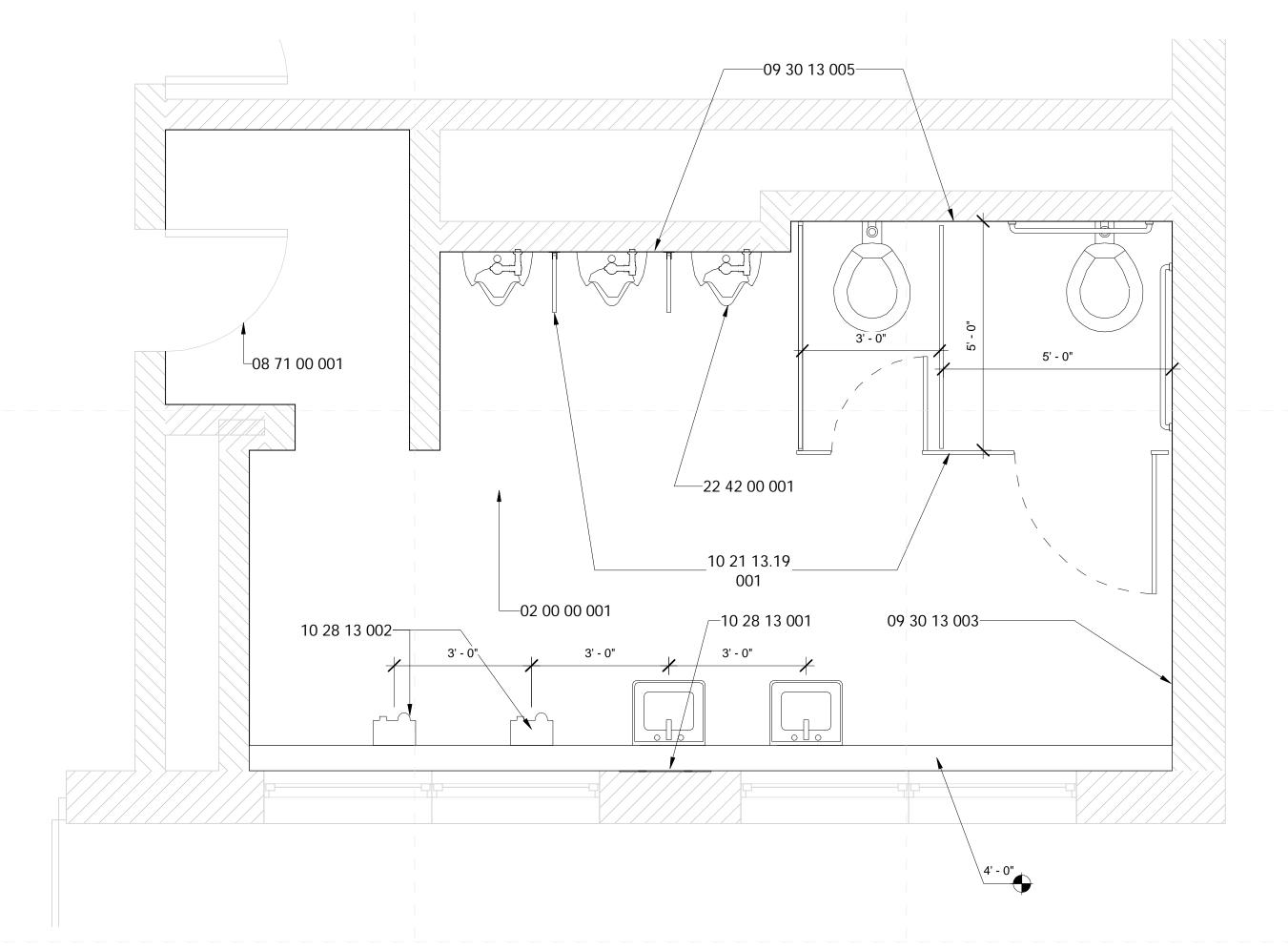
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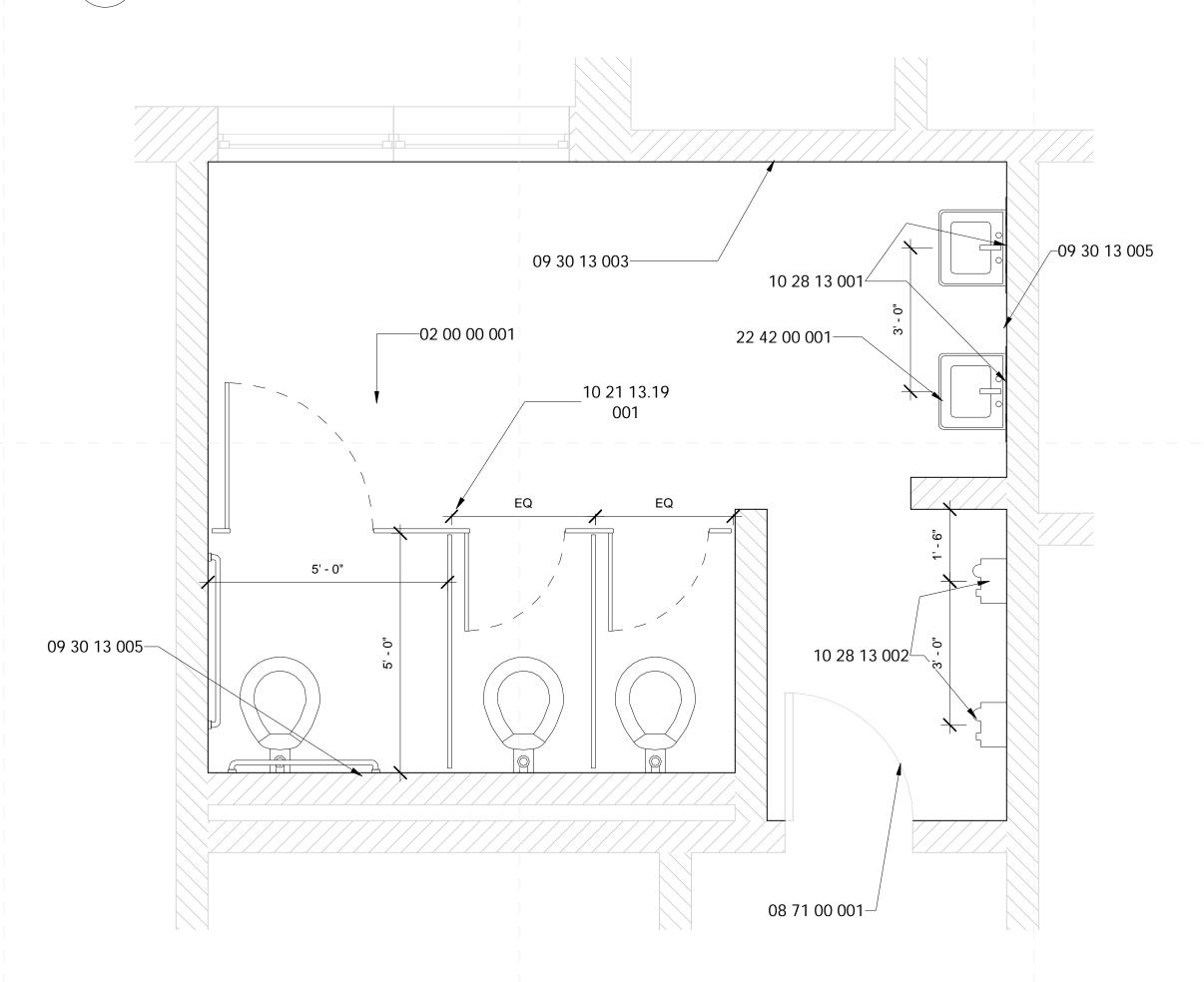
02 41 19 002-

02 41 19 003—

Bathrooms - Central Bank W - Existing



Bathrooms - Central Bank E - New Construction

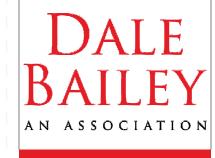


Bathrooms - Central Bank W - New Construction



- All flooring transitions are to occur at center line of door panel.
- New Fixture locations shall be coordinated with mechanical
- sheets.

 3. Install new tile base at all walls in bathrooms
- 4. Install new grab bars at all ADA toilets
 5. Install 1/2" drywall at upper wall (4'-0" AFF To 2" Above
- Ceiling) with adhesive and mechanical fasteners; finish and paint with epoxy
- 6. Install moisture resistant back board at all new tile.



Architects

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Not For Construction

Specific Notes

02 00 00 001 Floor tile to remain; patch and repair as needed 02 41 19 002 Dashed lines indicated extent of demoed work 02 41 19 003 Demo FRP & Base at walls; typical at all bathroom

interiors unless otherwise noted

08 71 00 001 Replace all door hardware with new at existing leaf

09 30 13 003 Install new wall tile flush and straight with accent top piece, floor to partial wall/window sill height;

typical at bathroom interior unless noted otherwise
09 30 13 005 Install new wall tile flush and straight, floor to
ceiling at this plumbing wall only

10 21 13.19 Install new toilet partitions (typical)

10 28 13 001 Install wall hung mirror here; center over fixture unless noted otherwise
 10 28 13 002 Install hand dryer here; coordinate with electrical &

mechanical
22 42 00 001 Coordinate new fixture installations with

mechanical, typical for new

General Demolition Notes

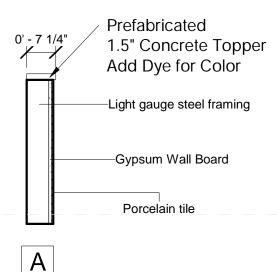
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- Remove all existing flooring, ceiling tile, rubber base, etc..
 where shown to be replaced by new materials in the finish schedule. RE: Floors plans, RCP, and Finish Schedule
 Owner has right of refusal for all demo work. If not retained,
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 Verify all existing conditions. Notify architect of any discrepancies between the existing conditions and these documents. The Contractor is to consider the additional work required by any discrepancies to be included in this
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- Existing loose school property to be the responsibility of the school district, removal of property by owner to be coordinated between the contractor and school district.
- 10. Where areas are removed or altered, patch, repair, & paint to match adjacent surface material and finish.

11. Remove partitions and existing fixtures.

Schematic Design

Ville

Project No	00000
Date	Issue Date
Revisions	Rev Date



Wall Types

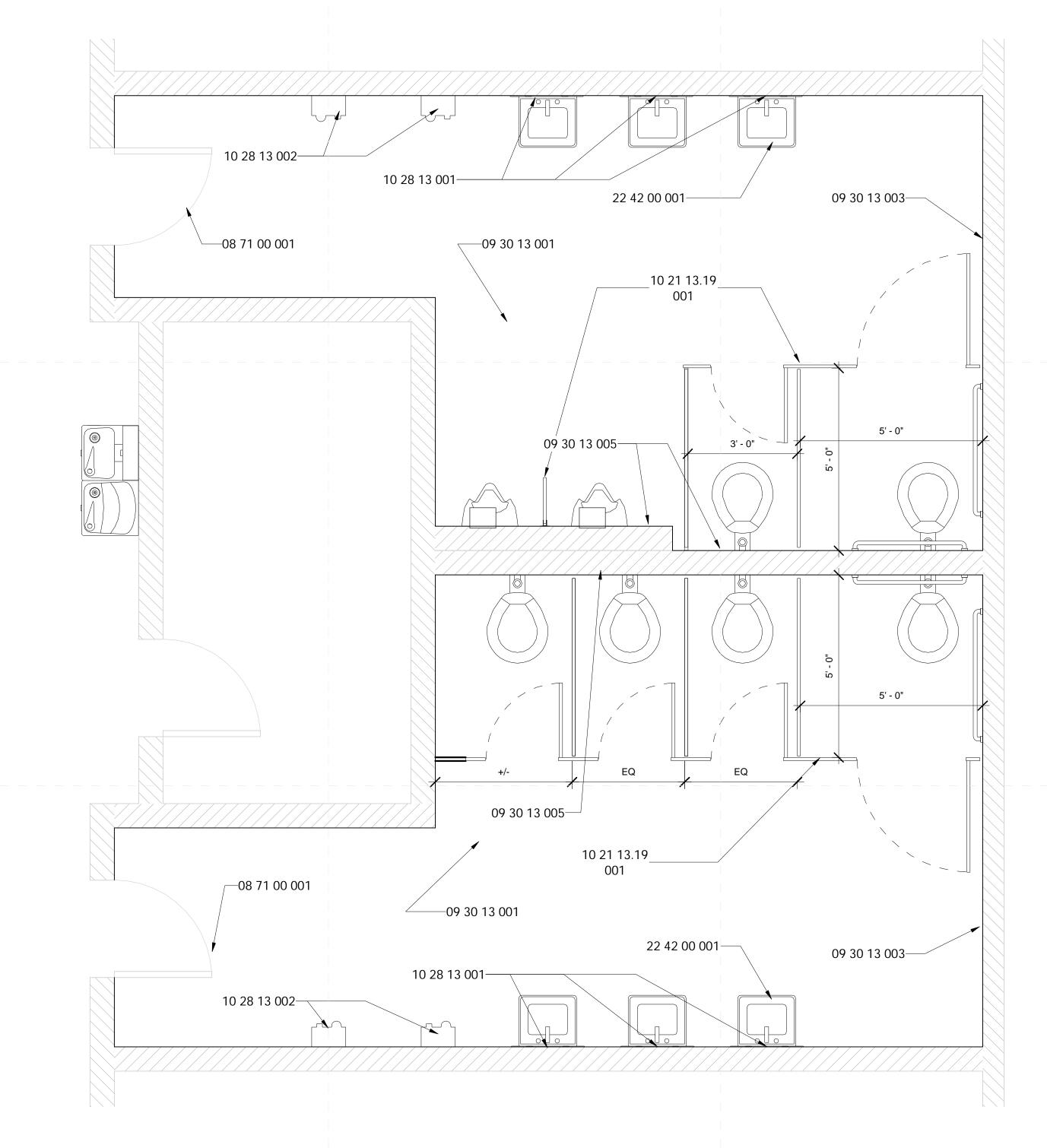
1/2" = 1'-0"

—Concrete masonry units

A-402

Bathrooms Central





Bathrooms - East Bank - New Construction

General Finish Plan Notes

Specific Notes

02 41 19 002

02 41 19 003

08 71 00 001

09 30 13 001

09 30 13 003

09 30 13 004

09 30 13 005

10 28 13 001

10 28 13 002

22 42 00 001

10 21 13.19 001

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- 5. Install 1/2" drywall at upper wall (4'-0" AFF To 2" Above Ceiling) with adhesive and mechanical fasteners; finish and paint with epoxy

existing leaf

drain provided

Dashed lines indicated extent of demoed

Demo FRP & Base at walls; typical at all

Replace all door hardware with new at

Install new floor tile; slope to floor drain is

Install new wall tile flush and straight with

wall/window sill height; typical at bathroom

Prep surface for new tile install; contractor shall be repsonsible for issues concerning lack of adhesion between mortar and substrates as well as levelness of finished

Install new wall tile flush and straight, floor

Install wall hung mirror here; center over

Install hand dryer here; coordinate with

Coordinate new fixture installations with

to ceiling at this plumbing wall only Install new toilet partitions (typical)

fixture unless noted otherwise

electrical & mechanical

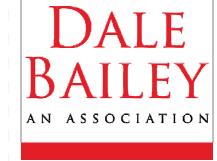
mechanical, typical for new

accent top piece, floor to partial

interior unless noted otherwise

bathroom interiors unless otherwise noted

6. Install moisture resistant back board at all new tile.



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Not For

Construction

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Design Revisions

Schematic

Issue Date Rev Date

uleville

 $\sum_{i=1}^{n} \sum_{j=1}^{n} a_{ij}$

Prefabricated 1.5" Concrete Topper Add Dye for Color —Light gauge steel framing Porcelain tile

Wall Types

1/2" = 1'-0"

—Concrete masonry units

Bathrooms E